



City & County of  
San Francisco



# Shared Spaces Manual

VERSION 2.5  
JUNE 2026



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SECTION 1

# Overview

Photo by Shared Spaces

**The Shared Spaces program enables San Francisco residents, community groups, non-profit organizations, small businesses, and art, entertainment, and cultural institutions to transform public spaces for community-driven activities and commerce.**

Streets and sidewalks make up about 25% of the City's land area and are an integral part of our daily experience. Many roadways were widened during the mid-20th century to create more space for automobiles. As we have moved away from having a single mode of transportation dominating cities across the world, San Francisco has responded by creating programs to help residents transform the public right of way to accommodate the different needs of all users of the public realm. By exploring the potential of our city's streets and sidewalks,

the Shared Spaces program seeks to balance the needs of people using the public realm to travel by different modes, provide pedestrian amenities, support local businesses, and foster neighborhood interactions.

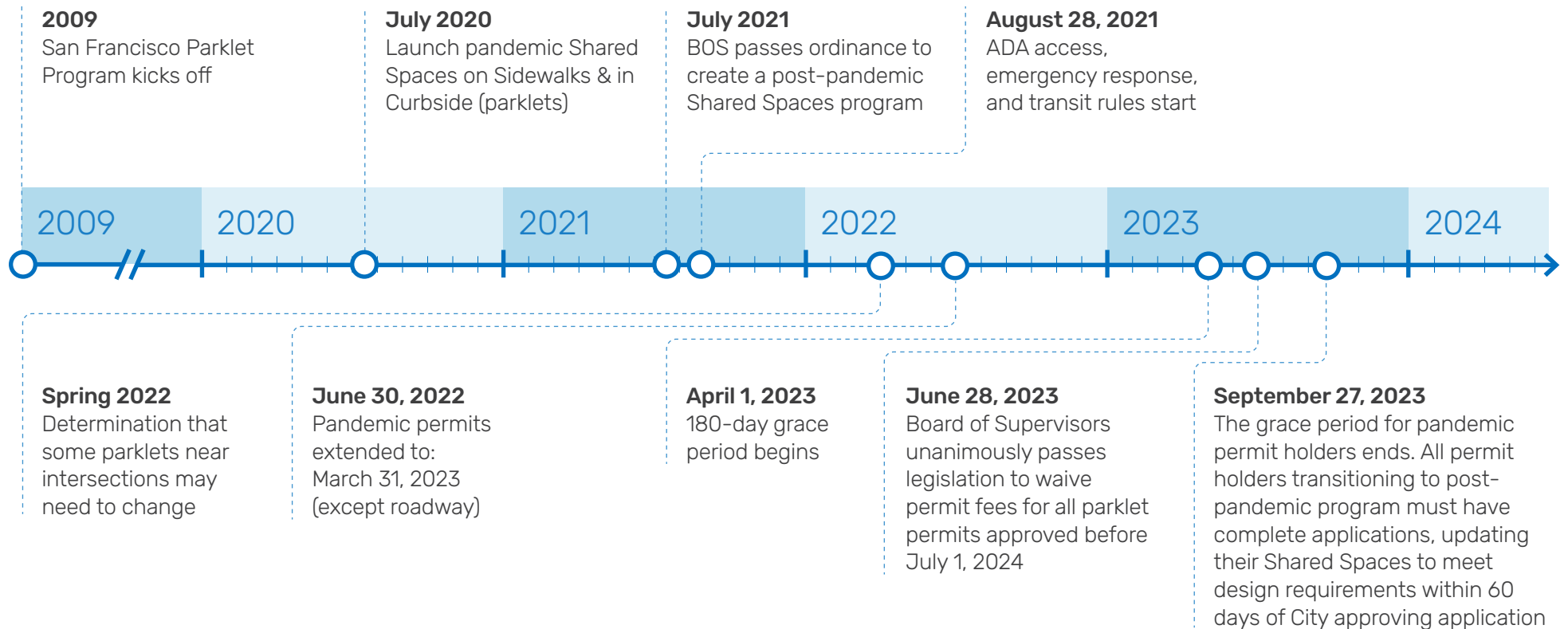
The Shared Spaces program builds upon the Places for People legislation, adopted in 2016.



Photo by Shared Spaces.

# Timeline of Program Evolution

## CITY & REGIONAL CONTEXT

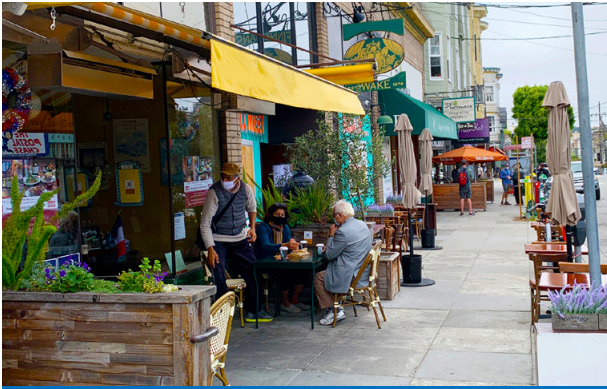


## BUILDING ON SUCCESS

Due to widespread success throughout San Francisco's neighborhoods, Mayor London N. Breed announced legislation to transition Shared Spaces from an emergency response into a permanent program through and after the pandemic. On Tuesday, July 20, 2021, the San Francisco Board of Supervisors unanimously passed [the Shared Spaces Ordinance](#).

For the latest information, go to: [sf.gov/shared-spaces-timeline](https://sf.gov/shared-spaces-timeline)

# Types of Shared Spaces



**Sidewalk**

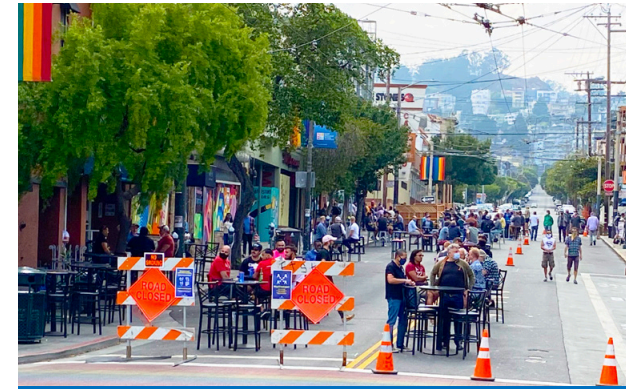
- Sidewalk Café Tables and Chairs, similar to the pre-existing sidewalk dining permit.
- Non-commercial use of the sidewalk, for example publicly accessible seating facilities or other fixtures.
- Sidewalk merchandising, displaying goods outside.



**Parking Lane**

## San Francisco now has three tiers of parklets:

- A Public Parklet, similar to the City's pre-COVID parklets, a fixed structure providing full-time, publicly accessible space and no commercial activity.
- A Movable Commercial Parklet, a space occupied by the operator during limited business hours using movable elements. This option allows operators to use curb space that is needed for other curbside functions during the day, such as a brunch restaurant that only operates until 1 P.M., after which the curb space is used for loading or short-term parking.
- A Commercial Parklet, similar to existing Shared Spaces, a fixed structure where an operator uses the parklet for commercial activity during business hours.



**Roadway**

- Activation of space normally used for vehicular traffic, for community and commercial uses; free and open to the public. For the first two years of a roadway closure, most events will be approved through the existing Interdepartmental Staff Committee on Traffic and Transportation (ISCOTT) process, which includes membership of key departments, including SFMTA, SFPD, SFFD, Public Works. Some locations may require additional approval through the SFMTA Board of Directors.

## Outdoor Entertainment and Amplified Sound

This includes live music and other performing arts happening on a recurring basis or at one time at all types of outdoor Shared Spaces locations.

See *Section 2: Design Guidelines and Regulations, Outdoor Entertainment and Amplified Sound* for more details.



Photo by Britt Govea

A photograph of a public space, possibly a courtyard or plaza, with a purple tint. In the center, a small, decorated vehicle with a canopy is parked. The vehicle has "por wan pibe" and "TNT" written on its front. To the right of the vehicle, a motorcycle is parked. Several people are standing around the vehicle, some looking at it. In the background, there are buildings and a large, decorative structure with intricate patterns. The overall scene suggests a community event or a public gathering.

SECTION 2

# Design Guidelines and Regulations

Photo by SF Planning

# Important Considerations

To ensure the safety of all people using the public right of way, including Shared Spaces users, you will need to follow a series of guidelines and regulations when implementing your Shared Space. These are some of the best practices for any type of Shared Spaces:



## Location and Site Treatments

Shared Spaces should consider existing City infrastructure and street design when planning for placement. Your Shared Spaces must not obstruct pedestrian visibility, crosswalks, bicycle lanes, traffic signals or other traffic-warning devices, and must allow proper stormwater drainage flow and streetscape maintenance.

Watch [“Intersection safety and visibility for Shared Spaces”](#) on the Shared Spaces public service announcements web page.\*



## Fire Safety and Emergency Access

Emergency responders utilize the most direct path to access a building from the street to assist people in need of medical attention or for firefighting operations. You must provide enough clearance for responders to maneuver and operate through and around your Shared Spaces. Obstructing emergency access at any time may lead to immediate danger to health or life safety.

Watch [“Emergency Response at Shared Spaces”](#) on the Shared Spaces public service announcements web page.\*



## Accessibility

Shared Spaces strives to be fully accessible to, and useable by, all people. All accessibility elements of the proposed structure shall be designed, constructed and/or conform to the applicable provisions, rules, regulations and guidelines of the San Francisco Building Code (SFBC) and 2010 ADA Standards for Accessible Design.

Watch [“Making Shared Spaces accessible for everyone”](#) on the Shared Spaces public service announcements web page.\*

\* Shared Spaces public service announcements: <https://www.sf.gov/shared-spaces-public-service-announcements>

# How to Read These Guidelines

This updated version of the Shared Spaces Manual seeks to better communicate guidelines and regulations through real examples of safe and unsafe conditions. The regulations are called out throughout the document, and in the Appendices section as follows:

Title/Topic

Performance criteria

Image example with graphic dimensions or call-outs to illustrate performance criteria

LOCATION & SITE TREATMENTS

## Visibility at Intersections

Your Shared Spaces must not obstruct pedestrian visibility, crosswalks, bicycle lanes, traffic signals or other traffic warning devices.

**P76**

The enclosure should not block the view of traffic, including pedestrian traffic, nor block the view of traffic control devices such as traffic signs, traffic signals, and other traffic warning devices. It should not obstruct motorists' visibility of traffic signals from 200 feet away (about half a block).

**X** Structure's proximity to the intersection blocks traffic signs

Shared Spaces Manual | October 2024 | Design Guidelines and Regulations - Parking or Curbside Lane
Page 23

Category

Reference to Guidelines & Regulations or additional information

SYMBOLGY:

- S1 Sidewalk Regulations
- P1 Parking or Curbside Lane Regulations
- R1 Roadway Regulations
- Location & Site Treatments
- Fire & Emergency Access
- Accessibility
- Traffic Safety

Image caption explains how an image exemplifies safe or unsafe conditions

- ✔ Safe Condition
- ✘ Unsafe Condition

# S

## Sidewalk Shared Spaces





## Where can I place my Sidewalk Shared Space?



You may occupy the sidewalk space fronting your business, organization, or residence to display merchandise or place tables and chairs, public seating, or other amenities. Amenities other than tables and chairs or display merchandise will be reviewed on a case-by-case basis.

You will need your neighbors' permission if you want to occupy their frontage as well. Learn more: [sf.gov/learn-the-rules-for-having-tables-and-chairs-on-the-sidewalk-outside-your-business](https://sf.gov/learn-the-rules-for-having-tables-and-chairs-on-the-sidewalk-outside-your-business).

- As of August 2025, small businesses no longer need a permit or have to pay a fee to set up tables, chairs, or merchandise displays on the sidewalk. Learn more: [sf.gov/get-permission-to-use-the-sidewalk-for-your-business](https://sf.gov/get-permission-to-use-the-sidewalk-for-your-business).
- Check the diagrams in this section to ensure your proposed space is feasible.
- Diverters, furnishings and fixtures for commercial purposes must be removed at the end of business hours.
- Sidewalk Shared Spaces may only be placed on the sidewalk area adjacent to the building, at the property line. Proposals for different placement will be reviewed on a case-by-case basis.
- You must get your neighbors' permission to use any of the sidewalk in front of them. See sample on *Section 4: Appendices*.

### FIRE SAFETY & EMERGENCY ACCESS



S1

**Emergency Access.** At no time can sidewalk occupancy obstruct emergency facilities, including, but not limited to, fire hydrants, fire escapes, Fire Department connections, street alarm boxes, fire escapes, etc.

S2

**Heaters.** Liquid Propane Gas (LPG) heaters are not permitted on the sidewalk or in a Shared Spaces Parklet with a canopy or roof. SFFD LPG heater permits will not be issued for Sidewalk Shared Spaces.

- Any use of a portable heater, portable generator, candles, open flame or any activity regulated by Fire Code must be approved and permitted by the San Francisco Fire Department separately from this provisional permit.
- Electric heaters may be used if applicant obtains an [electrical permit from the Department of Building Inspection](https://sf.gov/electrical-conduit-and-solar-regulations-for-shared-spaces) for an exterior mounted weatherproof electrical outlet or quick-disconnect connection. Proof of completed job card required. Learn more [sf.gov/electrical-conduit-and-solar-regulations-for-shared-spaces](https://sf.gov/electrical-conduit-and-solar-regulations-for-shared-spaces).

### ACCESSIBILITY



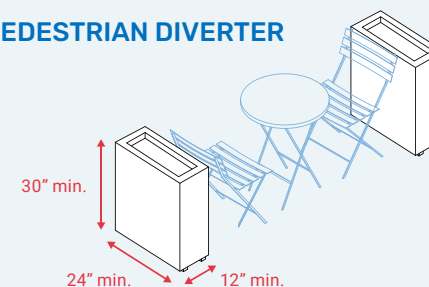
S3

**Diverters.** The business must utilize pedestrian diverters on each side of the outdoor dining area to guide pedestrians around the business operations. The objects within the sidewalk space may not extend beyond the depth of the diverters at any time.

The diverters must be:

- At least 30 inches high, 12 inches wide, and 24 inches long
- Solid within at least 24 inches off the ground
- Sturdy, stable, and heavy enough so they cannot tip over or be blown away by the wind
- Distinctly visible to the visually impaired with contrasting colors
- Removable after business closure every day
- Flush with the building at approximately 90 degrees
- Free of advertising

#### PEDESTRIAN DIVERTER





**S4**

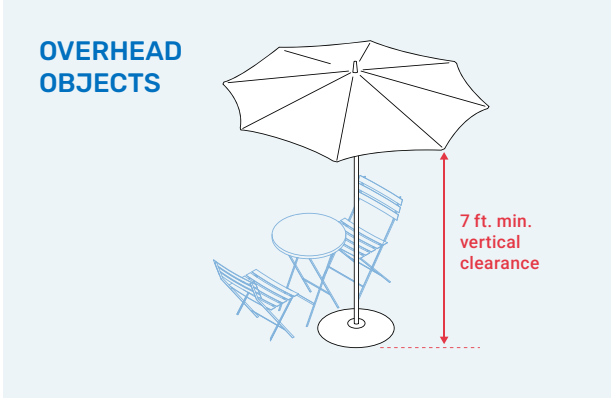
**Accessible Route.** Sidewalk Shared Spaces must maintain a continuous 8-foot minimum width pedestrian accessible route clear of obstructions at all times along the entire property frontage, including adjacent properties if applicable to their permit. Special conditions where an 8-foot path is not feasible will be reviewed on a case-by-case basis, and this exception requires approval from the Public Works Disability Access Coordinator during the permit review process.

The accessible route width is the width from any Shared Space element to the nearest obstruction (including existing utilities, signs, poles, tree wells, etc.), landscape area, curb, or other element that restricts pedestrian travel. The accessible route width shall in no case be

less than 6 feet. Per the SF Better Streets Plan, the accessible route should not meander and should be a straight path of travel for pedestrians to navigate easily along the entire block.

**S5**

**Overhead Objects.** Hanging or overhead objects, including umbrellas, must have a clearance of at least 7 feet (or 84 inches) from the ground. Clearance under awnings and canopies shall comply with San Francisco Building Code requirements.



**S6**

**Trays and Carts.** Food trays or carts, receptacles for dirty dishes, trays or carts for linen and utensils, and cooking appliances shall not be placed or stored on any portion of the sidewalk area.

**S7**

**Bins.** Trash, recycling, and compost bins shall be provided within the approved area, but always kept clear of all 3-foot emergency

access gaps. These bins can be kept inside the restaurant. All bins must be brought inside at end of the business day. If you would like to create an enclosure for your Recology toters on the sidewalk, this would entail a separate Minor Sidewalk Encroachment Permit. See section titled [Minor Sidewalk Encroachment Permits For Garbage Enclosures](#) on the Public Works web page for Minor Encroachment Permits.

**S8**

**Sidewalk Modifications.** No modifications may be made to the public sidewalk, including stickers or spray paint, other than social distancing markings. Any markings must be in accordance with [Public Works Order 203,240](#). No furniture may be affixed or bolted to the sidewalk.

**S9**

**Accessible Furniture.** Applicants must provide at least one (1) accessible table available for wheelchair users for each type of Shared Space. Accessible dining surfaces shall be dispersed throughout each Shared Space for each type of seating in a functional area, in accordance with California Building Code Chapter 11B. See *Section 5: Appendices* for more information about accessible furniture requirements.

**YOU MUST REGISTER YOUR BUSINESS TO OPERATE SIDEWALK SEATING.**

[Learn the rules for having tables and chairs on the sidewalk outside your business](#)

# P

## Parking or Curbside Lane Shared Spaces



The curbside lane is the space on the road closest to the curb, often the parking lane.

San Francisco has defined how these functions and uses are prioritized in different land use contexts in [The City's Curb Management Strategy](#). These key curb functions are: access for people, access for goods, public space and services, storage for vehicles, and movement, including emergency access and public infrastructure operations.

Parking Lane Shared Spaces are mostly used for outdoor dining or retail, and typically involve the construction of a structure, commonly known as a parklet.

## Decide What Type of Parklet You Want to Implement

- TIER 1 Public Parklet:** Similar to the City's pre-COVID parklets, a fixed structure providing full-time, publicly accessible space and no commercial activity (reserved space or seating for customers).
- TIER 2 Movable Commercial Parklet:** A space occupied by the operator using movable fixtures during limited business hours. Operators may choose up to three consecutive time blocks in the following available blocks: 8 a.m. to 12 p.m., 12 p.m. to 3 p.m., 3 p.m. to 6 p.m., and 6 p.m. to 10 p.m.
- TIER 3 Commercial Parklet:** Similar to existing Shared Spaces, a fixed structure where an operator uses the parklet for commercial activity (reserved space or seating for customers) during business hours.

All parklets must remain open and ungated during permitted hours of operation.

### PUBLIC ACCESS BY PARKLET TYPE

Tier	Type	Public Access	Commercial Activity	Daily Occupancy	Construction
<b>TIER 1</b>	<b>Public Parklet</b>	Entire facility during daylight hours through 10 P.M.	None.	24/7	Fixed Structure
<b>TIER 2</b>	<b>Movable Commercial Parklet</b>	Reserved seating for customers only.	8 a.m. - 12 p.m. 12 p.m. - 3 p.m. 3 p.m. - 6 p.m. 6 p.m. - 10 p.m.	Up to three consecutive blocks from the available time block options.	Movable Structures
<b>TIER 3</b>	<b>Commercial Parklet</b>	Reserved seating for customers only.	During hours of operation.	24/7 (operator may secure their parklet only when the business is closed).	Fixed Structure



# Location and Site Treatments

Your Curbside Shared Space or parklet must not obstruct pedestrian visibility, crosswalks, bicycle lanes, traffic signals or other traffic- warning devices.

## CONTENTS

Where can I place my structure?

Visibility at intersections

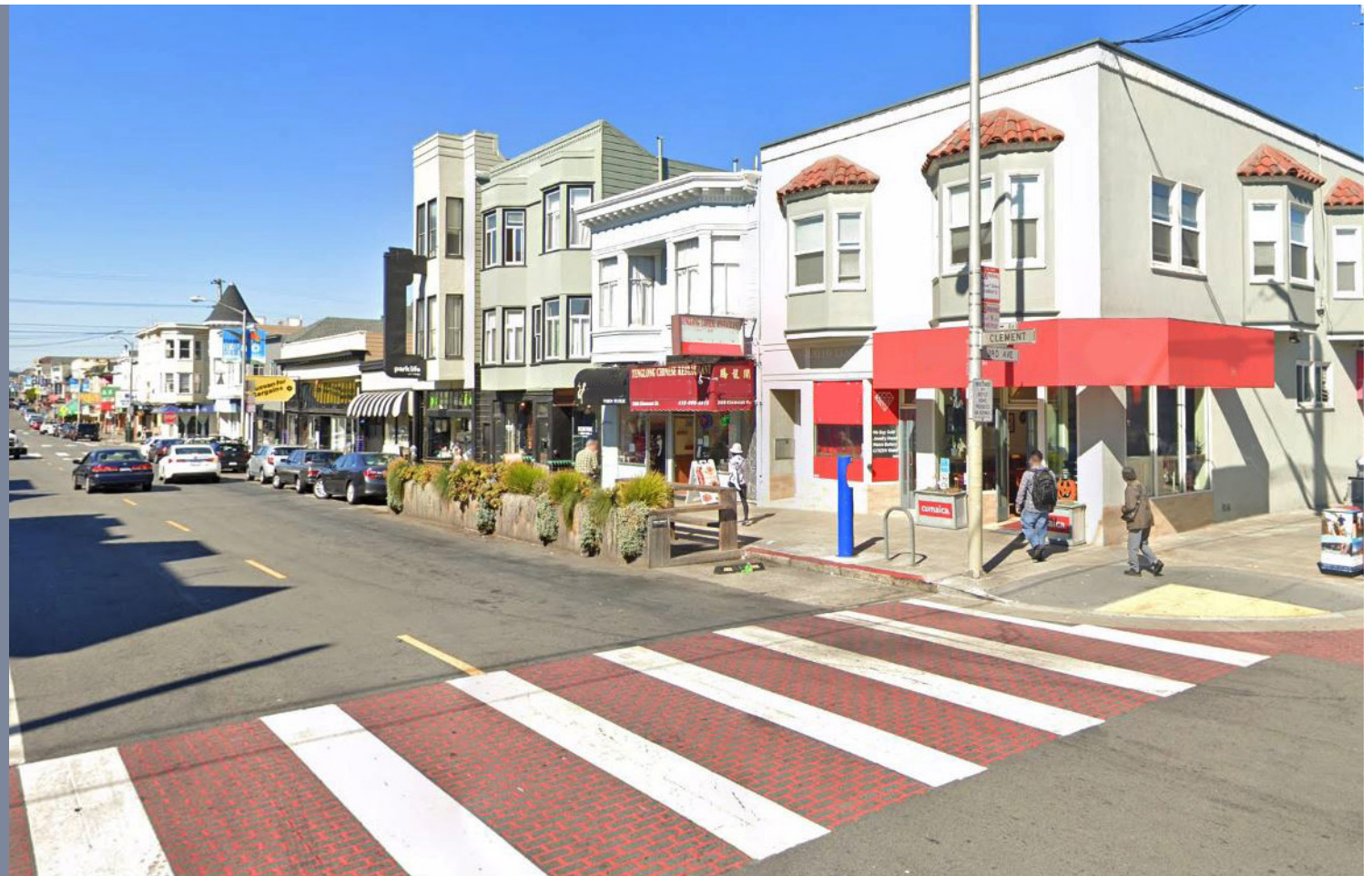
Setback or buffer

Utilities

Drainage

Wheel stop and flexible delineator post placement

Signage system







# Where Can I Place My Structure?



P1

### Length:

- **Parallel parking:** maximum 2 marked parking spots or 40 linear feet, including setbacks and emergency gaps
- **Angled or perpendicular:** 20 linear feet or 2 marked parking spots

P2

**Setbacks:** 3-foot setback or buffer from each end of the marked parking space for parallel, angled, or perpendicular parking spaces

P3

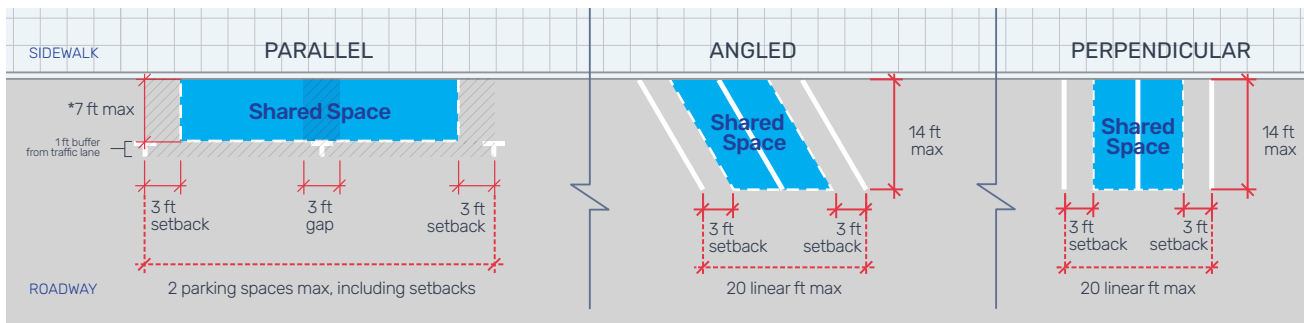
### Width:

- **Parallel parking:** full width of parking lane (7 feet max)\*
- **Angled or perpendicular:** 14 feet max\*

\* Exceptions may apply along rail, cable car corridors, or other special cases that would necessitate reducing the width of the zone.

