

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
SUSAN SUGER and TOM SUGER,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **25-025**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on July 8, 2025, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on July 1, 2025 to Derek Reisfield, of an Alteration Permit (correction to Notice of Violation # 202536052: scope of work at exterior deck only, includes repair select portion of existing northwest corner low wall; remove existing, non-fire rated lattice on top of exterior low wall; new rain water leader/scupper along wall near deck) at 50 Scenic Way.

APPLICATION NO. 2025/05/29/7531

FOR HEARING ON August 27, 2025

Address of Appellant(s):

Address of Other Parties:

Susan Suger and Tom Suger, Appellant(s)
56 Scenic Way
San Francisco, CA 94121

Derek Reisfield, Caroline Reisfield, Permit Holder(s)
c/o Marc Dimalanta, Agent for Permit Holder(s)
D-Scheme Studio
222 8th Street
San Francisco, CA 94103



Date Filed: July 8, 2025

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 25-025

I / We, **Susan and Tom Suger**, hereby appeal the following departmental action: **ISSUANCE** of **Alteration Permit No. 2025/05/29/7531** by the **Department of Building Inspection** which was issued or became effective on: **July 1, 2025**, to: **Derek and Caroline Reisfield**, for the property located at: **50 Scenic Way**.

BRIEFING SCHEDULE:

Appellants' Brief is due on or before: 4:30 p.m. on **August 7, 2025**, (no later than three Thursdays prior to the hearing date). The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.lamarre@sfgov.org, corey.teague@sfgov.org, Natalia.fossi@sfgov.org, joseph.ospital@sfgov.org, m.dimalanta@dscheme.com and marcelostrd@yahoo.com

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **August 21, 2025**, (no later than one Thursday prior to hearing date). The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.lamarre@sfgov.org, corey.teague@sfgov.org, Natalia.fossi@sfgov.org, joseph.ospital@sfgov.org, sgsuger@gmail.com and tomsuger@gmail.com

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, August 27, 2025, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom, although in-person attendance is preferred by the Commissioners. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the Preliminary Statement of Appeal.

Appellant or Agent:

Signature: Via Email

Print Name: Susan and Tom Suger, appellants

STATEMENT OF APPEAL FOR PERMIT 202505297531

The permit for the correction to NOV #202536052 completely disregards item number 2 of the notice of violation:

REPAIR DAMAGED WALLS (1001b, h, o HC) At the northwest corner - exterior siding at west exterior wall is detached from the building at the property line, exposing framing at exterior wall. Obtain Building Permit and make required repairs to all affected components.

The current Job Card states the scope of work as being at the exterior deck level only and makes no provisions for repairing the damaged single-story garage wall below the deck listed in the NOV despite having shown the property manager, Kevin Wong, the damage noted in item 2 of the NOV in March of this year. In addition, when speaking with the contractor on site on 7/3/2025 about the planned repair work we were told he had not been aware of the damage to the wall below the deck, that said damage was not in his scope of work, and that there were no plans to address and repair that damage.

Susan and Tom Suger

56 Scenic Way

San Francisco, CA 94121

sgsuger@gmail.com

tomsuger@gmail.com

415-745-5095

415-745-5094

Permit Details Report

Report Date: 7/3/2025 11:55:57 AM

Application Number: 202505297531
Form Number: 8
Address(es): 1303 / 010 / 0 50 SCENIC WY
Description: CORRECTION TO NOV# 202536052: SCOPE OF WORK AT EXTERIOR DECK ONLY, INCLUDES REPAIR SELECT PORTION OF (E) NORTH WEST CORNER LOW WALL, REMOVE (E) NON-FIRE RATED LATTICE ON TOP OF EXTERIOR LOW WALL, (N) RAIN WATER LEADER/SCUPPER ALONG WALL NEAR DECK
Cost: \$8,000.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
5/29/2025	TRIAGE	
5/29/2025	FILING	
5/29/2025	FILED	
7/1/2025	APPROVED	
7/1/2025	ISSUED	