P4

**Neighboring Consent:** Review Appendix 4 Page 80 to determine if will be required to obtain consent, or provide three written attempts to acquire that permission, if more than half of marked parking space is not in front of your property and fronts neighboring property. You must get their permission if any portion of an unmarked parking space is not in front of your property. **Neighbors' permission must be obtained on an annual basis.**



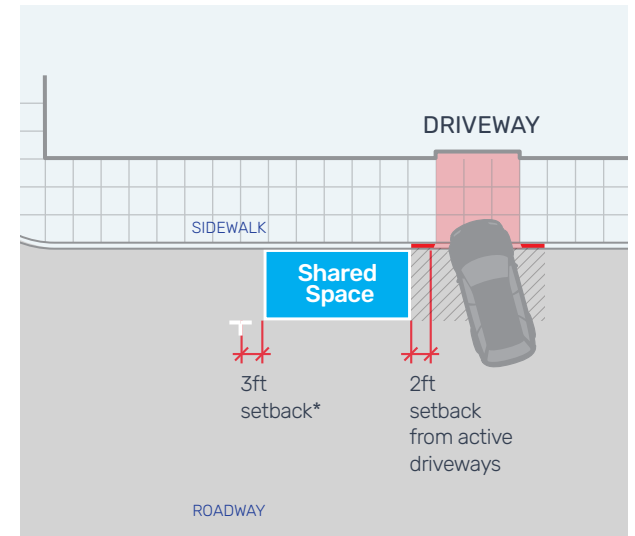


# Where Can I Place My Structure?



P5

**Driveway Setbacks:** All structures must maintain a setback of at least 2 feet from an active driveway or curb cut.





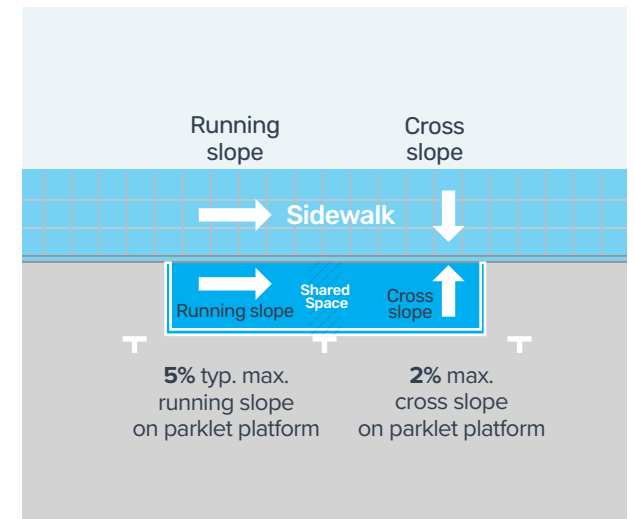
# Street Slope



P5

**Slope:** The cross slope on the parklet surface shall not exceed 2% in any direction. If proposed on a street grade greater than 5%, additional design requirements and review will be required by the Public Works Disability Access Coordinator to make the space accessible to the maximum extent technically feasible as defined in the California Building Code. These additional reviews will delay processing time.

Many of San Francisco's steep hills present challenges for installing parklets, as ensuring safe wheelchair access is essential to meet ADA accessibility standards. This includes providing easy and secure entry and use of the parklet, which can be difficult on uneven or sloped terrain. Some sites may be ineligible for a parklet.



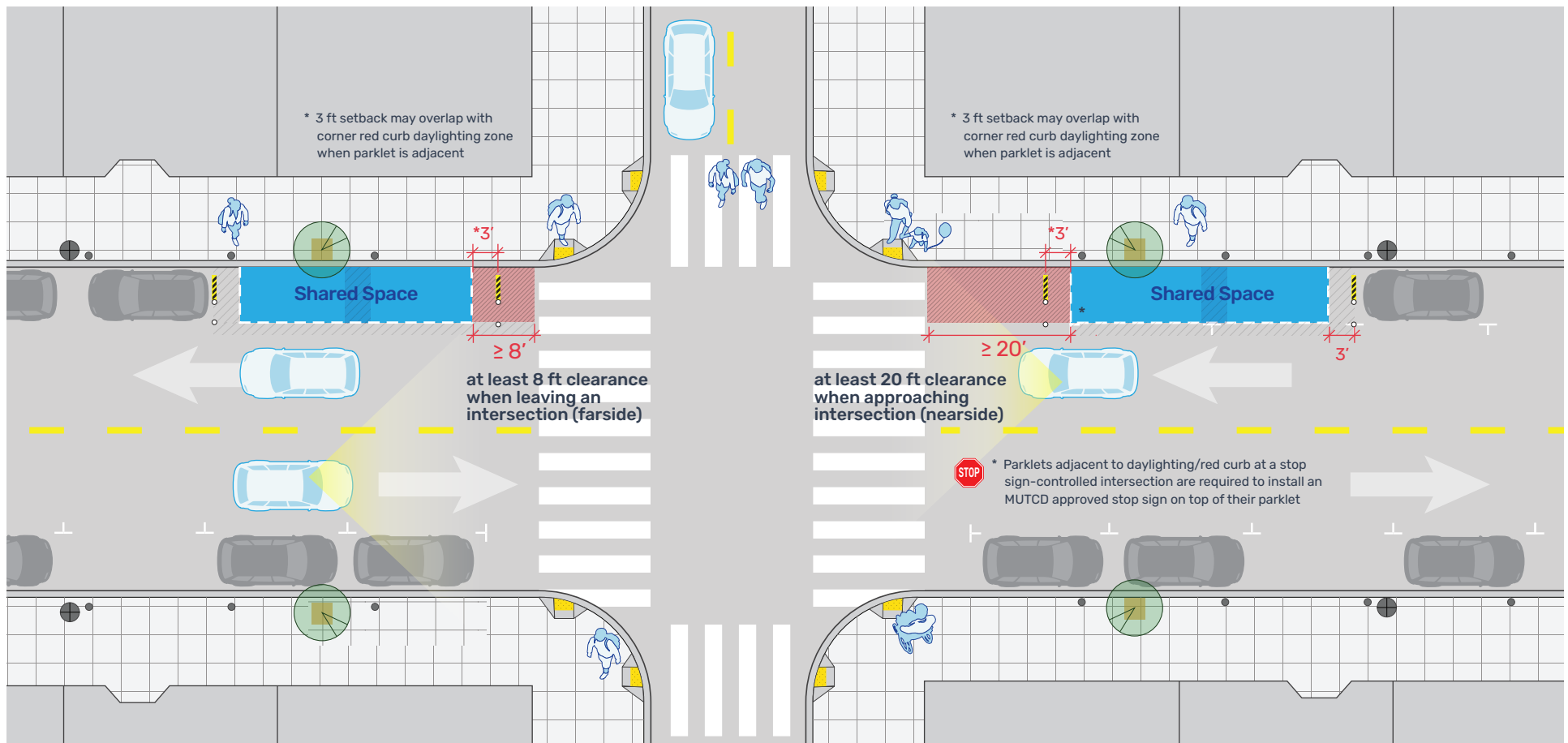


# Visibility at Intersections: Daylighting

In accordance with California's new daylighting law, AB 413, it is illegal to park within 20 feet of the approach of any marked or unmarked crosswalk, even if the approach does not have any red curbs painted.

While this is not updated guidance, it reflects the Shared Spaces placement requirements. The law affirms the state's commitment to implementing and enforcing daylighting.

Daylighting is pedestrian safety treatment that is a key component of intersections across the City. Daylighting increases the visual field of both pedestrians crossing the street and drivers pulling up to an intersection. The diagram below shows how setting back your parklet structure from crosswalks increases pedestrian safety.





# Visibility at Intersections

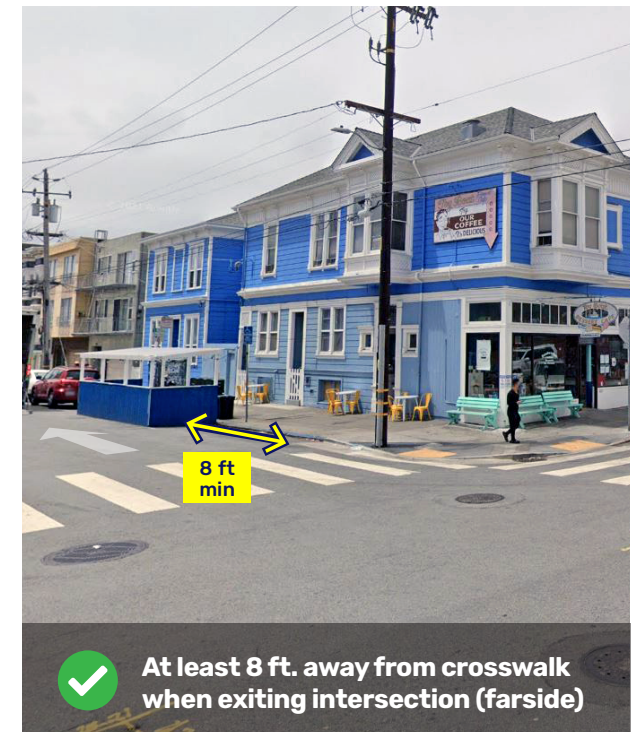
Parklet structures should be highly visible to other users of the road. Setbacks and other traffic-control devices are standard site treatments for parklets.



## PLACEMENT REQUIREMENTS

Minimum 20-foot clearance from approaching intersection (nearside). Curbside space near the intersection must be clear of any parklet obstructions.

Minimum 8-foot clearance when exiting an intersection (farside).





# Visibility at Intersections

Your Shared Spaces must not obstruct pedestrian visibility, crosswalks, bicycle lanes, traffic signals or other traffic warning devices.



P76

The enclosure should not block the view of traffic, including pedestrian traffic, nor block the view of traffic-control devices, such as traffic signs, traffic signals, and other traffic-warning devices. It should not obstruct motorists' visibility of traffic signals from 200 feet away (about half a block).

Parklets adjacent to daylighting/red curb at a stop sign-controlled intersection are required to install an Manual on Uniform Traffic Control Devices (MUTCD) approved stop sign on top of their parklet.

Sign dimensions must be 30 inches x 30 inches.





# Setback or Buffer

Emergency responders need to move quickly and easily between the street and the sidewalk. Set structures back 3 feet from each end of the parking space, and keep them clear of obstructions.



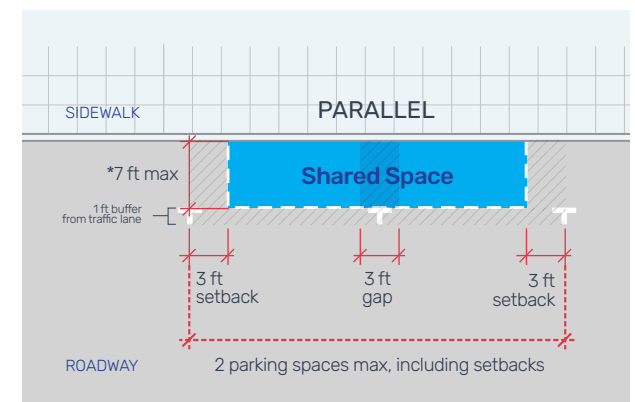
Maintains a 3-foot setback at each end of the parklet.

P2

A 3-foot setback or buffer from each end of the parklet, or the marked parking space for parallel, angled, or perpendicular parking spaces.

If abutting another parklet, each must provide a 3-foot setback, for a total of 6 feet between the two.

These buffers must be kept clear from obstructions, such as garbage bins, bicycles, motorcycles, or scooters at all times. Signage will be provided by Public Works and you will receive it after you have been permitted.





# Setback or Buffer

Maintaining a 3-foot setback at each end of the structure facilitates efficient emergency operations.



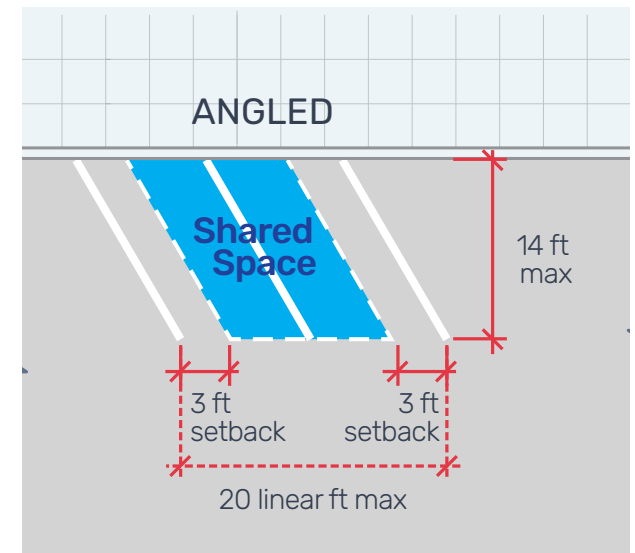
Maintains a 3-foot setback at each end of the parklet.

P2

A 3-foot setback or buffer from each end of the parklet, or the marked parking space for parallel, angled, or perpendicular parking spaces.

These buffers must be kept clear from obstructions like garbage bins, bicycles, motorcycles, or scooters at all times. Signage will be provided.

Note that structures located on angled parking must be angled to match the roadway striping.





# Utilities

Allow access to public utilities for maintenance and repairs. Your structure may not obstruct access to utilities. Specific clearance distances will depend on utility type and must be reviewed by staff.



## MOVABILITY AND PORTABILITY

Pouring concrete to build ramps or decks is discouraged, as it complicates utility repairs.

You may use concrete pavers on a platform structure.



**Removable threshold for easier maintenance**



**Your structure may not obstruct access to utilities**



**Modular platforms allow for quick access for City crews**

Review SFPUC's Asset Protection Standards at:  
[sfpu.org/construction-contracts/design-guidelines-standards/asset-protection-standards](https://sfpu.org/construction-contracts/design-guidelines-standards/asset-protection-standards)



# Utilities: Fire

All Shared Spaces operators are responsible for providing and maintaining access to the City's infrastructures (including, but not limited to: utility poles, gas valves, utility covers, wastewater systems, fire hydrants, cisterns and catch basins). This can include the temporary or permanent removal and/or storage of any structure(s) inhibiting access to these facilities.

The Shared Spaces Interagency team may require photos to be submitted for review in order to verify the required clearances for each utility type. The information below provides parklet applicants with information on some of the City's utilities and their clearance requirements.



A hydrant gate valve is a type of valve used in fire hydrant systems to control the flow of water. There are two types of hydrant gate valves in San Francisco, Low Pressure Water Supply System and High Pressure Auxiliary Water Supply System. Each type requires a different-sized wrench to operate, resulting in different clearance requirements for nearby parklets to ensure proper access.

## HYDRANT GATE VALVES

- Fire Hydrants – Parklets are required to be built 5 feet away from a hydrant.
- Low Pressure Water Supply System – Parklets are required to be built 3 feet away from the shutoff valve.
- High Pressure Auxiliary Water Supply System – Parklets are required to be built 5 feet away from the shutoff valve.



# Utilities



## CATCH BASIN

A catch basin is required to be unobstructed by the parklet platform to allow for water flow. If directly adjacent to the curb, it should be aligned with the required gutter clearance and widened accordingly to ensure that the whole catch basin is open.



## MANHOLE

All manholes require a minimum 3-foot-wide clearance around the entire edge of the cover.

## SFPUC UTILITIES

For SFPUC and water utilities, refer to the diagram and information shown on pages 18 and 19 of the [SFPUC Asset Protection Standards](#) document. Utilities in the roadway require a minimum clearance of 18 inches from the outside edge of any water or wastewater access points.

## CONSTRUCTION-RELATED CONFLICTS

In instances, such as street repaving, utility work, or streetscape redesign, the City will require you to remove your parklet. The City will strive to notify you as early as possible in such instances. Circumstances permitting, you may be able to re-install your parklet after the street improvement has been completed. **Operators are responsible for the cost to remove, store, and reinstall their parklet.**

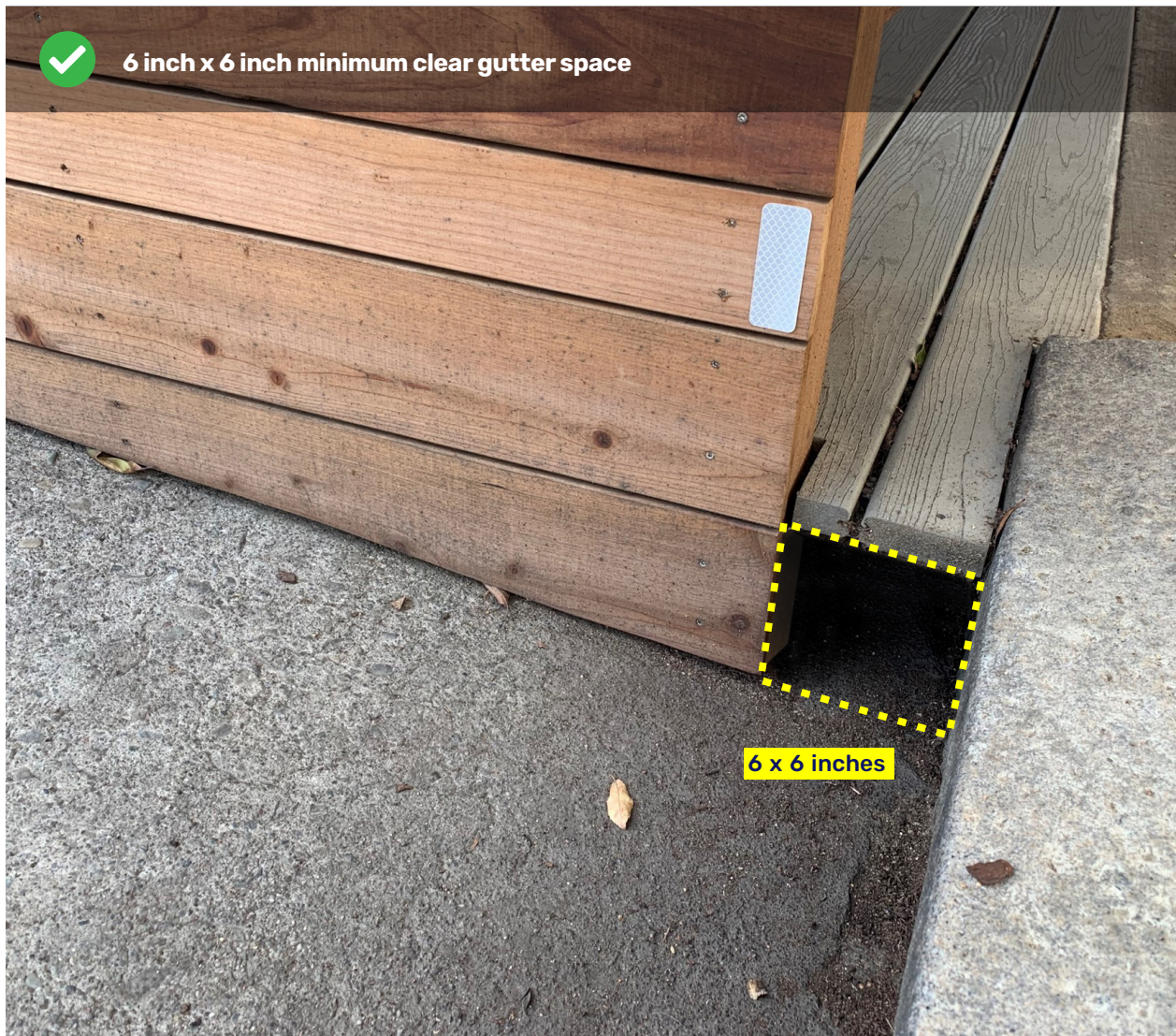
To check for construction conflicts in your area visit: [sanfrancisco-public.dotmapsapp.com/map](https://sanfrancisco-public.dotmapsapp.com/map)

Note, this map is reflective of planned infrastructure projects that are in progress or scheduled to start in the next 6 months. Schedule is subject to change at any time.



# Drainage

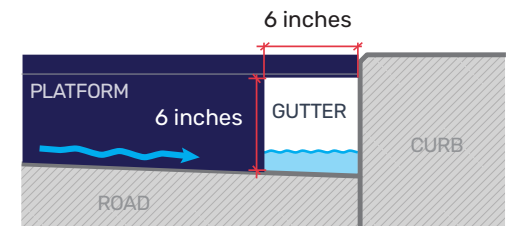
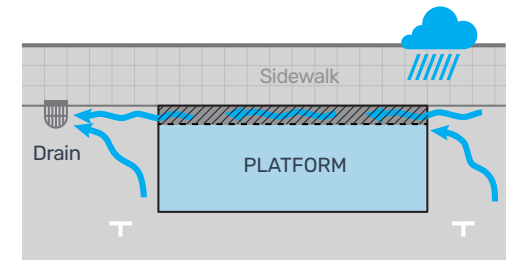
Allow for stormwater drainage flow along the structure and easy access for maintenance.



## DRAINAGE

A 6 inch x 6 inch minimum clear gutter space must be provided along the entire length of the proposed platform.

For parklets adjacent to shorter curb heights, the platform should remain flush with the curb height in order to meet accessibility requirements, but the width of the gutter should be increased to establish a cross-sectional clearance that meets the 36 square inches of space required for compliance. For example, if the curb is 3 inches high, the gutter clearance would need to be 3 inches (height) by 12 inches (width), creating a total clearance of 36 square inches.





# Wheel Stop and Flexible Delineator Post Placement

Your Shared Space shall be visible to other users of the road during the day and night and provide clear delineators to show its footprint.