Contact Details:

Contractor Details:

License Number: 1094131
Name: VICTORIA ESTRADA
Company Name: ESTRADA DESIGN BUILD
Address: 244 ASPEN AVE * SOUTH SAN FRANCISCO CA 94080-0000
Phone:

Addenda Details:

Description:

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
HIS		5/29/25	5/29/25			5/29/25	LOPEZ JOSE		
INTAKE		5/29/25	5/29/25			5/29/25	SAPHONIA COLLINS	Administrative	
CP-ZOC		5/29/25	5/29/25			5/29/25	SPYCHER DAKOTA	Approved	To comply with NOV202536052. Remove lattice at east property line on second floor. Repair deck and low-wall at rear and side, less than 50%.
BLDG		5/29/25	5/29/25			5/29/25	LAU (NELSON) CHI CHIU	Approved	
CPB		7/1/25	7/1/25			7/1/25	LEE ERIC	Administrative	

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

[Online Permit and Complaint Tracking](#) home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

BRIEF SUBMITTED BY THE APPELLANT(S)

Appeal No. 25-025

Dear Board of Appeals Members,

We believe that permit #202505297531 for the correction to NOV #202536052 should be amended to include the entire scope of the Notice of Violation in order to bring the structure up to current San Francisco building codes. The existing job card reads that permit's scope of work extends to "the exterior deck only" and makes no provisions for repairing the damaged single-story former garage/laundry room wall below the deck as noted in item 2 of the NOV.

In late March and early April of this year (after bees nesting in the compromised wall attacked and stung our landscaping crew prompting the NOV) the property manager for 50 Scenic Way, Kevin Wong, was made aware of and saw in person the existing damage in our neighbor's exterior west wall. Unfortunately, we later learned this information was not relayed to the Architect of Record for the permit drawings, Lisa Chan. According to Ms. Chan, her office was unaware of the damage to the area in question so no arrangements were made to access our property to see the damage during Ms. Chan's first site visit and no repair work to the garage/laundry room wall was included in her drawings. We discovered this omission to the project on July 1st when a photo of the job card was emailed to us by Mr. Wong and which was later confirmed on July 3rd by the contractor on site who informed us that there were no plans to address the damaged garage/laundry room wall in his scope of work. This exclusion forced us to file our appeal. During Ms. Chan's second site visit on July 28th we were able to show her the wall in question whereupon she agreed she had not taken the full scope of the NOV into consideration.

In addition to the sheathing being non fire rated, we believe the damage to the west wall of the garage/laundry room at 50 Scenic Way to be much more extensive than the siding

detaching from the building and the framing being rotten at the northwest corner. The wall leans precariously to the west - between the foundation of 50 Scenic Way and the east wall of our house there is a 7 inch gap, above the foundation at the base of the sheathing of the garage/laundry room and the east wall of our house there is a 5-5/16 inch gap, and at the top of the wall of the deck there is only a half inch gap. Soon this wall will rest against our home and we are very concerned about the significant fire hazard. We were told by a contractor, who was asked by the property owners to evaluate the wall, that it was rotten and needed to be replaced. If some wall-related repairs from the interior of that space have been made, I have found no permits at the records department of SFDBI. We have, however, noticed some strange foam-like extrusions that have recently leaked through the wall and onto our property. We also must mention that the base of the compromised wall of this structure extends over our property line. This encroachment has caused our home to have a blind wall that we have been unable to protect with stucco congruent with the rest of the body of our house. The encroachment is detailed in the property survey for 56 Scenic Way and is recorded with the city.

It is our hope that the Board of Appeals amends permit #202505297531 to make required repairs to all the affected components of the NOV, that all work be done in compliance with all current San Francisco Building Codes and that the garage/laundry room be pushed back behind the property line.

Please see exhibits on the following pages.