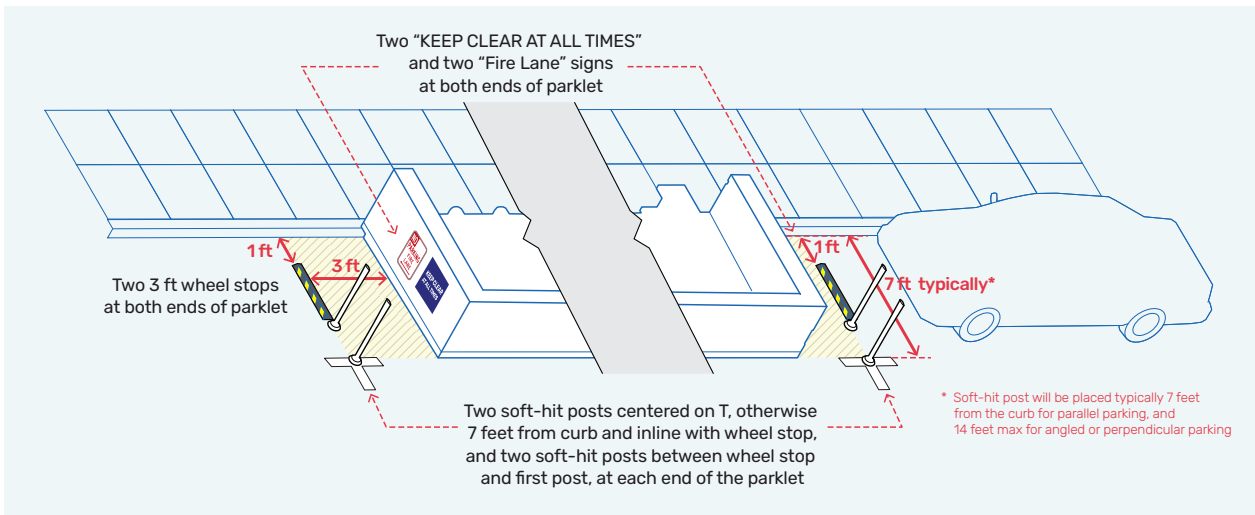


**Visibility:** You must mark the entire side of the parklet facing the roadway with yellow high-intensity retro-reflective tape or reflectors to be visible to drivers at night.

**Flexible Delineator Posts:** Install four standardized flexible delineator posts, two for each end of the parklet.

**Signage:** The 3-foot setbacks must be kept clear from obstructions such as garbage bins, bicycles, motorcycles, or scooters at all times. Signage will be provided.

See Appendix page 105 for wheel stop and delineator specifications. Wheel stops at the edge of the setbacks for perpendicular or diagonal parking spaces are not required, but soft-hit posts are recommended



## REQUIRED SIGNAGE





# Fire Safety & Emergency Access

Emergency responders utilize the most direct path to access a building from the street to assist people in need of medical attention or for firefighting operations. You must provide enough clearance for responders to maneuver and operate through and around the structure. Obstructing emergency access may lead to immediate danger to health or life safety. Movable commercial parklets must abide by the same emergency access and fire safety regulations as fixed public and commercial parklets.

## CONTENTS

Emergency Access

Sightlines and Visibility

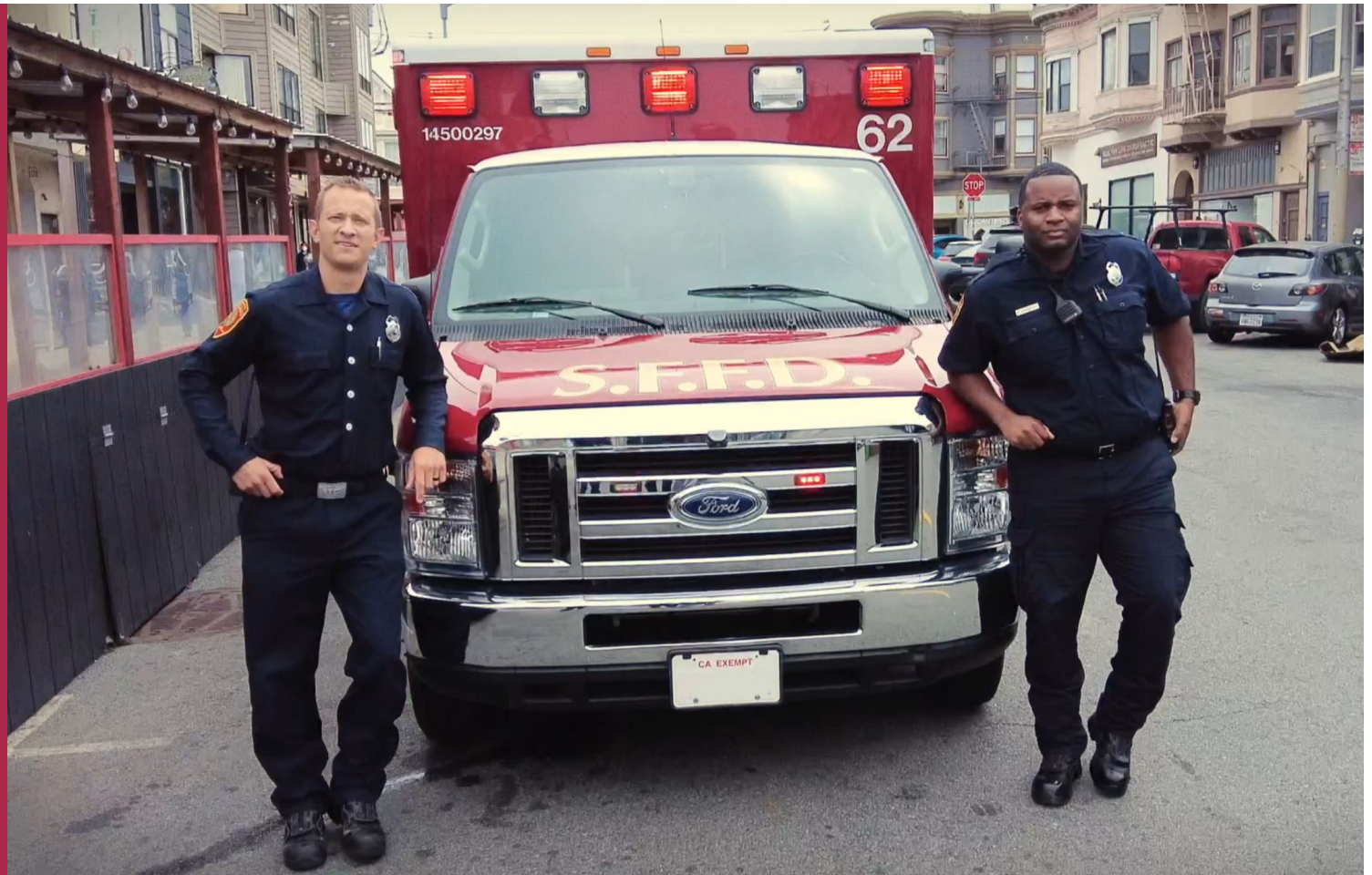
Structure Height

Roofs and Canopies

Space Heaters

Electrical Cords and Cables

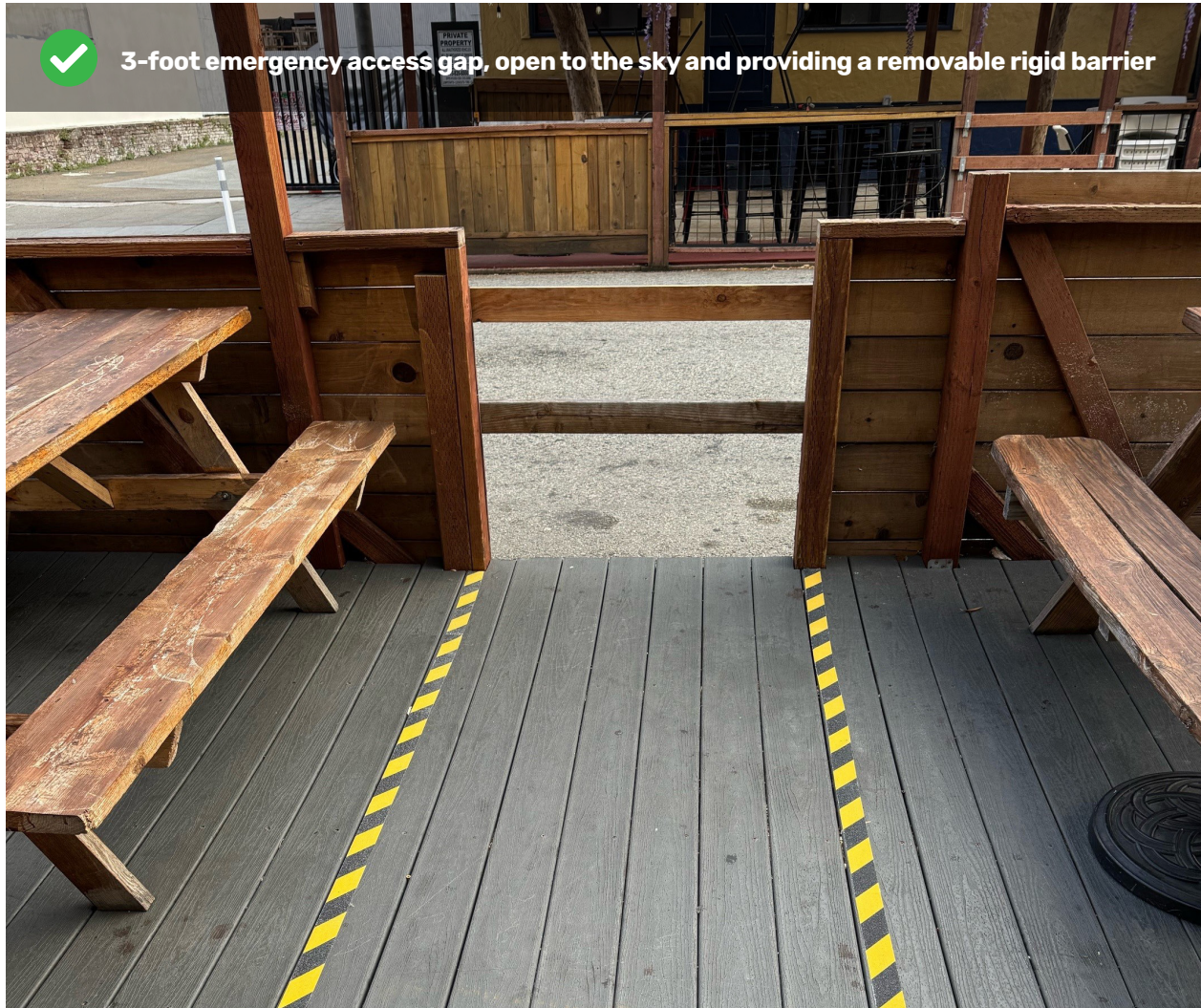
Address Display





# Emergency Access: 3-Foot Gap

Emergency responders must access sidewalks and buildings quickly from the street. Parklets should have a 3-foot emergency access gap (for every 20 linear feet), open to the sky and free of any obstructions, such as furniture, tree branches and trunks, meters, poles, etc.



3-foot emergency access gap, open to the sky and providing a removable rigid barrier

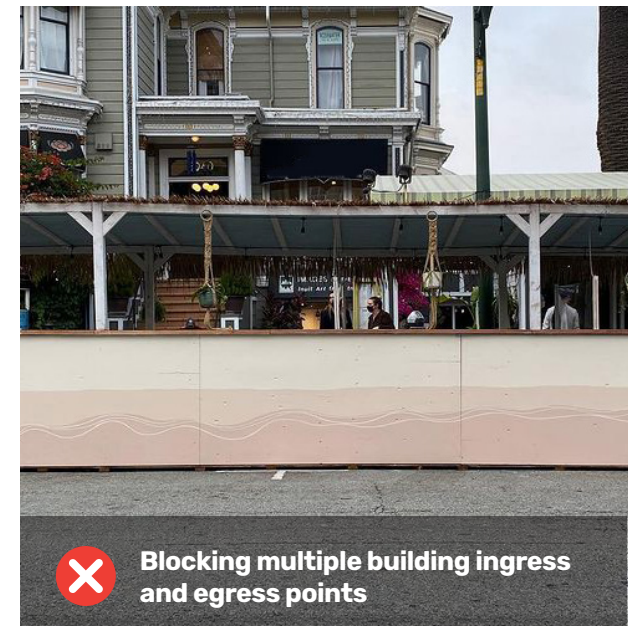
## ADDITIONAL REQUIREMENTS

**P19**

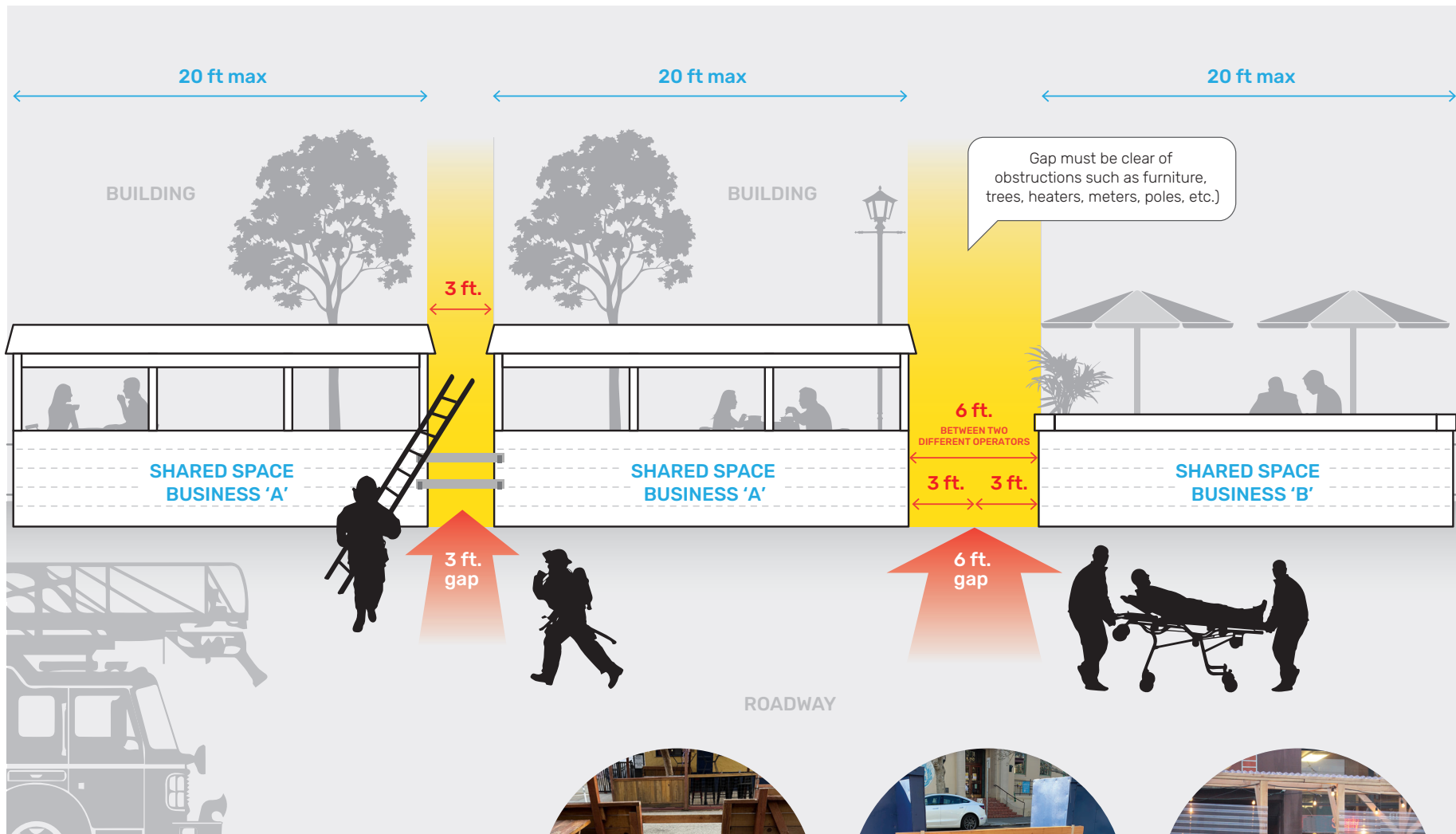
The emergency access gap must be kept clear of any obstacles, such as tables, chairs, barricades, bike racks, trees, poles, etc., at all times

**P20**

You're required to place two rigid, removable barriers at these access gaps

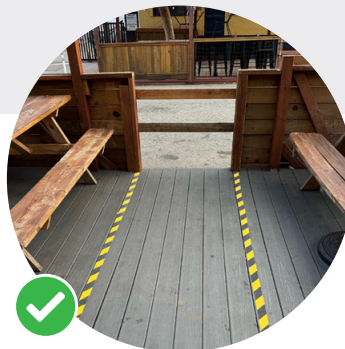


Blocking multiple building ingress and egress points



**Minimum 3-foot emergency access gap required for every 20 feet of structure, with vertical and horizontal clearance from street to building.**

Gap must be clear of obstructions such as furniture, trees, heaters, meters, poles, etc.



This is a compliant 3-foot gap with a clear path and no overhead obstructions.



Provide a rigid, easily-removable barrier at the 3-foot gaps.



This is a non-compliant gap because of the overhead and pathway obstructions.



# Emergency Access: Removable Barrier

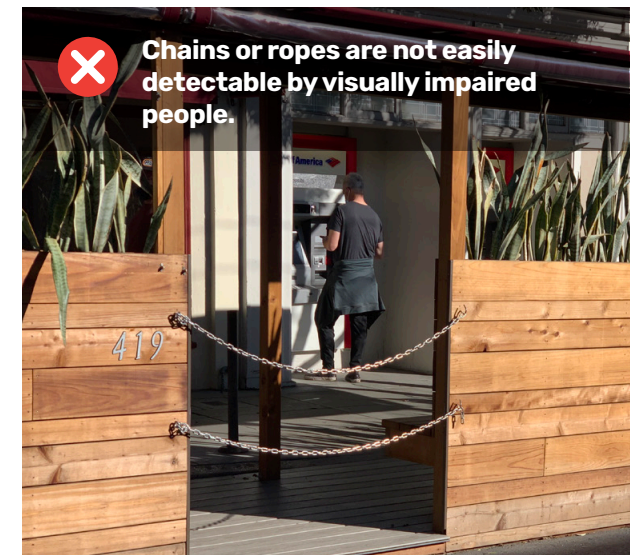
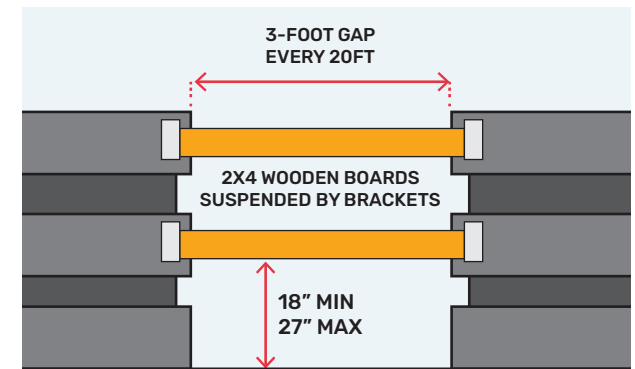
Visually impaired people need a detectable barrier to prevent them from walking out into the street. Emergency responders need to move easily between the street, parklet, and sidewalk.



✓ Barriers help visually impaired people but are easily moved in emergencies.

P20

A rigid, removable barrier is required at the 3-foot gaps. The barrier can never be locked or screwed.



✗ Chains or ropes are not easily detectable by visually impaired people.



# Emergency Access: Obstructions

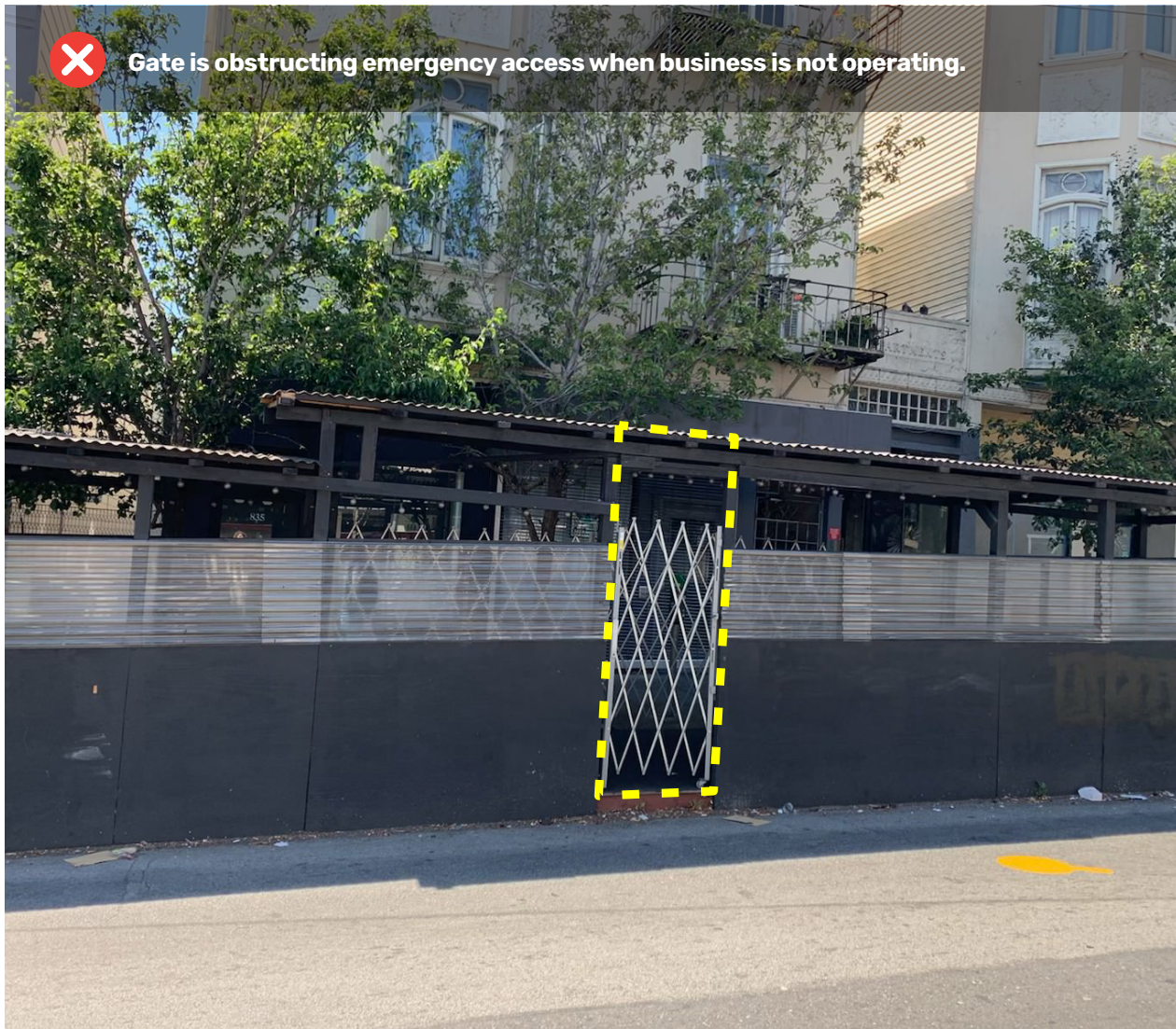
Ensure the 3-foot emergency access gaps are open to the sky and free of any obstacles.