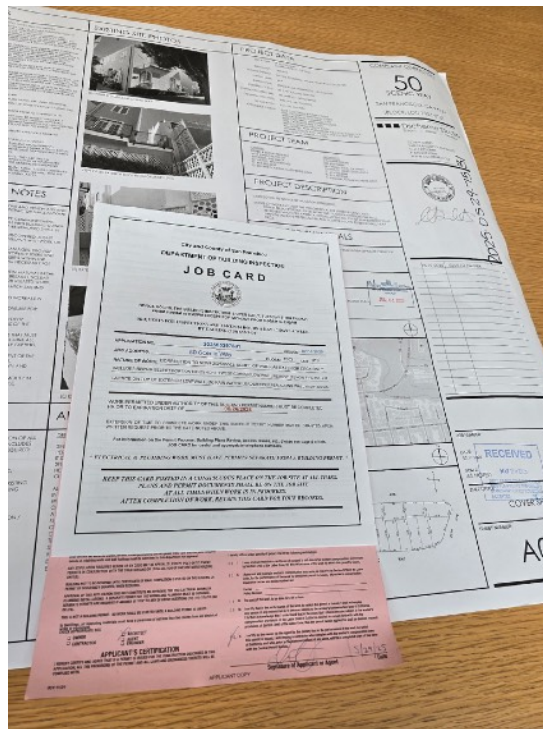


Photo received from Kevin Wong 7/1/25



View of deck on top of garage/laundry from above



View looking north at the deck/garage/laundry room



View of the rear of the structure



View of the northwest corner of the garage/laundry wall



Damage behind detaching sheathing



Detached sheathing and cracked foundation



Surveyor's mark just north of the garage/laundry room on shared garden wall

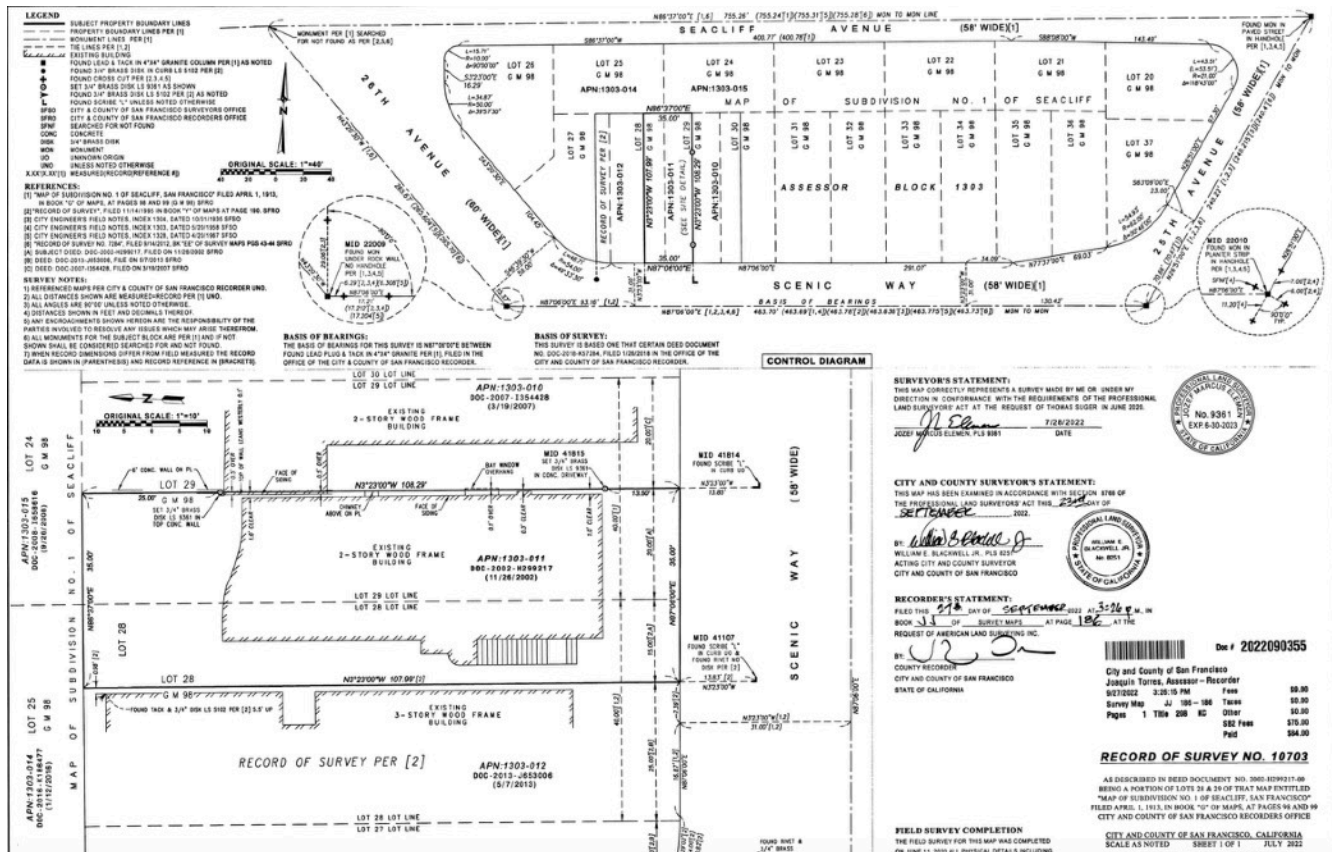
Measurements between the leaning garage/laundry west wall at 50 Scenic Way and the east wall of 56 Scenic Way at the foundation, the base of the sheathing of the wall and the top of the deck's pony wall