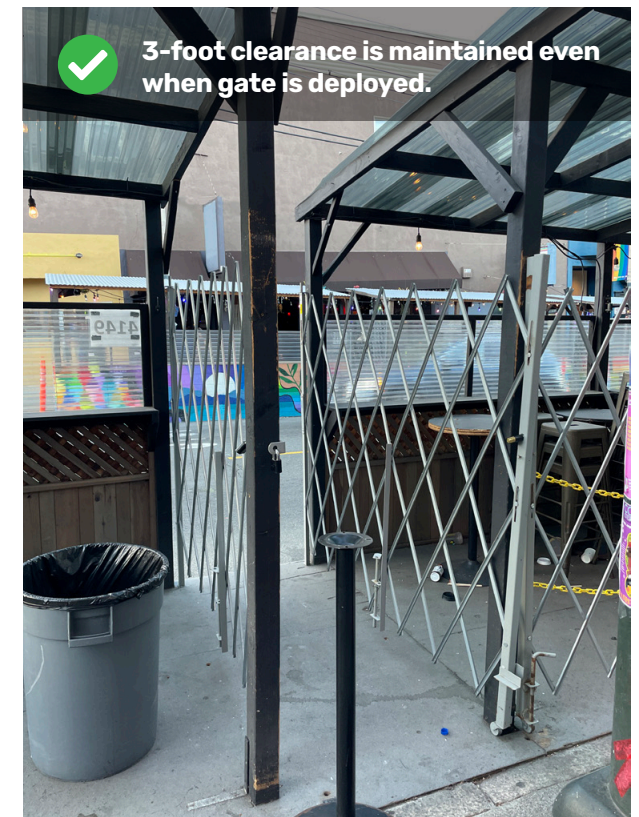


# Emergency Access: Obstructions

Emergency responders must be able to access sidewalks and buildings quickly from the street, at all times.

**P19**

Parklets must remain open and ungated during permitted business hours. If you choose to secure your commercial-use parklet outside of your permitted business hours, emergency access clearance must be maintained at all times.





# Sightlines and Visibility

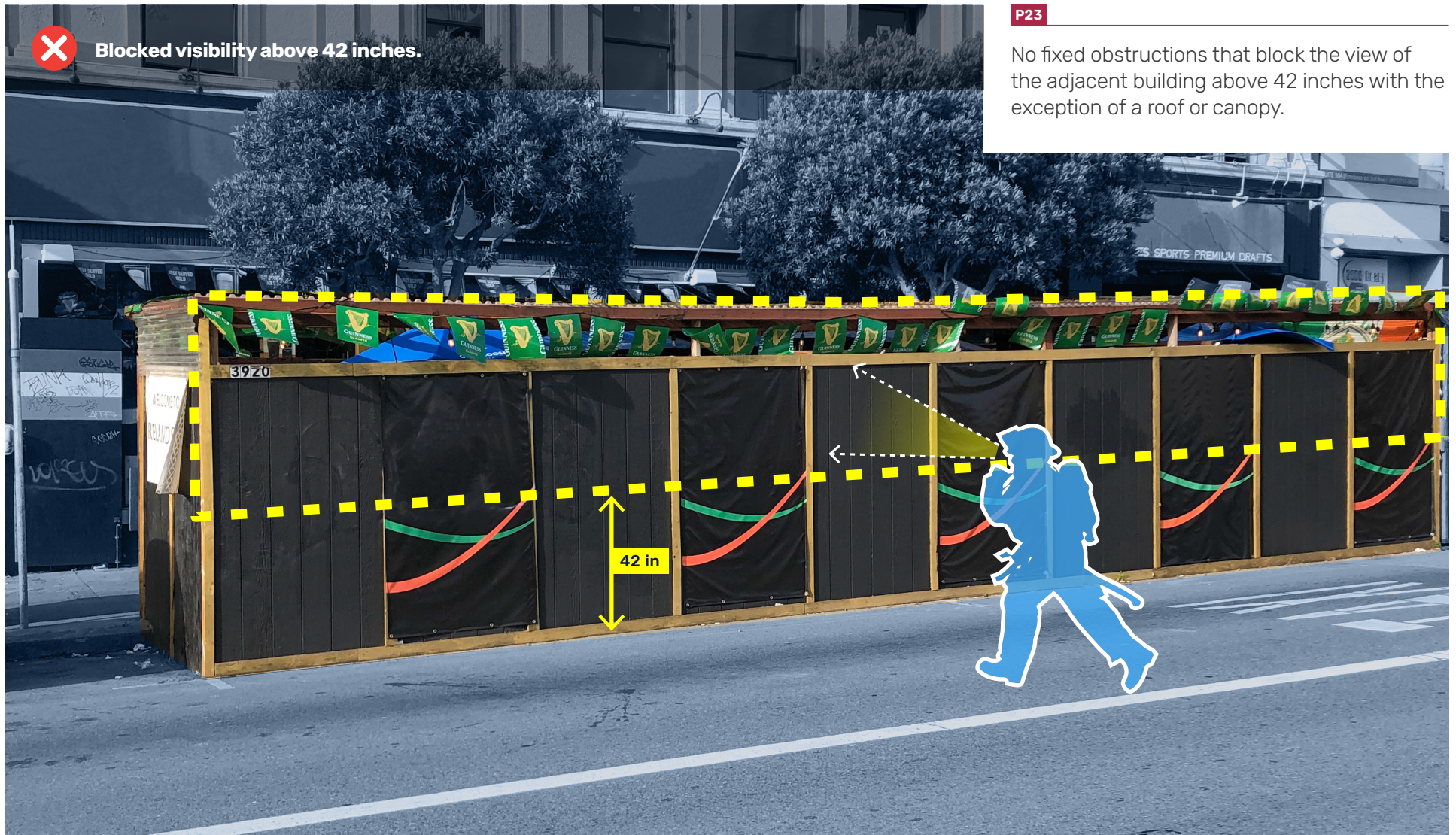
Allow first responders to view buildings, sidewalks and surroundings from the street, through your structure.



**Blocked visibility above 42 inches.**

**P23**

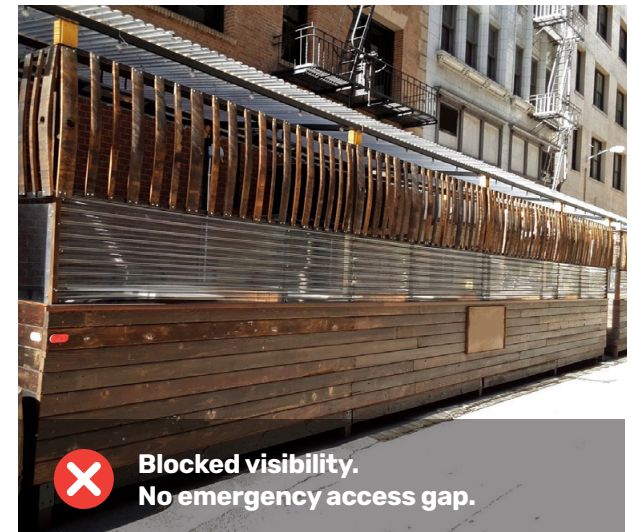
No fixed obstructions that block the view of the adjacent building above 42 inches with the exception of a roof or canopy.





# Sightlines and Visibility

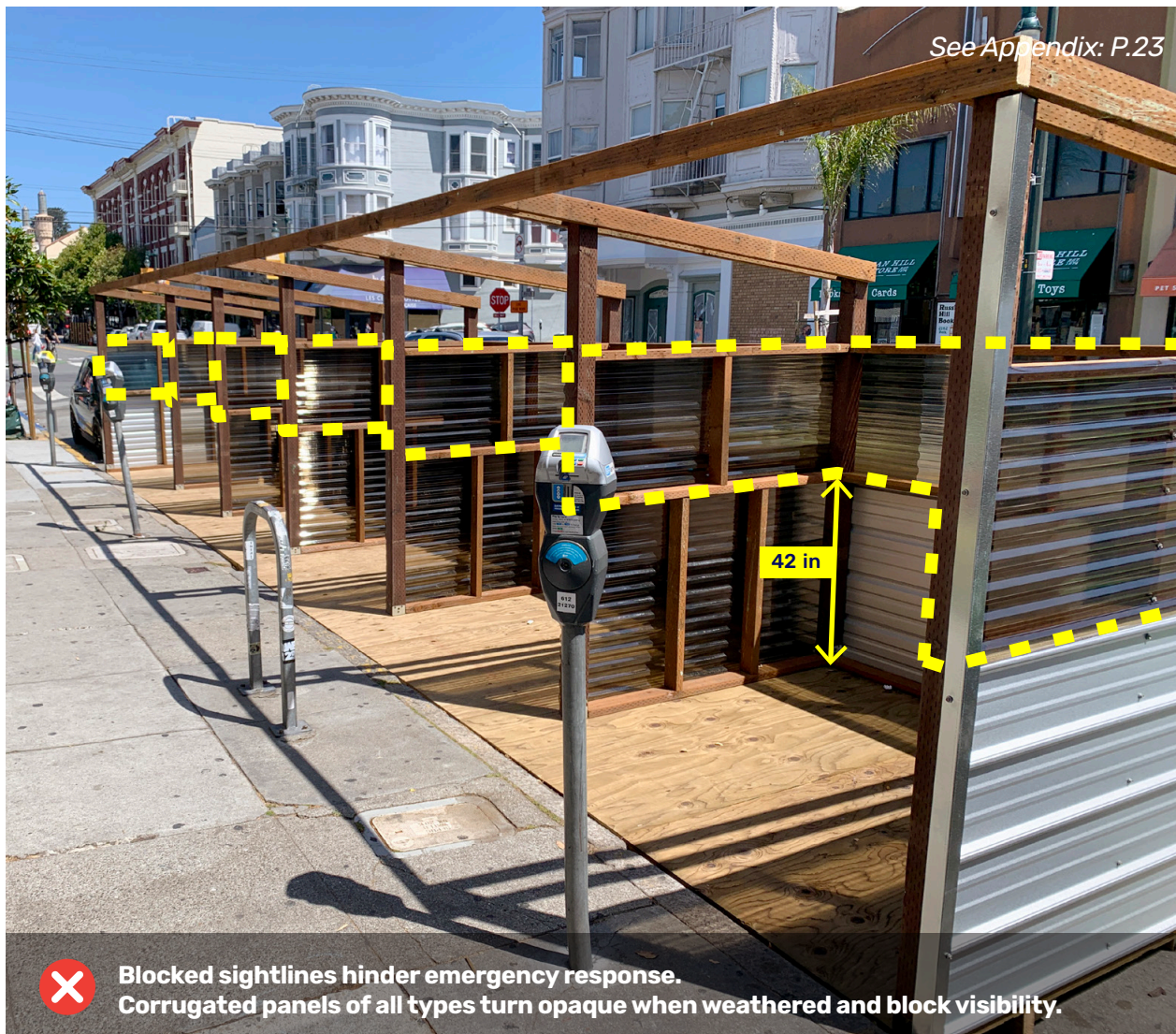
Emergency responders need to see sidewalks, building doors and windows through the parklet structure. Keep sightlines above 42 inches clear of visual obstructions.





# Sightlines and Visibility

Allow first responders to view buildings, sidewalk, and surroundings from the street, through your structure.

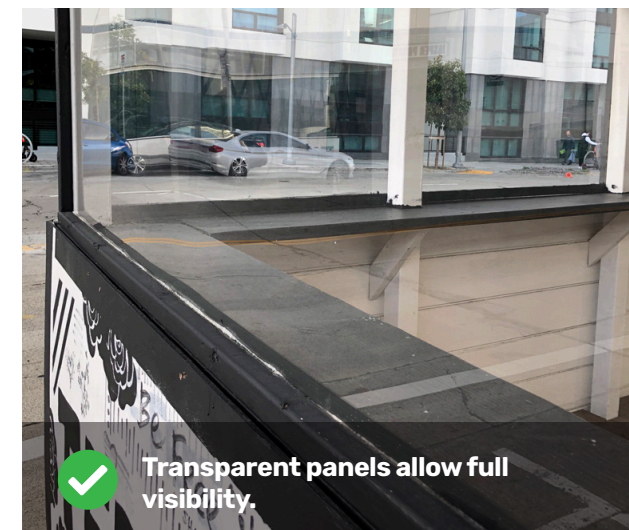


If you choose to install enclosure panels above 42 inches to block the wind, you must use transparent materials.

Tinted, corrugated and textured materials (e.g. lattice, screened materials) may not be used.

Plants may not exceed 42" in height.

Number of posts that support a roof should be minimal with ample distancing between so it does not act as a visibility obstruction.



**Blocked sightlines hinder emergency response. Corrugated panels of all types turn opaque when weathered and block visibility.**

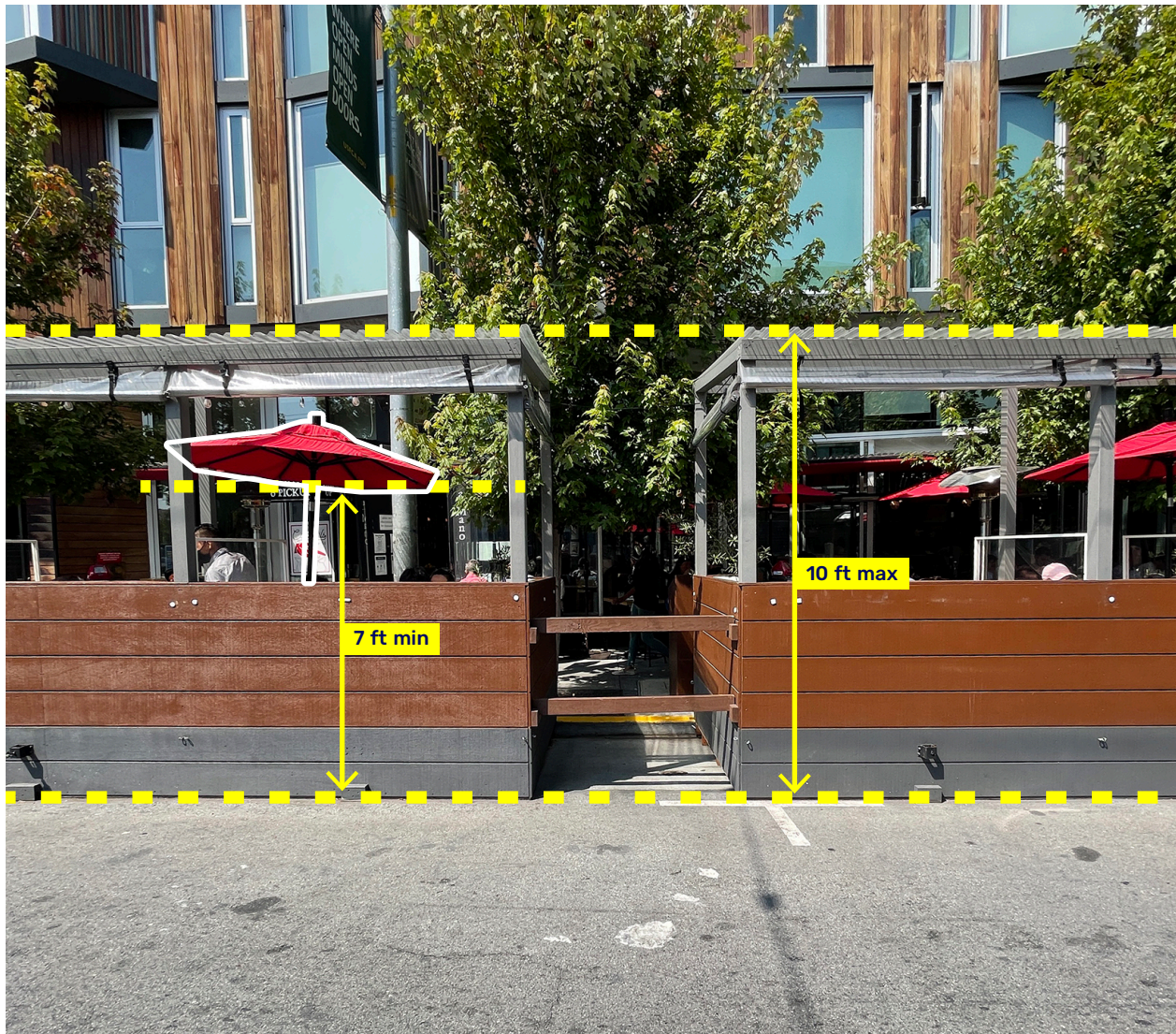


**Transparent panels allow full visibility.**



# Structure Height

If conditions are present to allow for a roof, your structure should be 10 feet maximum in height over sidewalk level (except where Muni overhead lines are present), with a minimum 7 feet of head clearance within the structure itself.



## ADDITIONAL REQUIREMENTS

### P26

No part of the structure shall exceed 10 feet in height, including poles, posts, canopies, wires, string lights, signs, or pergolas.

### P26

If Muni overhead lines are present, the top of the structure (including any roof) must not be taller than 9 feet above the road.





# Roofs and Canopies

Your Shared Space should allow full and immediate access to fire escape ladders, fire hydrants, and Fire Department connections, and allow proper operation of emergency equipment.





# Roofs and Canopies

Your structure, including roofs and canopies, should not extend onto or over the curb or sidewalk to allow for proper operation of emergency equipment, such as Fire Department ladders.



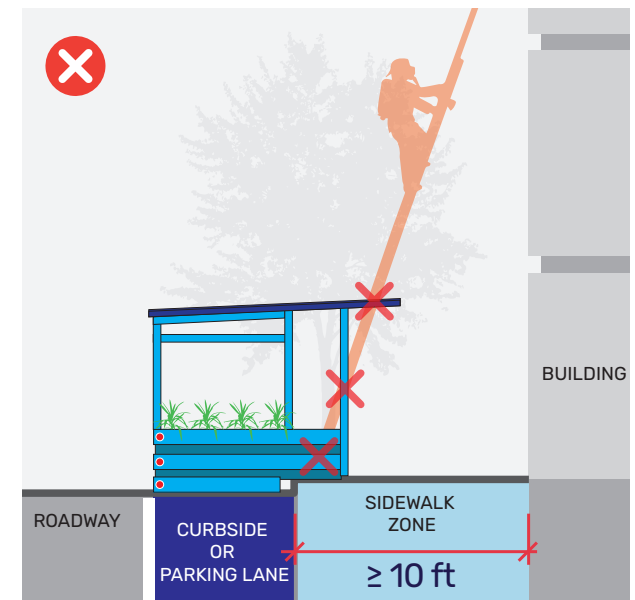
**X** Structure and canopy extend onto the sidewalk, obstructing emergency operations.

**P24**

No canopies/roofs/membrane structures/posts above 42 inches on parklets shall be permitted when sidewalk is less than 10 feet wide. It is the responsibility of the applicant to accurately measure the sidewalk. The presence of building awnings may limit ability for a parklet to have a roof.

**P25**

No part of the parklet structure shall extend over the curb or sidewalk.





# Space Heaters

You must use outdoor heating fixtures safely. Ensure the use and operation of propane heaters complies with SFFD regulations.



## ADDITIONAL REQUIREMENTS

**P33**

The use of Liquid Propane Gas (LPG) is regulated by the Fire Department. A separate SFFD Operational Permit is required for storage and use of Liquid Propane Gas (LPG). LPG will only be permitted for structures that do not have roofs or canopies. The number of propane heaters will be limited by the size of the structure. Approximately three (3) heaters for each 20' of structure length will be permitted.

Please go to [www.sf-fire.org/permits](http://www.sf-fire.org/permits) or call 628-652-3260 for more information.



**Propane heater has a 5-foot clearance from flammable materials.**



# Space Heaters

Ensure the use and operation of propane heaters complies with SFFD regulations.



## ADDITIONAL REQUIREMENTS

### P34

Propane heaters cannot be placed underneath overhead canopies or awnings, or inside buildings or tents. And they must have 5-foot clearance from any flammable/combustible materials and/or elements.

### P37

Propane (LPG) is flammable and can be easily ignited by a spark. If confined or exposed to fire, propane poses an explosion hazard.



**Propane heater placed underneath a canopy.**



# Space Heaters

A separate SFFD Operational Permit is required for storage and use of Liquid Propane Gas (LPG).



## ADDITIONAL REQUIREMENTS

### P35

A site plan with the desired location of each heater is required at time of SFFD permit application. A final on-site SFFD permit inspection will be conducted to ensure the proper spacing of heaters from combustibles and emergency access/egress.

### P36

Use outdoor heating fixtures safely and according to state and city code requirements.

### P40

LPG and heaters shall be stored in a secure outdoor location and shall not be carried through buildings. If businesses do not have an approved private outdoor storage area, all propane containers must be removed from the Shared Space and stored securely at the close of business every day.



**Propane heater has a 5-foot clearance from flammable materials.**



# Space Heater Storage

You must use outdoor heating fixtures safely. Ensure the use and operation of propane heaters complies with SFFD regulations.



## ADDITIONAL REQUIREMENTS

### P30

Electric heaters may be used in parklets per manufacturer's safety specifications. Contact Department of Building Inspection for exterior electrical outlet installation at building. Learn more: [sf.gov/electrical-conduit-and-solar-regulations-for-shared-spaces](https://sf.gov/electrical-conduit-and-solar-regulations-for-shared-spaces)

### P38

Liquid Propane Gas (LPG) shall not be stored within buildings, roofs, and/or in a basement, pit or similar location. On-site storage of 20-pound propane containers (5 gals.) is prohibited indoors.

### P39

Proposed outdoor storage of 20-pound propane containers requires plan review and inspection by SFFD. Liquid Propane Gas (LPG) storage is not allowed in the public right of way, per Public Works regulations.



**Storage of Liquid Propane Gas (LPG) is not allowed in the public right of way.**



# Electrical Cords and Cables

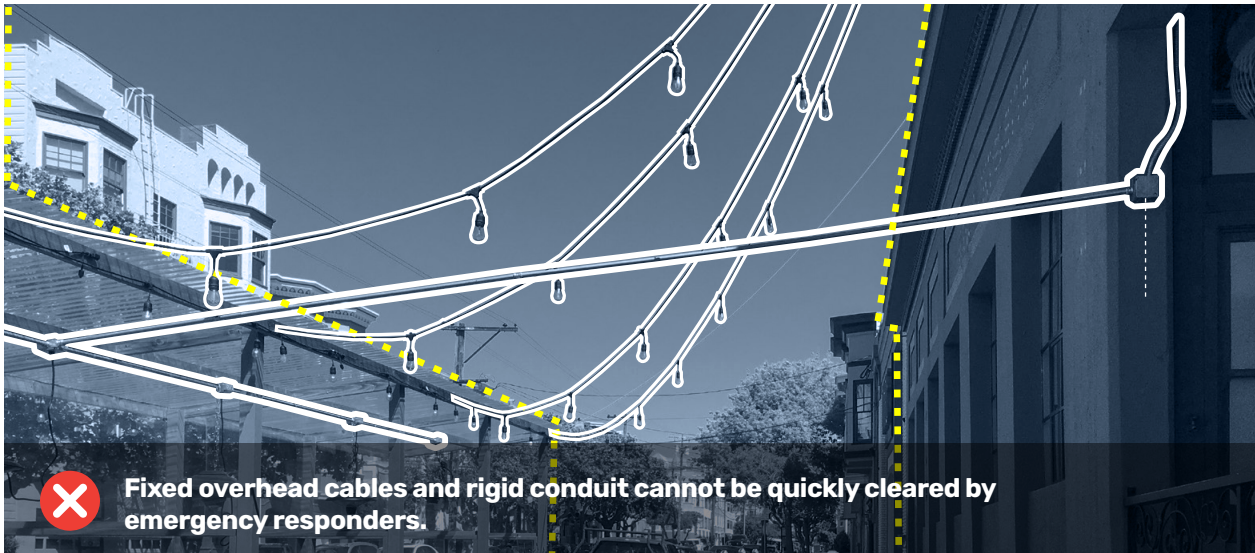
Cords or cables can be easily unplugged from outlet in an emergency.



**✓** A single cord plugged directly into electrical outlet is easy to unplug in case of emergency.



**✓** A single cord from the parklet to the building.



**✗** Fixed overhead cables and rigid conduit cannot be quickly cleared by emergency responders.

## RESTRICTIONS

### P28

Power cords between the building and parklet shall be limited to one (1) cord at each end of the parklet and shall not be adjacent, above, below or attached to any part of the fire escape.

### P29

All cords and wires used for lighting shall be run overhead and be quick and easy to disconnect.