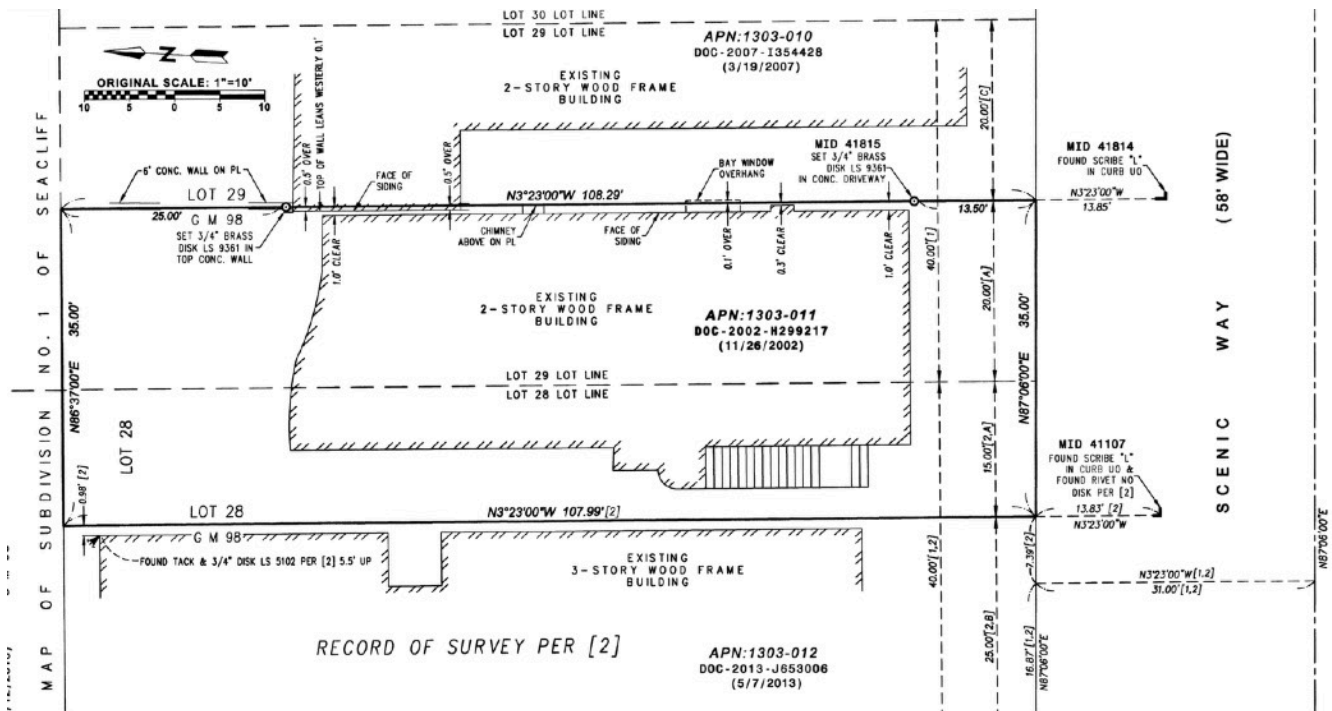
Recent extrusions leaked from garage/laundry wall