### P29

Cable ramps are not permitted. See Accessibility section in Appendices.

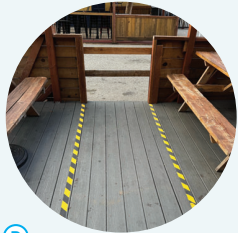


# Electrical Cords and Cables

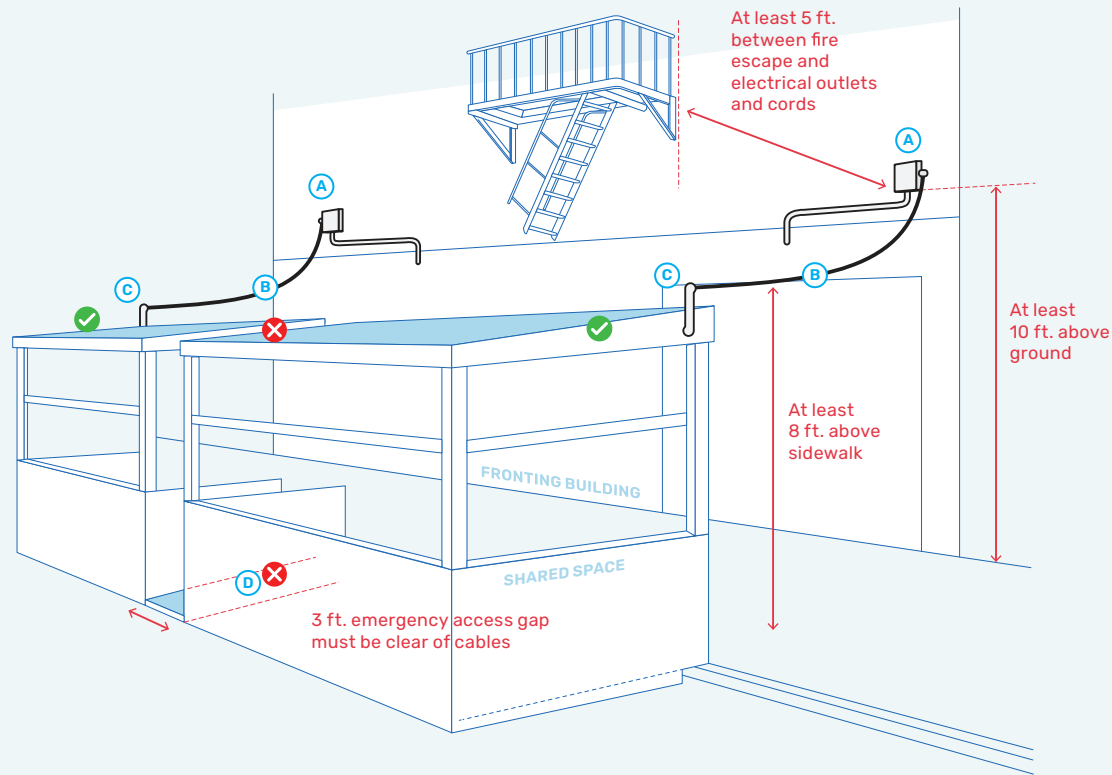
## ELECTRICAL CONDUIT GUIDANCE FOR SHARED SPACES



**A** The cables should be plugged into no more than 2 outdoor-rated receptacles grouped together, far away from fire escapes and other emergency infrastructure.



**D** Electrical cords cannot be placed in either 3-foot setback area on the sides of the structure, or the middle 3-foot gap (if applicable). These areas must always remain clear from the ground to the sky of all obstructions such as tables, chairs, gates, mopeds, etc. for emergency operations.



**B** Electrical cords must be supported on their own. No fixed, rigid conduit, aircraft cables, extension cords, beams, mesh wire support. Sidewalk cable ramps are never permitted.



**C** Cables can only be placed across from the far ends of the shared space. They cannot be placed in the 3 ft emergency access gap.

Electrical connections between the structure and main business can only be placed from the far ends, for a maximum of (2) connections for the entire structure. This maximum applies to all structures, regardless of structure length.



# Address Display

Emergency responders need to quickly identify addresses of adjacent buildings. The building street address should be displayed on the parklet and easily read from the street.



P31

The address for each storefront or building where a parklet is located shall be displayed at a height of 36 to 42 inches on the street-facing side of the enclosure and be readily visible for emergency responders.

Address numbers shall be a minimum of 4 inches tall (5/8-inch-wide stroke) with black numbers on a white background or other high-contrasting colors.



Address is clearly displayed and visible to emergency responders.

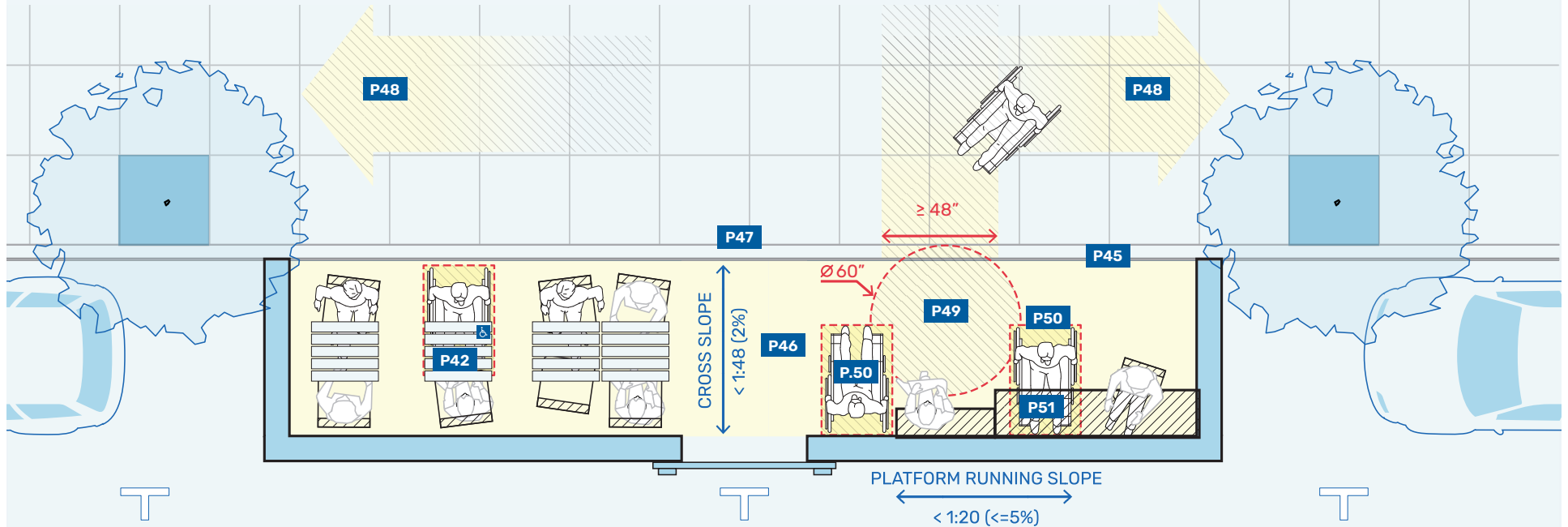




# Accessibility

Shared Spaces should be fully accessible to, and useable by, all people. All accessibility elements of the proposed structure shall be designed, constructed and/or conform to the applicable provisions, rules, regulations and guidelines of the San Francisco Building Code and 2010 ADA Standards for Accessible Design.

This diagram is for illustrative purposes only and does not reflect every parklet's site conditions and accessibility requirements.



**P.42** AT LEAST ONE ACCESSIBLE TABLE

**P.47** ACCESSIBLE ENTRANCE

**P.50** WHEELCHAIR SEATING AREA

**P.45** PLATFORM THRESHOLD

**P.48** ACCESSIBLE ROUTE

**P.51** ACCESSIBLE FACILITIES

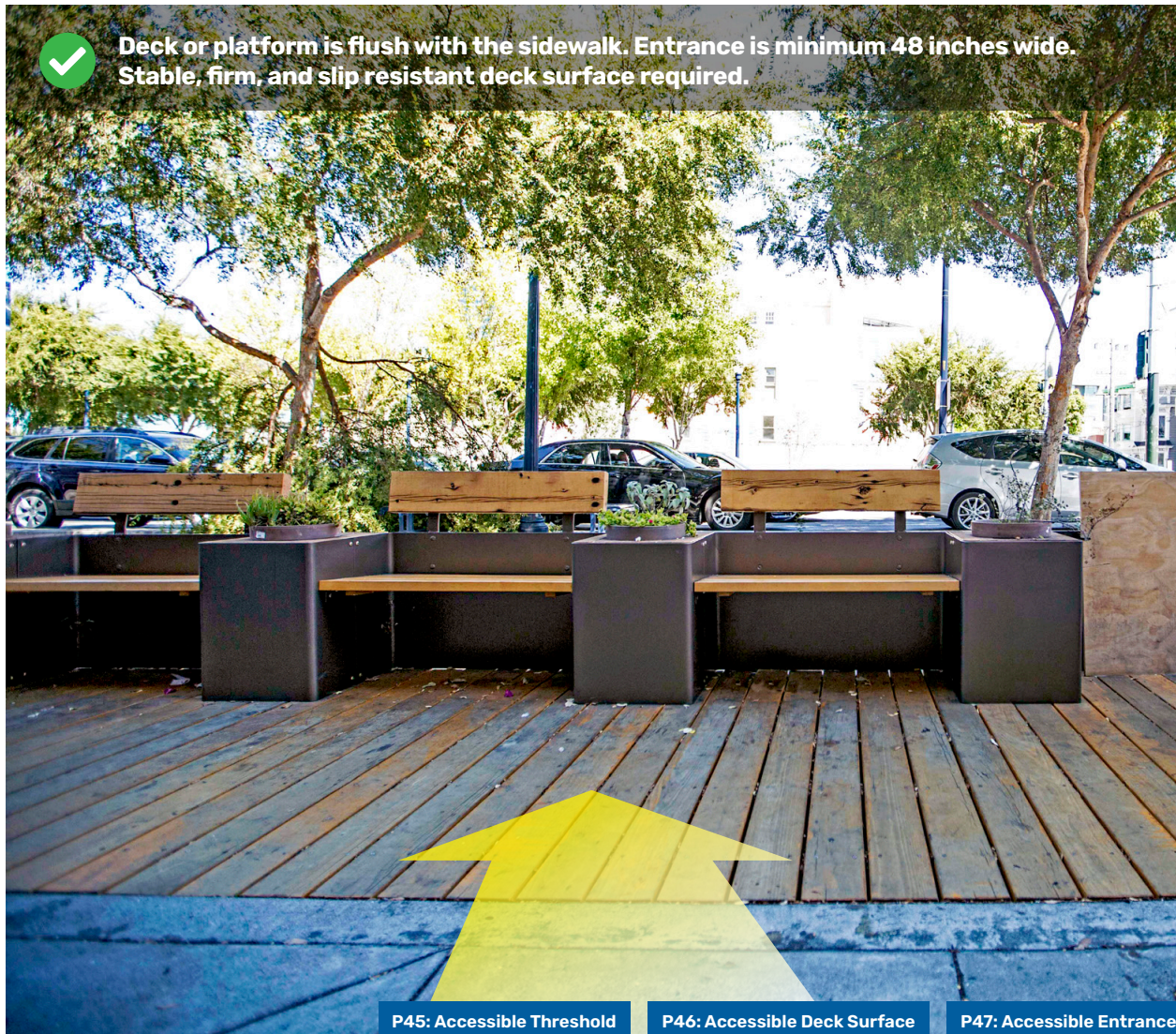
**P.46** ACCESSIBLE DECK SURFACE

**P.49** WHEELCHAIR TURNING SPACE



# Platform Access

Persons with disabilities must be able to access parklets.



All movable commercial parklets must comply with all accessibility requirements in this manual. Additional details on accessibility requirements are included in the appendix. Be sure to review the supplement, particularly if your Shared Space has unique site conditions or design elements.

## ADDITIONAL REQUIREMENTS

The deck of the platform shall be flush with the sidewalk.

Entrances to parklets shall be at least 48 inches wide and not be obstructed by barriers, including but not limited to, parking meters, bike racks, poles, and/or other vertical obstructions.

The deck must connect the sidewalk through the accessible entrance to the deck surface, wheelchair turning space and wheelchair seating area.

The cross-slope of platforms shall not exceed 2%. Some sites may be ineligible for a parklet if the slope exceeds 2%.

The running slope (slope parallel to the curb) of the platform shall match the sidewalk running slope (up to 5% maximum).



# Platform Access

People with disabilities must be able to access parklets.



P45: Accessible Threshold

P46: Accessible Deck Surface

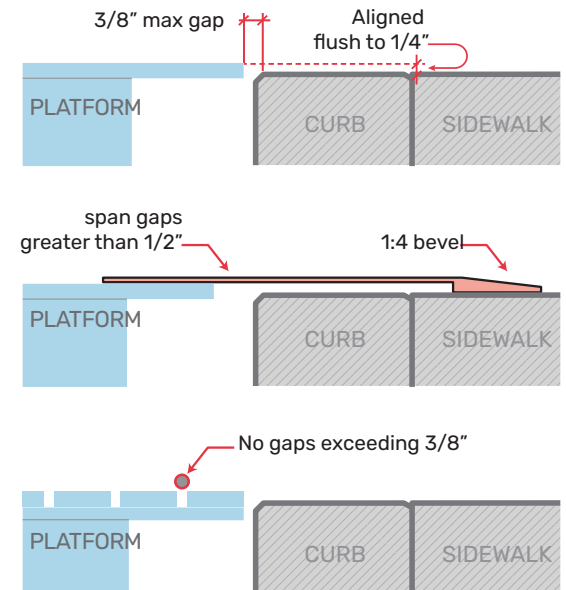
P47: Accessible Entrance

**P48**

All entrances to the platform are required to be flush with the sidewalk, unobstructed and accessible.

**P45**

Lips or thresholds should not be taller than 1/2 inch. Vertical separations between 1/4 inch and 1/2 inch high shall be beveled with a slope not steeper than 1:4 (25%)





# Accessible Route

All Shared Spaces must be fully accessible to, and useable by, people with disabilities.



P48

The accessible route must connect the sidewalk through the accessible entrance, to the deck surface, wheelchair turning space and wheelchair seating area.

P28 P29

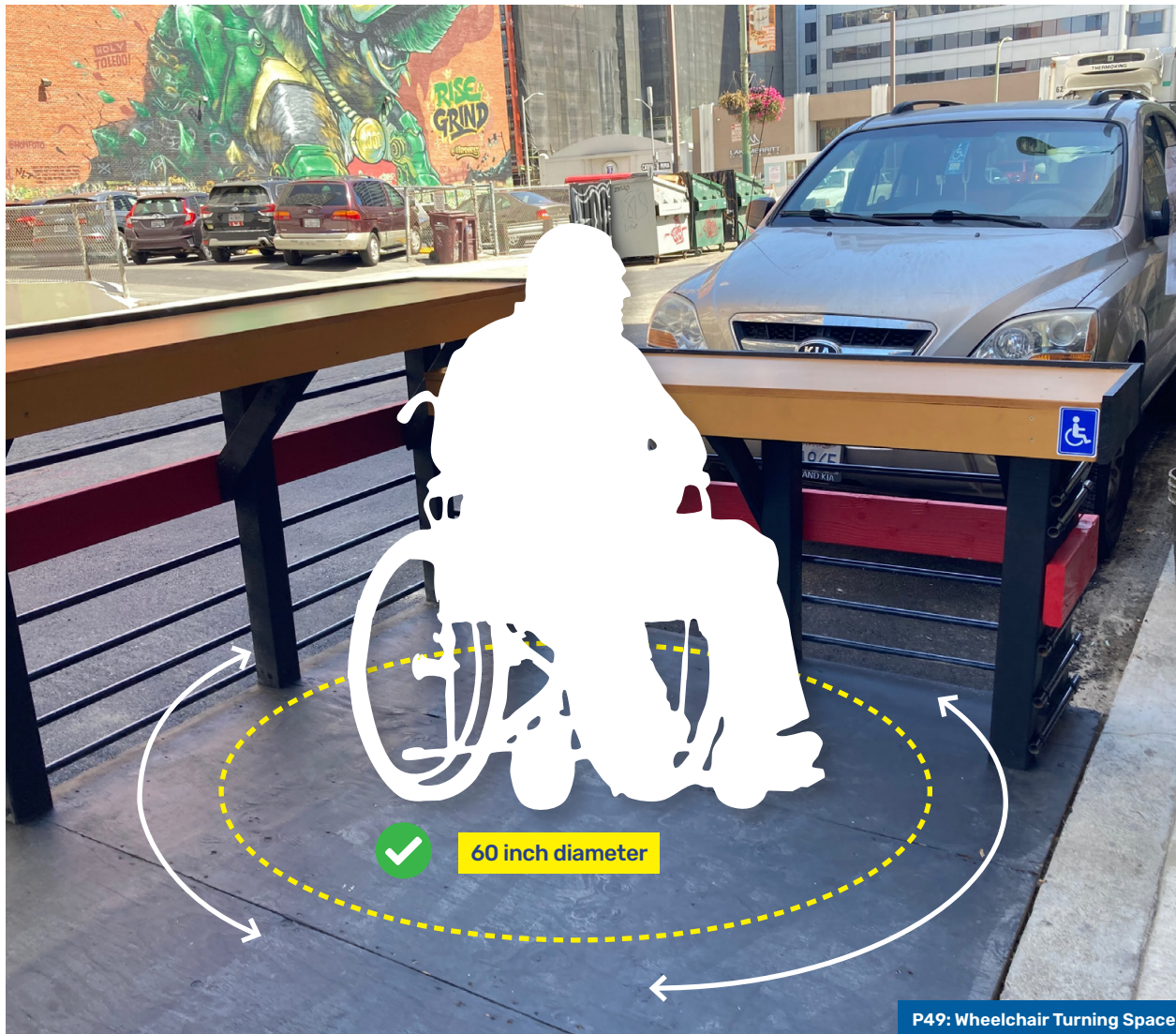
Cable ramps are not permitted.





# Wheelchairs

All Shared Spaces must be fully accessible to, and useable by, people with disabilities.

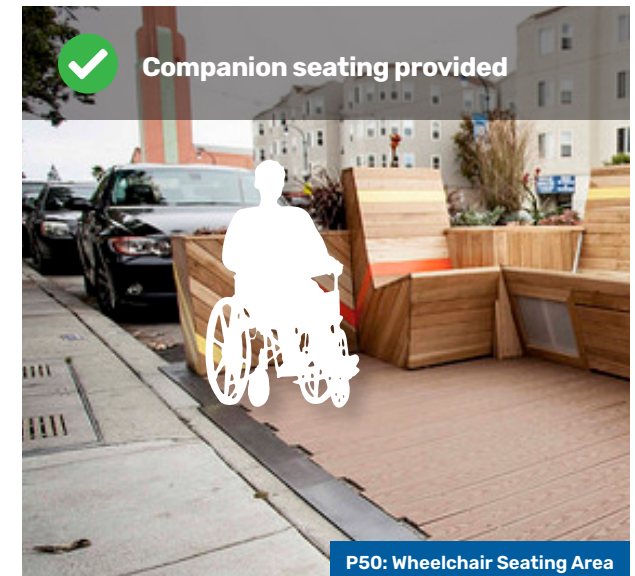


**P49**

Provide wheelchair turning space that is at least 60 inches in diameter and located entirely within the platform; a 12-inch maximum overlap on the curb and sidewalk is acceptable. A T-turn per California Building Code 11B is also acceptable.

**P50**

A 30 inch by 48 inch clear floor area is required. A minimum 4-foot maneuvering clearance is required from the front edge of the wheelchair seating area to the table or counter.





# Equal Access

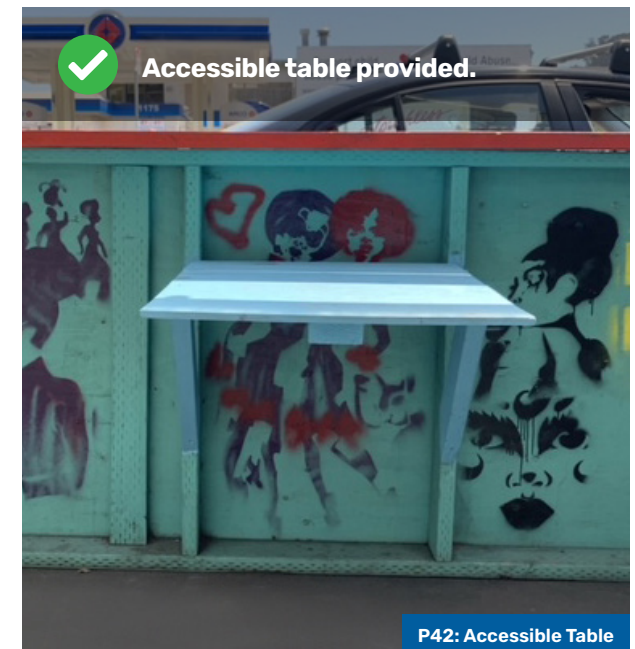
Persons with disabilities should be able to use all amenities in your parklet.



## ACCESSIBILITY SUPPLEMENT

See appendix for detailed diagrams of accessible furniture requirements.

Where tables, counters, or drink rails are provided, at least one of each feature shall be wheelchair accessible.



# R

# Roadway Shared Spaces



Businesses, merchant groups, and community organizations may apply for a Roadway Shared Space. This type of Shared Space is a recurring closure of traffic lane(s) that doesn't interfere or delay a public transit service, and generally does not exceed 10 consecutive hours per day, over four consecutive days per week. Sponsor staff will ensure all emergency services are able to operate while the proposed closure takes place.

You can ask for one or more blocks to be closed to traffic and opened for people and business. Partial closures of some traffic lanes, not the full street, may be possible in some locations.

Application site plans are encouraged to include a variety of typical event configurations. Once permitted, applicant can only set up within approved site plan conditions.

Which activities are allowed in Roadway Shared Spaces?

- Informal gathering
- Outdoor recreation
- Entertainment and amplified sound
- Outdoor seating for cafes and restaurants
- Retail display or sales
- Services

All applications for Roadway Shared Spaces are unique and will need to be closely reviewed by City staff. Streets where there is broad community support from nearby businesses and residents have a better chance of being approved. Applications are permitted via the ISCOTT public hearing process.

## LOCATION & SITE TREATMENTS



### Location Criteria

Preferred conditions on proposed street closure:

- Free of public transit or bike lanes
- No driveways or alleys
- Low traffic volumes and slow speeds
- No fire or police stations, medical facilities, or similar facilities

### Design Criteria

R1

Sidewalks shall remain open at all times for normal pedestrian use. Additional permits are needed for adding tables, chairs, or other physical objects on the sidewalk.

R2

You may not fasten any object to the surface of the street or sidewalk, nor affix to any pole without prior written consent of the Director of Public Works.

R3

An accessible route to Roadway Shared Spaces is required, which may be provided by utilizing existing curb ramps and/or providing an accessible ramp to the roadway.

R4

Do not obstruct any utility covers, valve box covers, or similar infrastructure

R5

Keep furniture and all other physical objects in the approved area.

R6

Keep the street clean of trash, debris, and food waste at all times.

R7

Comply with other City regulations as applicable.

R8

Get required permits for specific activities, such as serving alcohol.

R9

All Roadway Shared Spaces elements must be removed at the end of the permitted closure time, each day. No elements (barricades, furniture, etc.) shall be stored within the public right of way. See *Section 3: Shared Spaces Operations for Roadway Shared Spaces Monitor Responsibilities*.

R10

SFMTA will supply permittee with one set of barricade materials. Upon delivery, barricade materials shall become property of the permittee. They shall not be stored within the public right of way when not in use. Permittee is responsible for arranging barricades to meet the specifications outlined in their permit and maintaining the placement of barricade materials during hours of the closure.

## FIRE SAFETY & EMERGENCY ACCESS



R11

Keep all Fire Department devices free of obstructions. You may not place objects within 15 feet of any fire hydrant or within 5 feet of any fire alarm box or police call box.

R12

Maintain an emergency access lane through the closed block(s) free of any physical objects (including signs, furniture, and art displays).

## TRAFFIC SAFETY



R13

Keep intersections, crosswalks, curb ramps, and driveways free of obstructions.

R14

All materials and equipment used for the closure shall be removed and the street returned to normal condition at the end of the permitted closure time each day.

R15

All Roadway Shared Spaces must provide and use appropriate barriers and street signage.

## ACCESSIBILITY



R15

Applicants must ensure that at least 5% – but no fewer than one (1) – of available tables are accessible for wheelchair users. If tables are provided in a Roadway Shared Space, there shall be an accessible table within that Roadway Shared Space. See *Section 5: Appendices* for details.

R16

Temporary mid-block accessible curb ramps may be required to provide an accessible route between the sidewalk and street level.

R17

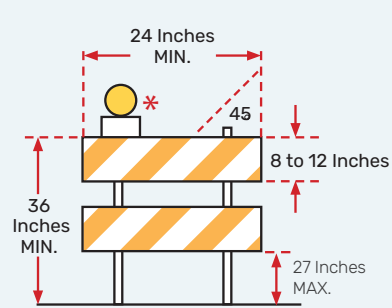
Shared Spaces shall not reduce or have the effect of reducing the accessibility of the sidewalk to persons with disabilities. The Americans with Disabilities Act and 2010 Accessibility Standards require performance areas to be accessible to persons with disabilities.

## APPLICATION CHECKLIST

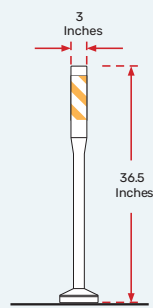
See *Section 5: Appendices* for a checklist of items to prepare for the digital permit application submittal.



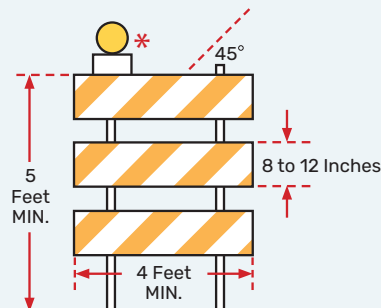
## Types of Barricades and Delineators



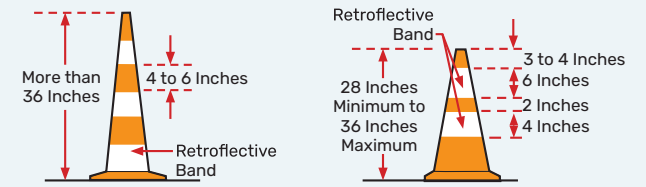
**TYPE 1 BARRICADE \*\***



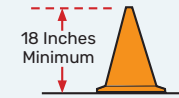
**DELINEATOR POST**



**TYPE 3 BARRICADE \*\***



Night and/or freeway  
High-speed roadway  
(≥45mph)



Day and low-speed  
roadway (≤45mph)

\* Warning lights (Optional)

\*\* Rail stripe widths shall be 6 inches except that 4-inch-wide stripes may be used if rail lengths are less than 36 inches.



Photo by Shared Spaces



Photo by Shared Spaces

# Outdoor Entertainment and Amplified Sound

In order to host entertainment or amplified sound in an outdoor space, an entertainment permit is required from the SF Entertainment Commission. Here are examples of outdoor activities that require an entertainment permit:

- Live music, such as a band or DJ
- Theater, comedy, or dance performance
- Fashion show
- Amplified speech
- Amplified sound without a performer, such as pre-recorded music or sound on a patio
- Film/TV screening with amplified sound

## JAM Permit Transition Program

**JAM or “Just Add Music” Permit (program expired on 3/31/2023):** Did your business hold a JAM permit with ongoing entertainment or amplified sound in a parklet or sidewalk seating area?

If YES, you have a \*free\* opportunity to apply to transfer your previously JAM-permitted location to a permanent “brick-and-mortar” entertainment permit from the Entertainment Commission for a limited time.

## STEPS:

**Apply for a new Shared Spaces Legislated Permit.** You need this approval for the outdoor space before your business is eligible to apply for a brick-and-mortar entertainment permit. Once you receive a “Conditionally Granted” or final approval “Element” permit from the Shared Spaces program, contact the SF Entertainment Commission at [entertainment.commission@sfgov.org](mailto:entertainment.commission@sfgov.org) to let us know the status and we will send you the next steps.

Conditionally Granted Shared Spaces permits may be eligible for a temporary event permit to allow outdoor entertainment/amplified sound in the interim until they receive the permanent entertainment permit. Element status permits may begin the process of applying for the permanent entertainment permit from the Entertainment Commission.

*Note: If your business already holds a brick-and-mortar permit for indoor entertainment, you may apply to amend your permit to add entertainment/amplified sound to your outdoor space, once you receive the final “Element” status from Shared Spaces.*

An applicant’s eligibility to transfer from a JAM permit to a brick-and-mortar entertainment permit depends on the continued permissibility of the proposed use at the outdoor location through a Legislated Shared Spaces permit, Tables and Chairs permit, Parklet permit, or Land Use Authority approval from such entities as Planning or The Port.



Picture from left to right: Geoff van Lienden (guitar), Wade Peterson (percussion), Colm Ó Riain (violin, bandleader), Joe Kyle, Jr (bass) performing at Belle Cora. Photo credit: SF Entertainment Commission

All transfer applicants must comply with standard public noticing, neighborhood outreach, and public meeting requirements.

## Permanent “Brick-and-Mortar” Entertainment Permits

The Entertainment Commission’s brick-and-mortar entertainment permits are:

- **Limited Live Performance (LLP) Permit**  
[www.sf.gov/get-limited-live-performance-permit](http://www.sf.gov/get-limited-live-performance-permit)
- **Place of Entertainment (POE) Permit**  
[www.sf.gov/get-place-entertainment-permit-your-business](http://www.sf.gov/get-place-entertainment-permit-your-business)
- **Fixed Place Outdoor Amplified Sound (FPAS) Permit**  
[www.sf.gov/get-fixed-place-outdoor-amplified-sound-permit-your-business](http://www.sf.gov/get-fixed-place-outdoor-amplified-sound-permit-your-business)

Refer to their pages to see which permit might be appropriate for your business and the requirements.

## Temporary Outdoor Events with Entertainment/Amplified Sound

### ONE TIME OUTDOOR EVENT PERMIT

Apply for this Entertainment Commission permit to host outdoor entertainment or amplified sound at a temporary event.

To apply, visit [www.sf.gov/get-entertainment-permit-your-outdoor-event](http://www.sf.gov/get-entertainment-permit-your-outdoor-event)



Contact the Entertainment Commission with questions:

[entertainment.commission@sfgov.org](mailto:entertainment.commission@sfgov.org)  
628-652-6030

Learn more about the Entertainment Commission at:

[www.sf.gov/entertainmentcommission](http://www.sf.gov/entertainmentcommission)



# Operator's Responsibilities

All Shared Spaces permit holders must abide by all terms and conditions of the Shared Spaces permit.

## Accessibility



- **Clear path of travel:** Hosts are responsible for maintaining a clear path of travel, not only from furniture or structures, but also from patrons in queue or waiting.
- The permit holder shall be responsible for ensuring the space occupied and services offered under the permit comply with applicable health orders and directives, as well as with all laws requiring accessibility for people with disabilities and that the space and services do not interfere with emergency responders' access.

## Upkeep & Maintenance



- You are required to keep your Shared Spaces well maintained and in good repair under the conditions of approval of your permit. Shared Spaces operators' are encouraged to develop a maintenance plan to keep all elements of a Shared Space in good, safe condition and keep it safe and free of trash, debris and graffiti.
- Shared Spaces operators are required to regularly sweep the area surrounding their space and keep it litter-free.

- Curbside and Parking Lane Shared Spaces must rinse out and clean debris from the area under their structure at least once a week. The Department of Public Health may require you to provide pest abatement beneath the parklet platform.
- Shared Spaces parklets that have been installed for several years will likely require renovations from time to time due to wear and tear from daily use and prolonged exposure to the elements.
- All Shared Spaces operators are responsible for providing and maintaining access to the City's infrastructure, including, but not limited to: utility poles, gas valves, utility covers, waste water systems, fire hydrants, cisterns and catch basins. This can include the temporary or permanent removal and/or storage of any structure(s) inhibiting access to these facilities.
- Shared Spaces hosts must maintain the quiet, safety, and cleanliness of the sidewalk and parking lane space and its adjacent area, in accordance with standards set forth in the [Public Works Good Neighbor Policy](#).
- In addition, you are responsible for removing any structures when the Shared Spaces permit expires, or when you wish to end

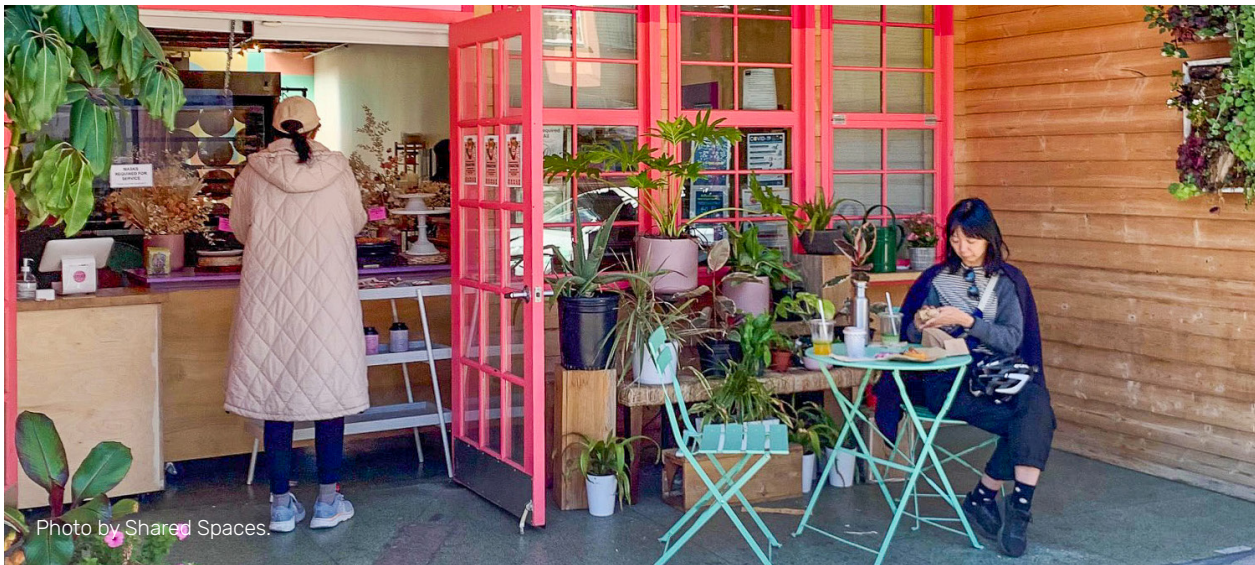


Photo by Shared Spaces.

participation in the Shared Spaces program. See *Section 4: Enforcement* for details.

- Your Shared Spaces permit must be displayed at business frontage when applicable.

## Hours of Operation



- **Tier 1 Fixed Public Parklets:** Must maintain public access at all times, regardless of business or entity's hours of operation.
- **Tier 3 Fixed Commercial Parklets:** Operators may reserve seating and tables within their parklet. Commercial parklets must remain open and ungated during permitted business hours but no later than 10pm on weekdays and 11pm on weekends.
- **Tier 2 Movable Parklets:** Operators may reserve seating and tables within their parklet. Operators may choose up to three consecutive time blocks from the following available times:
  - » 8 A.M. - noon
  - » Noon - 3 P.M.
  - » 3 P.M. - 6 P.M.
  - » 6 P.M. - 10 P.M.

All elements of the movable parklet must be removed outside of the allocated time blocks. No elements (barricades, furniture, etc.) shall be stored within the public right of way.

- **Roadway:** All Roadway Shared Spaces elements must be removed at the end of the permitted closure time, each day. No elements (barricades, furniture, etc.) shall be stored within the public right of way.

## Permit Renewal



- The fee to renew a Shared Spaces permit will vary by type and scope of permit. Visit [www.sf.gov/shared-spaces](http://www.sf.gov/shared-spaces) to calculate your renewal fees. Read the details of your permit to prepare for renewal.
- You will be required to submit an updated Certificate of Insurance and a Neighboring Consent Letter, if applicable, annually.
- If significant public concern is expressed about the installation or stewardship of your Shared Space, Public Works may conduct a public hearing before a Public Works Hearing Officer to determine if your permit should be revoked or renewed.

## Report a Shared Spaces violation.



Go to [www.sf.gov/shared-spaces](http://www.sf.gov/shared-spaces)

or submit a complaint to 311 at:

[www.sf.gov/report-violation-sidewalk-or-parking-lane-use](http://www.sf.gov/report-violation-sidewalk-or-parking-lane-use)

## Removal



### FOR TIER 1 & 3 PARKLETS

#### Ending your temporary Shared Space?

Go to [sf.gov/end-your-shared-space](http://sf.gov/end-your-shared-space) for instructions.

- **Self-initiated removal:** If for some reason you decide you no longer want to keep your parklet, you are responsible for notifying Public Works and removing it at your own expense. Removal may require an additional permit from Public Works.
- **Streetscape improvements:** In some instances, such as street repaving, utility work, or streetscape redesign, the City may require you to remove your parklet. The City

will strive to notify you as early as possible in such instances. Circumstances permitting, you may be able to re-install your parklet after the street improvement work has been completed. In such cases, you may need to store your parklet off-site during streetscape construction. You are responsible for the costs of removing, storing, and re-installing the parklet.

- **Public safety emergencies.** Because parklets may sit atop buried utilities, there may be instances where your parklet will need to be removed with little notice. In the unlikely event of a utility failure or property damage, such as a gas leak that threatens public safety, the City may remove your parklet with little or no notice. You are responsible for the cost of re-installing and repairing any damage to the parklet.
- **Failure to maintain.** Parklet operators who fail to properly and sufficiently maintain the cleanliness, safety, and accessibility of their parklet may be subject to violations and fines. If maintenance issues are not resolved, parklet operators may be required by Public Works to remove the parklet at their own expense.

## Change of Ownership



If your business changes ownership, you will either need to remove your parklet or transfer the permit to the new owner within 30 days. There are no exceptions. To transfer the permit, the new operator must submit a new permit through [www.sf.gov/shared-spaces](http://www.sf.gov/shared-spaces).

You retain full responsibility for the parklet until such time that the new sponsor's permit is officially approved by Public Works. For more details on permit transfers, contact Public Works at [sharedspacespermit@sfdpw.org](mailto:sharedspacespermit@sfdpw.org).



SECTION 3

# Enforcement

Photo by Shared Spaces

# Enforcement and Compliance for Parklets

All Shared Spaces permit holders must abide by all terms and conditions of the Shared Spaces permit and applicable codes and regulations. Enforcement is often prompted by 311 and community complaints stemming from compliance issues, including abandonment, ADA accessibility, path-of-travel obstructions, and exceeding the scope of permissible occupancy. Enforcement may be necessary when a parklet operator or permit applicant is unresponsive to permitting staff.

## Roles of City Agencies

- **San Francisco Public Works** inspects and enforces on issues such as abandonment, ADA accessibility, path-of-travel obstructions, and exceeding the scope of permissible occupancy. As the permitting agency, Public Works may revoke a permit pursuant to non-compliance.
- **San Francisco Fire Department** inspects and enforces to ensure emergency access and safety requirements are being met for first responders. Additionally, they inspect and enforce on the use of liquid propane gas (LPG) heaters.

\* Separate permits are required for the use of propane.

## Inspections and Violations

Proactive and reactive site inspections of Shared Spaces structures will be performed regularly to ensure compliance with accessibility, emergency response, and other operating requirements. This includes inspections to verify applicants are complying before being issued a permit, in addition to responding to ongoing issues as they arise.

Shared Spaces operators who receive a Correction Notice or Notice of Violation are encouraged to promptly contact the inspector of record and keep them apprised of efforts to satisfy the Corrective Notice and/or Notice of Violation.



North Beach Merchant Walk with Shared Spaces team. Photo by Shared Spaces.



Mission Merchant Walk with Shared Spaces team. Photo by Calle 24.



Bayview Merchant Walk with Shared Spaces team. Photo by Shared Spaces.

- **Corrective Notice (CN)** is typically the first notice a Shared Spaces operator will receive if an element of their Shared Space is found to be out of compliance. Corrective Notices will identify the area(s) of non-compliance and specify a fixed amount of time in which the abatement must be completed. Physical copies will be posted conspicuously at the site and electronic copies will be sent to the Shared Spaces operator email address(es) on file with the department.
- **Notice of Violation (NOV)** The Corrective Notice may become a Notice of Violation with monetary penalties attached if the deficiencies cited in the Corrective Notice are confirmed to have not been timely abated upon reinspection. Shared Spaces operators found to be in violation will receive another email/mailling communicating that (1) the Corrective Notice has become a Notice of Violation and (2) monetary penalties will accrue daily until the identified areas of non-compliance have been corrected. In the event of non-compliance, monetary penalties may be assessed at a rate of up to
  - » \$100 on the first day,
  - » \$200 on the second day, and
  - » \$500 each additional day the violation(s) remain.

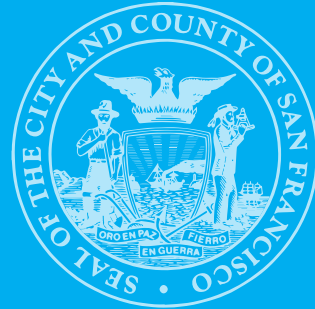
In the event of ongoing, willful non-compliance or non-use, the City may proactively remove the Shared Spaces structure, in which case the operator would also be responsible for costs incurred by the City in performing the removal.

### **Construction/Infrastructure Removals**

The maintenance of City assets and access to utilities will always take precedent over Shared Spaces permits. It is the responsibility of Shared Spaces operators to remove all elements of occupancy if/when City infrastructure projects and utility work must be completed. Corrective Notices will be issued to Shared Spaces operators detailing the need to **remove** or relocate certain occupancy elements to accommodate construction. These notices will include the timeline for removal and reinstallation, as well as key project points of contact. The risk and costs associated with responding to these requests should be considered by a parklet sponsor before pursuing an application.

If you are a parklet operator, you must take some administrative steps to ensure continuity in your permits. Failure to complete your application or construct your parklet within the established timeline may result in punitive action, including

but not limited to fines. If you have chosen to no longer continue the program, you will be required to **remove the parklet within 30 days and provide photos as proof of removal** in order for us to close out your application. To report the removal, submit photos at: [www.sf.gov/end-your-shared-space](http://www.sf.gov/end-your-shared-space)



San Francisco  
**Shared  
Spaces**

[sf.gov/sharedspaces](https://sf.gov/sharedspaces)



SECTION 4

# Appendices

In this section you'll be able to find supplemental information and sample documents relevant to your Shared Spaces application.

1. **How Fees Are Collected**
2. **Application Checklist**
3. **Curbside or Parking Lane Site Plan Template**
4. **Neighboring Occupancy**
5. **Neighbor Letter of Consent**
6. **Certificate of Insurance**
7. **Shared Spaces Standards and Guidelines**
8. **Accessibility Supplement**
9. **Public Health**

# 1. How Fees Are Collected

The Office of the Treasurer & Tax Collector collects annual license fees on behalf of Animal Care and Control, Department of Public Health, Department of Public Works, Entertainment Commission, Fire Department, Office of Cannabis, and the Police Department.

**License renewal fees are due by March 31 each year.**

Prior to the deadline, businesses will receive a bill via mail that shows license fees due.



**Fees are adjusted every year. See below for links to the latest fee schedules.**



## SHARED SPACES FEES

There are different fees for each type of Shared Space permit. Fees range from \$0 to \$6,500 per permit depending on your permit type and other factors. For the most updated fee schedule, go to:

[www.sf.gov/shared-spaces-fees](http://www.sf.gov/shared-spaces-fees)

## ENTERTAINMENT FEES

In addition, check the Entertainment Commission permit fees page:

[www.sf.gov/check-your-entertainment-permit-fees](http://www.sf.gov/check-your-entertainment-permit-fees)

## *Apply for a Shared Spaces Permit Online*

Requirements will vary depending on what type of space you're looking to implement and where. Step-by-step instructions to apply to the Shared Spaces program can be found at our website.

When you have all your necessary documents ready, apply at: [sf.gov/sharedspaces](http://sf.gov/sharedspaces)

\* <https://sfgov.legistar.com/View.ashx?M=F&ID=12131484&GUID=3B7558C4-5E2F-432D-A692-C5577FD08A30>

# 2. Application Checklist



Prepare Your Application Documents

You will need to gather the following materials before applying for

## Sidewalk or Curbside Shared Spaces

1. Your contact information: Name, Email, Phone Number
2. Type of Shared Space you would like to apply for:
  - Parking lane – public parklet, fixed commercial parklet, movable commercial parklet

If applying for a parking lane permit, you will need to know your curb color:

  - green
  - yellow
  - white
  - no color
3. Your **Business Account Number (BAN)** [look it up here](#) and **Address of Business Account Number**
4. Proposed **Shared Space Site Address**: Project Address (and/or Block and Lot number for your address (block and lot will auto populate after adding project address))
5. Primary Business Activity *(Check all that apply)*
  - Restaurant with alcohol sales
  - Restaurant without alcohol sales
  - Retail Store (like clothing or books)
  - Health studio or gym
  - Laundromat
  - Brewery
  - Jewelry maker
  - Bar
  - Entertainment
  - Personal service (like hair or nails)
  - Animal hospital
  - Chair or foot massage
  - Financial service
  - Grocery
  - Retail professional service
  - Trade shop
  - Food or drink manufacturing
  - Movie theater
  - Public facility
  - Institutional use (like childcare, school, or religious institution)
  - Arts activities
  - Car or automotive repair
  - Design profession
  - Catering
  - Kennel
  - Cat boarding
  - Nonprofit
6. Your **gross revenue** from your most recent tax return (numeric value)
7. Does this business location have an outdoor space other than a Shared Space?
  - Yes
  - No
8. Does your business have 11 or more locations worldwide?
  - Yes
  - No
9. Will you be serving alcohol?
  - Yes
  - No
10. Will you be serve or provide food?
  - Yes
  - No
11. Will you have amplified sound? \*includes TVs with sound, live music and any amplified sound
  - Yes
  - No

12. Tell us your business hours: Day, Opens At, Closes At (for each day your business is open)

13. **Information about your proposed parking lane**

- Does it have parking meters? If yes, number of parking spaces (2 spaces maximum)
- Is the parking space marked or unmarked?
- Tell us more about how your parking lane will be used (short answer)
- Does it have a bike path or is it next to a driveway, other unusual features?
- If sidewalk permit, how many linear square feet of sidewalk for your shared space?

14. **Permit Holder Information**

Only one permit holder per site. Your co-operators are only for informational purposes. As the permit holder, you will have all the legal liability and responsibility for the space use and permit obligations.

If you will have co-operators: Other name of business sharing the space, contact person, phone number, email address (short answer)

15. **Neighboring Consent**

**For sidewalk use**, you must get your neighbor's permission to use any of the sidewalk in front of them.

**For parking lane use**, you must get your neighbor's permission if more than half of marked parking space is not in front of your storefront. You must get their permission if any of an unmarked parking space is not in front of your storefront.

Will you use a neighboring space?

- Yes
- No

If you will be using a neighboring space: Neighbors name, neighbor's phone number, neighbor's email **AND get them to sign our Neighbor Permission form.**

Download the [Shared Spaces Neighboring Letter of Consent PDF](#). On the permit application, you will also tell us their name, email, and phone number.

Fill out the details and sign the form. You and your neighbor must sign the form.

16. **Optional Demographic Information**

- Do any of these describe your business, check all that apply: Minority owned, immigrant owned, woman owned, LGBTQ owned, veteran owned, owned by a person with a disability, legacy business, serving specific ethnic or cultural clientele
- Business Owners gender identity: Male, female, trans male, trans female, genderqueer, or gender non-binary, other, I prefer not to answer
- Do any business owners identify as transgender, non-binary, or gender nonconforming?
- What is your preferred language? English, Espanol, Chinese, Filipino, Other

17. **Photos of your site**

*FOR EXISTING PARKLETS:*

- Sidewalk views**
  - 6-foot clear path of travel on the sidewalk
  - Deck threshold level with the sidewalk
  - Setbacks from an intersection: 20 feet for oncoming traffic and 8 feet from exiting traffic
- Parklet structure**
  - Width of the entire parklet from outer edge of structure or barriers to the curb face
  - 3-foot setback on both ends of the parklet from the end of the parking space
  - 3-foot access gap that is open to the sky every 20 feet. If your parklet has more than 1 gap, take pictures of each one.
  - A picture showing visibility and airflow about 42 inches high

### ○ Parklet details

- Displayed street address
- 6-inch-by-6-inch clear gutter
- Reflective materials on corners of parklet from the street to the top of structure
- Accessible table or facility in the parklet
- Flexible delineator posts and wheel stops in the correct position

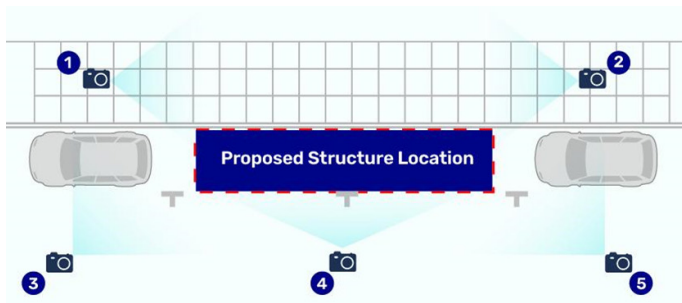
Label your pictures with names with what they show. You will upload them when you apply.

### *FOR SIDEWALK PERMITS AND ALL NEW PERMITS:*

#### ○ Take 5 pictures that show:

- 3 street views (from the right, front, and left)
- 2 sidewalk views (from the right and left)

Label your pictures with names with what they show. You will upload them when you apply.



### 18. Certificate of Insurance (COI).

- [See our example here](#)

### 19. Site Plan (PDF)

- [You must use our template here](#)

You will need to gather the following materials before applying for

## Roadway Closures

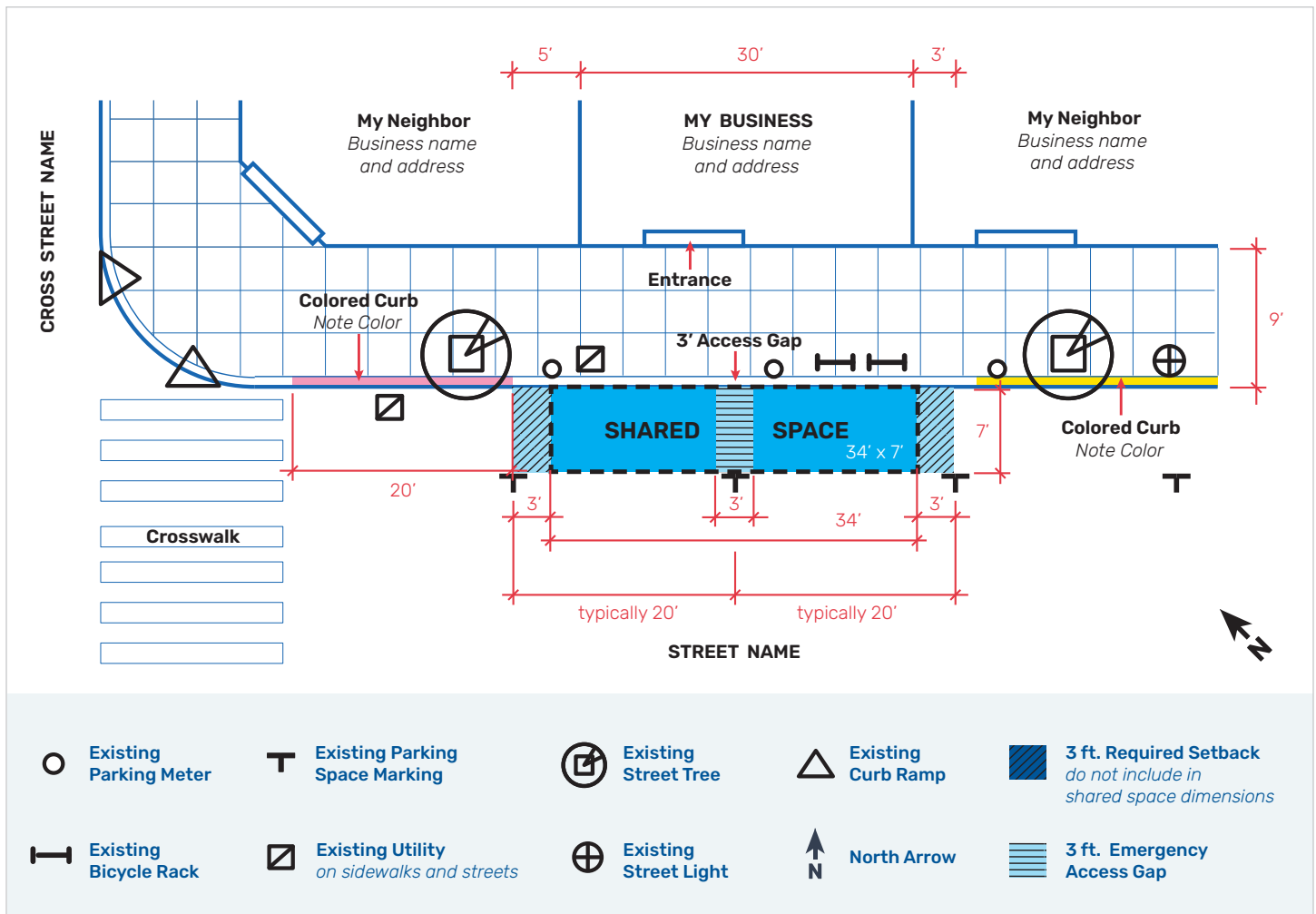
1. Your contact information: Name, Organization Name, Email, Phone Number
2. Your **Business Account Number** (BAN) look it up here (If applicable)
3. **Proposed Location:** Street, Cross Street, Other impacted locations, other details about your proposed location
4. Earliest Date of your event
5. End Date of your event
6. Days and hours of your proposed street closure
7. Business activities during your event:
  - Restaurant with alcohol sales
  - Restaurant without alcohol sales
  - Retail Store (like clothing or books)
  - Health studio or gym
  - Laundromat
  - Brewery
  - Jewelry maker
  - Bar
  - Entertainment
  - Personal service (like hair or nails)
  - Animal hospital
  - Chair or foot massage
  - Financial service
  - Grocery
  - Retail professional service
  - Trade shop
  - Food or drink manufacturing
  - Movie theater
  - Public facility
  - Institutional use (like childcare, school, or religious institution)
  - Arts activities
  - Car or automotive repair
  - Design profession
  - Catering
  - Kennel
  - Cat boarding
  - Nonprofit
8. Describe the activities you want to do at your event
9. Describe the furniture, equipment, and/or physical objects you want to use in the street space
10. Describe your proposed layout for these activities: placement of barricades, tables, chairs, booths, stages and other large items
11. Do you want to serve alcohol in the street space?
  - Yes, I want to serve alcohol in the street space
  - No
12. Optional demographic information: race, ethnicity, cultural affiliation or nationality, preferred language, gender identity
13. Uploads:
  - PDF of Site Plan,
  - Documentation of Neighborhood Support,
  - Picture of Proposed Location

# 3. Curbside or Parking Lane Site Plan Template

**Draw an outline** of your proposed Shared Space in the parking lane. We require only a basic outline showing the dimensions and location of your proposed or existing Shared Space. Site plans must be drawn to scale. The initial site plan may be hand drawn using a ruler, as long as it is clean and legible and includes all the elements listed below. Follow these instructions to complete your Shared Spaces outline:

1. Show your business and business frontage, including the sidewalk and street fronting the business.
2. Draw the shape of your proposed Shared Space, and dimension the length and width.
3. Draw a North Arrow on your site plan, showing the orientation of the plan.
4. If there are any sidewalk or roadway obstructions, like parking meters, bike racks, trees, or utilities, list them on your plan.
5. If your proposed Shared Space will encroach at all past your property line, show any adjacent business(es) and their frontage(s) on your site plan.

## Sample Site Plan



# 4. Neighboring Occupancy

For parking lane use, you must get your neighbors' permission if more than half of marked parking space is not in front of your storefront. You must get their permission if any of an unmarked parking space is not in front of your storefront.

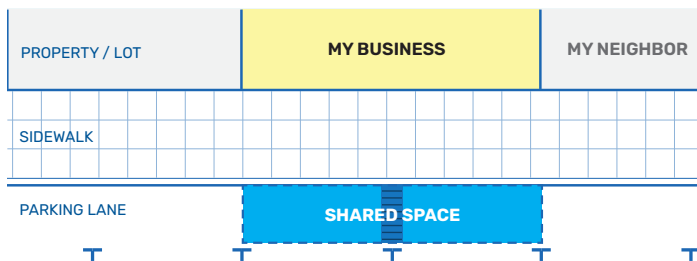
For sidewalk use, you must get your neighbors' permission to use any of the sidewalk in front of them.

Operator must obtain written neighbor consent annually at the time of permit renewal. Failure to secure consent will require removal of the parklet.

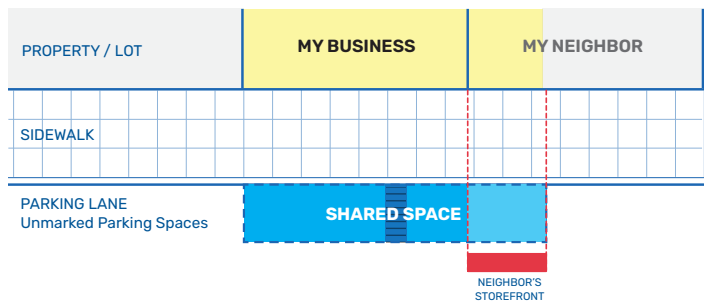
More information and Letter of Consent at:  
[sf.gov/get-permission-your-neighbors-use-their-space](https://sf.gov/get-permission-your-neighbors-use-their-space)

## Neighbor Occupancy

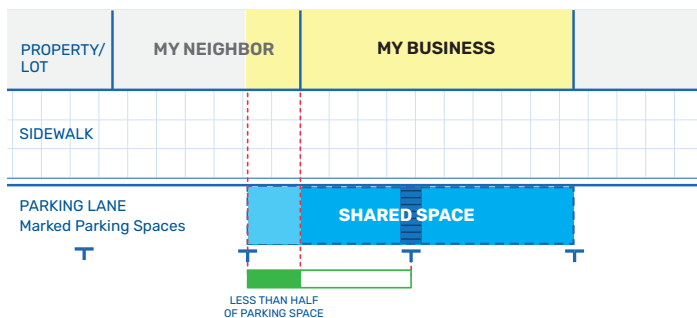
**OPTION 1:**  
 Shared Space fully within business frontage.



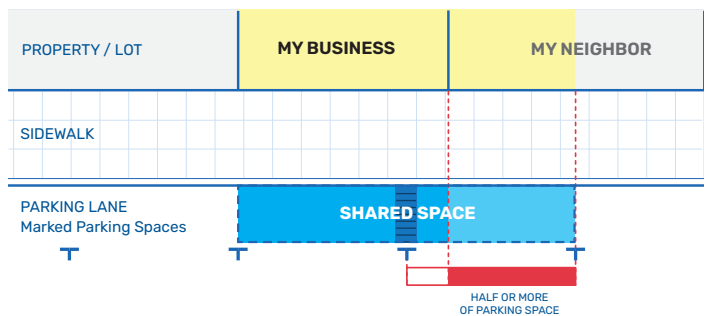
**OPTION 2:**  
 Shared Space extends into a neighboring frontage, occupying an unmarked space. **Needs neighboring consent.**



**OPTION 3A:**  
 Shared Space extends only slightly into a neighboring frontage, taking up less than half of a marked parking space in the neighboring frontage.



**OPTION 3B:**  
 Shared Space extends at least half of one marked parking space into a neighboring frontage. **Needs neighboring consent.**



# 5. Neighbor Letter of Consent

## Applicant Acknowledgement

*(to be filled out by the Shared Spaces Applicant)*

**I acknowledge** that I am an owner or authorized representative of the business:

Initial:

\_\_\_\_\_   
*(Insert Business Name)*

located at:

\_\_\_\_\_   
*(Insert Business Address)*

I am seeking authorization to occupy the area associated with my Shared Spaces permit. The proposed permit extends into the frontage of a neighboring property located at:

\_\_\_\_\_   
*(Insert Neighboring Property Address)*

**I acknowledge** that, if approved, I am responsible for maintaining the full scope of my occupancy under my Shared Spaces Permit, including any permitted space that extends to a neighboring frontage, in accordance with the program terms outlined in Administrative Code Chapter 94A, Public Works Code Section 793, and corresponding Public Works Director's Orders.

Initial:

**I understand** that if the tenancy and/or property ownership of the neighboring property changes, Public Works may require me to submit an updated consent letter to continue utilizing any space extending into a neighboring frontage regardless of the status of my Shared Spaces permit at the time of change of ownership.

Initial:

**I understand** that consent to occupy neighboring space as part of my Shared Spaces permit is revocable in nature; and, if such consent is revoked, or if my occupancy is not accordance with the terms of Administrative Code Chapter 94A, Public Works Code Section 793, and corresponding Public Works Director's Orders, that my business is responsible for the removal of any structure placed in the right of way under my Shared Spaces permit, including any applicable portion of my Shared Spaces permit extending into a neighboring frontage. I acknowledge that I must obtain an up-to-date consent letter for any future permit renewals as requested by Public Works during future permit renewal processes.

Initial:

### APPLICANT SIGNATURE

Signature:	Print Name:	Date:
_____	_____	_____



Please email this signed letter to [SharedSpacesPermit@sfdpw.org](mailto:SharedSpacesPermit@sfdpw.org)



# 6. Certificate of Insurance Sample

- You must have enough insurance for this program.
- You must prove you have liability insurance and workers' compensation insurance. Your policies must meet these requirements.
- You must have and keep commercial general liability insurance with at least \$1 million in coverage per occurrence and \$2 million aggregate. It must include the City and County of San Francisco, its officers, employees, and agents as additional insured or a blanket endorsement.
- Businesses with employees must have and keep workers' compensation insurance in statutory amounts with at least \$1 million in employer's liability insurance coverage and a waiver of subrogation. It must include a blanket waiver or one in favor of the City and County of San Francisco, its officers, employees, and agents.

ACORD.		CERTIFICATE OF INSURANCE						ISSUE DATE:
PRODUCER:		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER OTHER COVERAGE AFFORDED BY THE POLICIES BELOW.						
		COMPANIES AFFORDING COVERAGE						
		COMPANY LETTER A						
		COMPANY LETTER B						
INSURED:		COMPANY LETTER C						
		COMPANY LETTER D						
COVERAGES AND LIMITS								
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.								
CO. LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF. DATE	POLICY EXP. DATE	DESCRIPTION	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMM. GENERAL LIAB. <input checked="" type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCURRENCE <input type="checkbox"/> OWNER'S & CONTRACT'S PROT	Y					GENERAL AGGREGATE PROD-COMP/OP AGG PERS & ADV. INJURY EACH OCCURRENCE FIRE DAMAGE (One Fire) MEDICAL EXPENSE (One Per)	\$2,000,000 \$1,000,000 \$1,000,000 \$1,000,000 \$ 100,000 \$ 5,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON -OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY						COMBINED SINCE LIMIT BODILY INJURY (Per Person) BODILY INJURY (Per Accident) PROPERTY DAMAGE	\$ \$ \$ \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM						EACH OCCURRENCE AGGREGATE	\$ \$
B	WORKERS' COMPENSATION AND EMPLOYER'S LIABILITY THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL. <input type="checkbox"/> EXCL.	N/A	Y				<input checked="" type="checkbox"/> STATUTORY LIMITS EACH ACCIDENT DISEASE-POLICY LIMIT DISEASE-EACH EMPLOYEE	\$1,000,000 \$1,000,000 \$1,000,000
	OTHER INSURANCE							
DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS:								
Above policies have been endorsed to name as additional insured: City and County of San Francisco, Its Officers, Employees and Agents. Worker's Compensation includes a Waiver of Subrogation in favor of the City & County of San Francisco, Its Officers, Employees and Agents.								
NAME AND ADDRESS OF CERTIFICATE HOLDER:					CANCELLATION:			
San Francisco Public Works - Permits 49 South Van Ness Avenue, Suite 300 San Francisco, CA 94103					SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT.			
ACORD 25-6 (3/93)					AUTHORIZED REPRESENTATIVE:			
					©ACORD CORPORATION 1993			

See example of Certificate of Insurance (COI) form at: [sf.gov/step-by-step/get-shared-spaces-permit-your-sidewalk-or-parking-lane](https://sf.gov/step-by-step/get-shared-spaces-permit-your-sidewalk-or-parking-lane)

# 7. Design Guidelines and Regulations

## Where can I place my Shared Space?

P1

**Length:** You may apply for a **maximum of two** marked parking spaces, or 40 linear feet along the curb for parallel parking, or 20 linear feet along the curb for angled or perpendicular parking. A marked parking space is denoted by painted parking Ts for parallel spaces and lines for angled and some perpendicular spaces. Exceptions may be considered if all the other curbside functions are adequately accommodated on the block.

P2

**Setbacks:** All structures must maintain 3-foot setback from each end of the marked parking space for parallel parking spaces and at least 3 feet of setback on each end for angled or perpendicular spaces. Exceptions may be considered for parking meter obstructions and red zones.

All structures must maintain a setback of at least 2 feet from an active driveway or curb cut.

Parklet structures should be highly visible to other users of the road:

- Minimum 20-foot clearance from approaching intersection (nearside). Curbside space near the intersection must be clear of any obstructions.
- Minimum 8-foot clearance when exiting an intersection (farside).

P3

**Width:** You may occupy the full width of the parking lane (**7 feet max**) for parallel parking, and **14 feet max** for angled or perpendicular parking. Exceptions may apply along rail, cable car corridor, or other special cases that would necessitate reducing the width of the zone.

P4

**Slope:** The cross slope on the parklet surface shall not exceed 2% in any direction. If proposed on a street grade greater than 5%, additional design requirements and review may be required to make the space accessible to the maximum extent technically feasible as defined in the California Building Code.

## Conflicts with existing city infrastructure

P5

A proposed location where there is a **bike-share station, bicycle rack, or bicycle corral** present will be considered and evaluated by City staff. If approved, the applicant will be responsible for modification, removal or relocation costs of the bike facilities. The application will be put on hold until the conflict has been resolved. Applications may be denied if conditions are not met.



P6

Shared Spaces **may not be located in existing bicycle lanes**. Fixed structures may not be located in any location that would preclude the planned implementation of a bikeway within 12 months of the application submittal. Shared Spaces may be allowed in floating parking lanes, such as those next to parking-protected bike lanes, on a case-by-case basis if City staff determine it to be safe and feasible; resulting zone must maintain an accessible path of travel.



### Color Zones:

- **Yellow Zone** (commercial loading), **Green Zone** (short-term parking), or **White Zone** (passenger loading zone): City staff will evaluate if one of these color curb zones can be relocated on same block face to accommodate a proposed Shared Space. For passenger loading, if relocation will materially affect disabled access or no suitable replacement location can be identified, the application will be denied.
- **Blue Zone** (ADA accessible parking spaces): Shared Spaces may not be located in or impede access to blue accessible parking spaces. An 8-foot clearance from the curb to any Shared Space Element is required for the entire length of a blue zone to allow for wheelchair lift deployment.
- **Red Zone** (no parking) In most instances parklets are not permitted in red zones. City staff will consider these requests on a case-by-case basis.



Fixed structures **may not** be located in the following zones:

- Peak or commute hour tow-away lanes
- Active transit zones
- Transit shelter
- Flag bus stops
- Transit-only lanes
- Temporary emergency lanes
- Emergency (red) lane
- Transit maintenance elements
- Floating parking spaces

**Taxi Stands/Zones and Commuter Shuttle Stop:** City staff will evaluate the feasibility of removing, modifying or relocating these zones or stops. If a replacement location is found, the application will be put on hold until the relocated zone or stop is approved and relocated.

Shared Spaces **may be restricted** or must comply with additional design requirements where these transit zones or features are located:

- Inactive transit zones
- Overhead wires
- Muni bus routes
- Muni rail lines: must be 5 feet away from any active transit zone and 6 feet away from the outer most edge of the rail
- Muni rail stops: may be approved in suspended rail stops not currently serving active routes on a month-to-month basis
- Cable car routes: will require a field visit prior to approval

### How to design a Parking Lane Shared Space

If you're building a structure for your parklet, you must comply with the design guidelines and regulations in this section. Your structure must be stable, sturdy, and safe for users and passersby, retain emergency access, and be accessible for people with disabilities.

A Parking Lane Shared Spaces structure or parklet **shall not obstruct any underground and surface utility or stormwater facilities**, including but not limited to: utility poles, gas valves, water valves, utility covers, air release valves, sewer laterals, culverts, and catch basins.

All structures on parking lane must **allow for access to public utilities** for maintenance and repairs (e.g. provide access panels, removable pavers, modular design)



P12

**Bolting:** At no time should fixtures be bolted or affixed in any way to the roadway or any structure (including but not limited to: buildings, fire hydrants, street trees, streetlight or traffic poles, etc.).

P13

**Concrete:** Pouring concrete for Shared Spaces platforms is not allowed. You may use concrete pavers on a platform structure instead.

P14

**Surface materials.** Loose particles, such as sand or loose stone, are not permitted on the parklet. Platform surface materials: must be textured or treated with a slip-resistant coating to ensure a safe walking surface.

P15

**Drainage:** Platforms should **allow for curbside drainage flow**. A 6-inch x 6-inch minimum clear gutter space must be provided along the entire length of the proposed platform.

P16

**Overhead objects:** Hanging or overhead objects, including umbrellas, must have a clearance of at least 7 feet (or 84 inches), and cannot exceed 10 feet (including poles, posts, canopies, wires, signs) from the ground. Clearance under awnings and canopies shall comply with San Francisco Building Code requirements.

P17

**Bins:** Trash, recycling, and compost bins should be provided within the approved area, if space allows. These bins can be kept inside the restaurant.

P18

**Roadway modification:** No modification may be made to the public roadway, including stickers or spray paint, other than social distancing markings. Any markings must be in accordance with Public Works regulations.

## Emergency Access

Emergency responders utilize the most direct path to access a building from the street to assist people in need of medical attention or for firefighting operations. Obstructing emergency access may lead to immediate danger to health or life safety. The following safety guidelines are required:

P19

A minimum 3-foot-wide emergency access gap, with vertical and horizontal clearance, is required for every 20 feet of structure length. This 3-foot access must be maintained clear of any obstacles (tables, chairs, bike racks, trees, poles, or other elements like gates) at all times, including outside of business hours.

P20

A removable, rigid barrier is required at the 3-foot gaps. The barrier must be easily removable by emergency personnel at all times.

P21

At no time can parking lane occupancy obstruct emergency facilities including, but not limited to, fire hydrants, red zones, Fire Department connections, fire escapes, etc.

P22

The sidewalk space between the curb and the building and each 3-foot-wide emergency access opening shall remain clear of overhead obstructions (string lights, canopies, decorations, heaters, wires, trees, poles, etc.) at all times, as ladders and other emergency equipment may need to be carried through the opening to the building.

P23

No fixed obstructions to the view of the adjacent building above 42 inches, other than a roof or canopy at a minimum of 8 feet.

P24

No canopies/roofs/membrane structures/posts on parklets shall be permitted when sidewalk is less than 10 feet wide.

**P25**

No part of the parklet structure shall extend over the curb or sidewalk.

**P26**

No part of the structure shall exceed 10 feet in height, including poles, posts, canopies, wires, string lights, signs, or pergolas, while still complying with the maximum 42-inch-high enclosure construction requirements above.

If building a structure where Muni overhead lines are present, the top of the structure, including any roof, must not be taller than 9 feet above the road surface.

**P27**

Trees shall be maintained and trimmed to keep away from building, fire escape, and parklet roof/canopy. No tree shall be pruned without consent from Bureau of Urban Forestry. See *Page 104* for more details.

**P28**

Overhead fixed lighting or heater cords to fixed parklets from buildings shall be either 1) plugged into a weatherproof electrical outlet installed on the exterior of the building at a minimum of 10 feet above the walking surface or 2) connected to an electrical box on the exterior of the building via a quick-disconnect connector. No fixed cables/wires/conduit shall be used to support the light cord and it shall be able to be easily unplugged by Fire Department personnel. Power cords between the building and parklet shall be limited to one (1) cord at each end of the entire parklet space and shall not be adjacent, above, below or attached to any part of



P29. Overhead cables, cords, or wires

the fire escape. These “flyover” cords shall be limited to standard cords plugged directly into an electrical outlet or a quick disconnect that can be pulled apart by the Fire Department. No extension cords shall be permitted for fixed lighting or heaters.

**P29**

Cable ramps are not permitted. Installation of weatherproof electrical boxes at your building require a DBI permit and inspection for approval.

**P30**

Electric heaters may be used if applicant obtains an [electrical permit from the Department of Building Inspection](#) to install exterior electrical outlets at their building.

**P31**

Liquid Propane Gas (LPG) is flammable and can be readily ignited by a spark. If confined or exposed to fire, propane poses an explosion hazard. Propane is heavier than air, which means it accumulates in low places, where people and ignition sources exist.

**P32**

The address for each storefront or building where the outdoor dining area will be established shall be displayed at a height of 36 to 42 inches on the street-facing side of the barriers and be readily visible for emergency responders. Address numbers shall be a minimum of 4 inches tall (5/8-inch-wide stroke) with black numbers on a white background or other high-contrasting colors.

**P33**

“NO PARKING - SFFD ACCESS - KEEP CLEAR AT ALL TIMES” signs shall be added to ends of parklet to keep motorcycles or bicycles from parking within the 3-foot fire access gaps on the ends of the parklet. Find signage specifications in *Section 3: Shared Spaces Operations*.

## Fire Safety

**P34**

The use of Liquid Propane Gas (LPG) is regulated by the Fire Department. A separate SFFD Operational Permit is required for storage and use of LPG (San Francisco Fire Code 105.5.29) for Shared Spaces. Please go to [www.sf-fire.org/permits](http://www.sf-fire.org/permits) or **628-652-3260** for more information.

**P35**

Roofs and canopies are discouraged, but if installed, propane heaters cannot be placed underneath overhead canopies or awnings, or inside buildings or tents. And they must have 5-foot clearance from any flammable/combustible materials and/or elements. A Liquid Propane Gas (LPG) permit will not be issued if roofs or canopies are constructed over the Shared Space.

**P36**

A site plan with the desired location of each heater is required at time of SFFD permit application. A final on-site SFFD permit inspection will be conducted to ensure the proper spacing of heaters from combustibles and emergency access/egress.

**P37**

Use outdoor heating fixtures safely and according to state and city code requirements.

**P38**

Liquid Propane Gas (LPG) is flammable and can be readily ignited by a spark. If confined or exposed to fire, propane poses an explosion hazard. Propane is heavier than air, which means it accumulates in low places, where people and ignition sources exist.

**P39**

Liquid Propane Gas (LPG) shall not be stored within buildings, roofs, and/or in a basement, pit or similar location. On-site storage of 20-pound propane containers (5 gallons.) is prohibited indoors.

**P40**

Proposed outdoor storage of 20-pound propane containers requires plan review and inspection by SFFD. Liquid Propane Gas (LPG) storage is not allowed in the public right of way, per Public Works.

**P41**

Page 84

If businesses do not have an approved private outdoor storage area, all propane containers must be removed from the premises at the close of business every day.

**P42**

If natural gas heaters are to be used, the gas piping shall be installed below the walking surface in the sidewalk. Additional permit required.

## Installing electrical and solar for your Shared Space

**P43**

Solar panels should not overhang curb.

**P44**

Parklets that are approved for solar panel(s) will not be approved for propane. No exceptions will be made.

**P45**

Applicants shall provide a description of the solar panel on the approved site plan; the description must include the amount of kilowatt hours, brand name, model, and dimensions.

**P46**

All solar panels shall be reviewed by SFFD and Shared Spaces team before approval.

## Accessibility

**You must take the appropriate actions to ensure your Shared Spaces is accessible and safe.**

The proposed structure shall be designed, constructed and/or conform to the applicable provisions, rules, regulations and guidelines of the San Francisco Building Code and Americans with Disabilities Act. All structures must also follow our accessibility rules to use the parking lane for your business. See full requirements at: [www.sf.gov/information/make-your-shared-space-accessible](http://www.sf.gov/information/make-your-shared-space-accessible)

**P47**

The business must ensure that at least 5% – but no fewer than one (1) – of available tables are accessible

for wheelchair users. Accessible dining surfaces shall be dispersed throughout each Shared Space for each type of seating in a functional area, in accordance with CBC Chapter 11B. See Accessibility Supplement in *Appendices Subsection 9* for details.

**P48**

Temporary ramps in the public right of way, if required to provide accessibility to a parking lane space, shall comply with the slope requirements detailed in *Appendices Subsection 9*.

**P49**

If you apply for a Shared Spaces permit on a street that **exceeds a 5% grade**, you will receive additional accessibility information with your permit.

**P50**

**Platform Threshold:** The deck of the parklet platform shall be flush with the sidewalk without a horizontal or vertical separation greater than 1/2 inch. Vertical separations between 1/4 inch and 1/2 inch high shall be beveled with a slope not steeper than 1:4 (25%).

**P51**

**Accessible Deck Surface:** The portion of the parklet deck connected by the accessible path of travel to the wheelchair turning space and wheelchair resting space must be level. The accessible deck surface maximum cross slope (perpendicular to the sidewalk or curb) cannot exceed 1:48 (2%). The accessible deck surface maximum running slope (parallel to the curb) cannot exceed 1:20 ( $\leq 5\%$ ). Accessible floor and ground surfaces must be stable, firm, and slip resistant.

**P52**

**Accessible Entrance:** minimum 48 inches wide. All entrances are required to be flush with the sidewalk and accessible per the California Building Code, Chapter 11B. Vertical elevation differences above 1/2 inches require an accessible ramp (1:12 max slope).

**P53**

**Accessible Route:** It must connect the sidewalk through the accessible entrance, to the deck surface, wheelchair turning space and wheelchair seating area.

**P54**

**Wheelchair Turning Space:** Shall be 60 inches in diameter and located entirely within the platform; a 12-inch maximum overlap on the curb and sidewalk is acceptable. A T-turn per California Building Code 11B is also acceptable.

**P55**

**Accessible Facilities:** Where tables, counters, or drink rails are provided, at least one of each feature shall be wheelchair accessible.

The top surface height of wheelchair accessible tables, counters and or drink rails shall be 28 inches to 34 inches above the deck surface. Wheelchair accessible tables and counters shall be approachable from the front and provide an unobstructed knee clearance that is at least 27 inches high, 30 inches wide and 19 inches deep. When movable tables are provided in lieu of fixed, at least one of the movable tables must also be accessible. The accessible counter portion shall be 60-inch-long.

Where drink rails are provided, a 60 inch long portion of a drink rail shall have 36-inch-wide and level space adjacent to it for a side approach by a wheelchair user.

**P56**

**Terraced or Multi-Level:** For parklets proposed on streets with grades that exceed 5%, a terraced parklet with two or more habitable decks is acceptable. Typically, each of these terraces must be wheelchair accessible. In some cases, due to existing constraints it may be infeasible to provide an accessible route to each terrace. An exception may be approved on a case-by-case basis by the Public Works Disability Access Coordinator.

The accessible terrace will require a wheelchair accessible entrance from the sidewalk. The wheelchair-accessible entry may be achieved with a structure on the sidewalk within the sidewalk furnishing zone that provides transition between the sidewalk and parklet deck.

Passage between terrace levels may be achieved with a ramp with a running slope not to exceed (1:20) 5%; steps or stairs are allowed where a ramp is not practicable. Any step or stair will require a warning strip at the nose of the step and handrails per California Building Code.

## Structural Integrity

The proposed structure and its components (platform, walls, and roof) shall be built with structural integrity to ensure public safety. The proposed structure and its components are built to support anticipated live loads and wind loads. Alternate designs may be submitted for review and approval. Such drawings and calculations shall be stamped and signed by a design professional, such as an architect or engineer, registered in the State of California. These guidelines are intended to provide guidance for the structural integrity of Shared Spaces structures, but are not intended to provide or ensure safety from vehicular traffic.

P57

You should use **durable materials** that can withstand wear and tear. It's your responsibility to maintain all structural elements in good condition. Proposed materials shall comply with Public Works Slip Resistance Requirements to ensure a safe and accessible walking surface. Loose particles, such as sand or loose stone, are not permitted.

P58

The platform framing shall be a freestanding structural foundation that rests on the street roadway surface.

**No features or structural components may be permanently attached** to the street roadway, gutter, curb, planting area, or sidewalk.

P59

Platform framing shall be supported on pressure-treated lumber or pedestals.

P60

Platform surface shall be minimum 1-inch-thick wood decking boards or  $\frac{3}{4}$ -inch plywood securely attached to the framing below. Pavers or other materials may be applied over plywood sheathing.

P61

Platform framing shall be minimum 2x4 floor joists spaced at maximum 24 inches apart and supported at maximum 3-foot intervals. Provide solid blocking between joists at support locations.

P62

Floor joists shall be secured with appropriate framing angles.

P63

Finished platform surface shall be flat with a maximum slope of 2%.

P64

All framing elements shall be adequately fastened, consistent with the standards in ["Details for Conventional Wood Frame Construction" \(2001\)](#) published by the American Wood Council.

P65

Proposed platforms on streets steeper than 5% longitudinal (running) slope shall be designed and stamped by a design professional, such as an architect or engineer, registered in the State of California. The design professional shall ensure compliance with San Francisco Building Code and Americans with Disabilities Act.

## Walls

P66

Your enclosure must be stable and sturdy enough not to fall over or be pushed over. If you're building a platform as part of your structure, all walls and enclosure structures must be secured to the platform for structural stability.

P67

A continuous rigid physical separation is required to separate Shared Spaces areas on the parking lane from vehicular traffic on all three sides open to the roadway. The traffic barriers must meet the following requirements:

- Have a railing height of 42 inches (measured from the deck surface to the top of the wall surface) with openings of no more than 3.5 inches.
- Have a rigid rail with a solid rail at the top and a solid rail at the bottom. The height to the top of bottom rail shall not be less than 6 inches above the deck. The gap under the bottom of the rail shall not exceed 3.5

inches.

- Perimeter walls shall be fastened to the platform with 1/4-inch diameter x 3-inch wood screws spaced at maximum 12 inches apart. Two studs shall be fastened to sill plate with Simpson A35 framing angles, or equivalent.
- Shall resist a single concentrated load of 200 pounds applied in any direction at 42 inches above top of platform surface. In addition, the wall shall resist a load of 50 pounds per linear foot applied in any direction at 42 inches above top of platform surface.
- Perimeter partial height walls shall be sheathed with minimum 1 x 6 sheathing or 1/2-inch plywood. 1x sheathing may be spaced with gaps less than 4 inches wide.
- A water-filled "Jersey Barrier" may be used. Orange color is recommended for better visibility.

#### P68

If you wish to install panels above 42 inches to separate tables or act as wind barriers, you will have to use transparent sheathing, such as polycarbonate sheets, and the material must be adequately fastened to wall framing.

#### P69

You will need to comply with Accessibility Guidelines for Furniture. See *Subsection 9: Accessibility Supplement* for more information.

#### P72

Any internal partitions shall be perceptible and physically discernible by people who are blind and/or low vision. Internal partitions require a 42-inch-high rigid frame that is a 4-inch-thick minimum frame around the entire opening.

## Roof Structures

#### P70

Roof canopies may be constructed with plywood sheathing, polycarbonate sheets, or sheet metal, and sloped to drain toward the street and away from the sidewalk.

#### P71

Plywood roof sheathing shall be minimum 3/8-inch thick sheathing and secured to roof framing with minimum 8d nails spaced 6 inches apart.

#### P72

Corrugate polycarbonate sheets shall be minimum 0.032-inch thickness and secured to roof framing with minimum 10 x 2 inches self-drilling/tapping wood screws at crown of every other corrugation. Sheets shall be supported on purlins at maximum 24-inch spacing. Overlap adjacent corrugated sheets and provide infill closure strips between sheet and framing at ends.

#### P73

Multi-layered polycarbonate sheets shall be minimum 5/16-inch thickness.

#### P74

Roof joists shall be minimum 2 x 4 spaced maximum of 24 inches apart and spanning to beams spaced at maximum 8 feet apart. Beams that support rafters shall be minimum (2) 2 x 6 or 2 x 8 and shall be supported by minimum 4 x 4 posts spaced at maximum 10 feet apart. Elevation of top of roof assembly shall be 8 feet minimum and 10 feet maximum above sidewalk grade.

#### P75

Shared Spaces operators are responsible for ensuring that no element of their Shared Space impacts or damages any street trees or sidewalk landscaping areas. Furniture, including but not limited to trees, benches, and string lighting, may not be fixed to or installed around trees/tree wells.

## Trees

P76

No tree shall be pruned without consent from the Public Works Bureau of Urban Forestry (BUF). If your structure is adjacent to a street tree, a Shared Spaces operator is responsible for hiring a certified arborist to prune trees at their cost, and follow Public Works tree-pruning standards.

P77

Tree basins must be backfilled with decomposed granite to grade.

P78

Tree damage from parklet construction will result in a minimum \$2,520 fine.

P79

Shared Spaces operators must agree to provide water to newly planted trees adjacent to their permitted space whenever Bureau of Urban Forestry crews are not able to access them.

## Traffic Safety

P80

The **enclosure should not block** the view of traffic, including pedestrian traffic, nor block the view of traffic-control devices, such as traffic signs, traffic signals, and other traffic-warning devices. It should not obstruct motorists' visibility of traffic signals from 200 feet away (about half a block).

P81

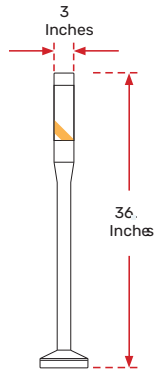
You must mark the edges or corners of your enclosure with **yellow high-intensity retro-reflective tape** or reflectors to be visible to drivers at night.

P82

### Flexible Delineator Posts:

Install four standardized flexible delineator posts, two for each end of the parklet. You may purchase the posts from any vendor, but they must meet these specifications:

- Safe Hit Type 2 Guide Post
- 36 inches tall, white
- Surface Mount Pin Lock Base
- Butyl Adhesive Pad or 10 oz. Epoxy Kit



P83

**Wheel Stops:** You may purchase these from any vendor, but they must meet these specifications:

- 3 feet long
- Black rubber with yellow stripes
- Mounted with bolts (this is the only exception to affixing an element to the roadway)
- Installed 3-feet from outside ends of parklet which occupies parallel parking spaces
- Parklets in diagonal or perpendicular parking spaces do not require wheel stops and are optional. However, the (2) soft hit posts placed 1 foot from the curb and street sides are required to delineate the 3-foot setback areas on both sides of the structure
- Installed 12 inches from the curb

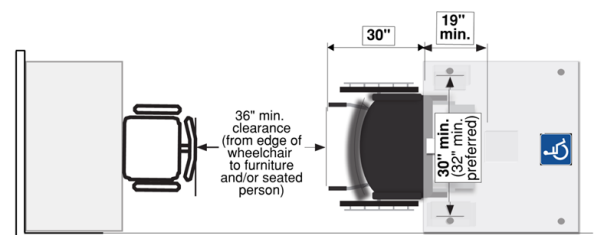
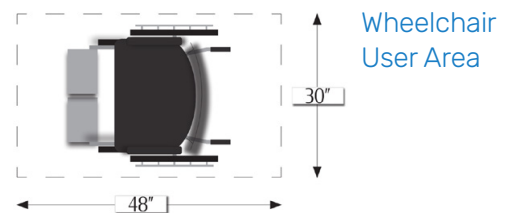
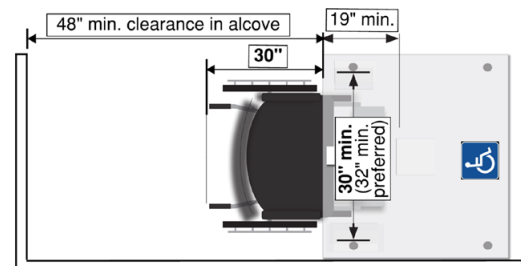
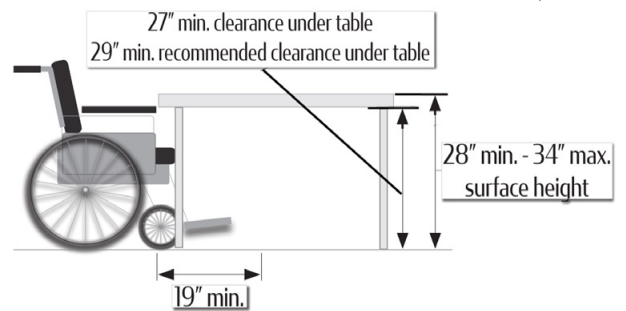
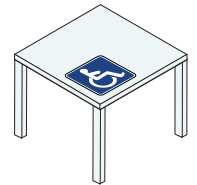
# 8. Accessibility Supplement

The City and County of San Francisco seeks to make its public realm accessible to and usable by people with disabilities. This goal extends to Shared Spaces, which become an extension of public sidewalks and pedestrian open space. All accessibility elements of the proposed Shared Space shall be designed, constructed and/or conform to the applicable provisions, rules, regulations and guidelines of the: San Francisco

Building Code, Americans with Disabilities Act, and other design criteria included in Public Works Order No. 183,392 for Temporary Sidewalk Extensions (parklets). The required standards and guidelines on the following pages are intended to supplement and expand upon the accessibility requirements in this Manual.

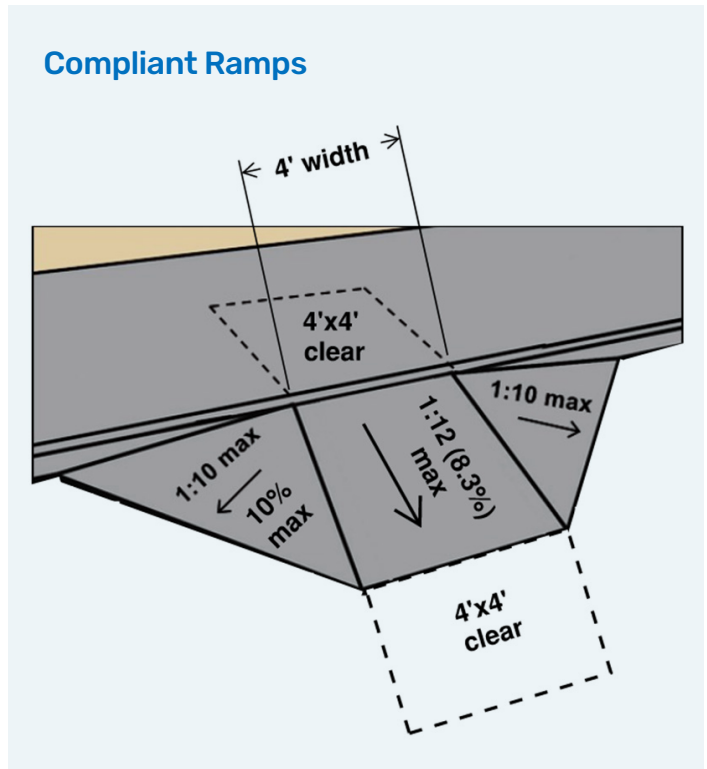
## Accessibility for Furniture

- Applicants must ensure that at least 5% – but no fewer than one (1) – of available tables are accessible for wheelchair users, meeting the following requirements:
- Be between 28 to 34 inches high
- Have at least 27 inches of space from the floor to the bottom of the table
- Provide knee clearance that extends at least 19 inches under the table
- Have a total clear floor space of 30 inches by 48 inches per seat
- Be located a minimum distance of 4 feet to the nearest obstruction
- Have a label displaying the International Symbol of Accessibility
- Maintain an accessible route to the table. For Shared Spaces in the parking lane, providing an accessible ramp is required if there's no platform flush with the sidewalk
- Tables and chairs on sidewalks with a greater than 5% slope may be subject to additional staff review or operational requirements
- Accessible dining surfaces shall be dispersed throughout each Shared Space for each type of seating in a functional area



- Temporary ramps in the public right of way, if required to provide accessibility to a parking lane space, shall comply with the requirements in the California Building Code, Chapter 11B, which are summarized as follows:

- » 4-foot minimum clear ramp width.
- » 8.3% (1:12) maximum ramp running slope (slope parallel to direction of travel).
- » Clear landing at top and bottom of the ramp (4-foot x 4-foot minimum).
- » Unobstructed accessible route from the pedestrian thoroughway path of travel of the sidewalk to the ramp.
- » Edge protection is required on each side of the ramp. A curb or barrier shall be provided that prevents the passage of a 4-inch diameter sphere or side flares that do not exceed 10% slope (1:10). To prevent wheel entrapment, the curb or barrier shall provide a continuous and uninterrupted barrier along the length of the ramp.
- » Ramp shall be firm, stable and slip-resistant. The ramp must be securely attached so it does not move or shift during use.



# 9. Public Health

## Alcoholic Beverage Control

During the pandemic, businesses served alcohol at new parklets and sidewalk tables under a “COVID-19 Temporary Catering Authorization.” Under state law, these temporary permits may remain active until July 1, 2026. To serve alcohol past that date in any area that is not included on an existing “Licensed Premises Diagram,” a business will need to contact the State Department of Alcoholic Beverage Control (ABC) to update their existing liquor license with a new diagram reflecting their entire service area. Contact the ABC’s San Francisco office to learn more about this process.

For any business serving alcohol at a parklet, special rules govern the licensing of areas that ABC considers “non-contiguous premises,” such as parklets or other drinking areas that are separated from a business main licensed premises by an unlicensed area, such as

public sidewalk. Under rules adopted by ABC in 2024, a non-contiguous licensed area must be in “reasonable proximity” to the interior business, meaning “that the closest distance from the main licensed area to the non-contiguous area shall not exceed twenty-five feet.” Additionally, the area must be “actively monitored” by the licensee, either from within the interior of the business or by the regular presence of an employee in the non-contiguous area. Importantly, the rules allow patrons to carry an alcoholic beverage purchased inside a business across a public sidewalk into a licensed parklet unless otherwise prohibited by law.

Additional regulations for the licensing of non-contiguous premises also apply. Contact the ABC’s San Francisco office to learn more. Visit [California Department of Alcoholic Beverage Control](#) for details and updates.