Property Survey of 56 Scenic Way



Detail of survey above



BRIEF SUBMITTED BY THE PERMIT HOLDER(S)



D-Scheme Studio

Dream – Ideas :: Design – with a purpose :: Develop – relationships

222 8th Street
San Francisco, CA
94103
Ph: 415.252.0888
Fax: 415.252.8388

Appeal Number: 25-025
Appeal Title: Suger vs. DBI, PDA
Subject Property: 50 Scenic Way
Permit Type: Alteration Permit
Permit No: 2025/05/29/7531
Re: Brief for the Permit Holder / Respondent
Date: August 20, 2025

I. INTRODUCTION

We, the Applicant, Marc Dimalanta from D-Scheme Studio, respectfully request the reactivation of Department of Building Inspection (DBI) Permit No. 2025-0529-7531, for 50 Scenic Way, in order to allow us to submit a revision to the permit application to thoroughly address one remaining area of the Notice of Violation (NOV) #202536052, Item #2.

II. ARGUMENT SUMMARY

We are in agreement with the Appellant's request that DBI Permit No. 2025-0529-7531 should be revised to include repairing the damaged garage level wall below the deck (see Figure 1a and 1b). This area was unintentionally omitted when we conducted our initial site visit and later corrected once we understood the entirety of the scope of item #2 of the NOV #202536052.



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222 8th Street
San Francisco, CA
94103
Ph: 415.252.0888
Fax: 415.252.8388



Figure 1a



Figure 1b

Figure 1a and 1b: Damaged garage level wall.

III. BACKGROUND

The owners Derek and Caroline Reisfield, have owned this property for over 18 years and currently lease it out to tenants who have lived there for over 2 years. When they received the NOV, our office was contacted to help resolve the issue.

Our office reviewed the NOV (#202536052) and conducted the site visit at 50 Scenic Way on 5/19/2025, visually inspecting all the areas understood to be identified in the NOV. Specifically regarding item #2, we identified damage to the existing siding at the low wall of the deck, and did not see any additional damage directly below. We then prepared permit drawings to address what we believed to be the entirety of the NOV and submitted for permit review over-the-counter at SF Department of Building Inspection on 5/29/2025. Refer to Exhibit B for City-stamped approved permit drawings.



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222 8th Street
San Francisco, CA
94103
Ph: 415.252.0888
Fax: 415.252.8388

It was later brought to our attention that there was additional damage to the garage level wall below the deck that was not visible from the subject property, and which could only be seen from the yard of the neighboring property at 56 Scenic Way. We were made fully aware of the omission via the Appeal filed by Susan and Tom Suger, the adjacent property owners at 56 Scenic Way, on 07/8/2025. Once it was understood that this was missed, we made a good faith effort to reach out to Susan and Tom Suger to address their concerns. We contacted The Sugers via email on 7/15/2025 and expressed that the damaged wall identified in their appeal was unintentionally missed and that we fully intended to address the area of concern. Since we were in agreement, we offered to provide a signed affidavit indicating that this area would be added to the scope of work for repairs, in an effort to eliminate the need for a lengthy Board of Appeals review and help move the project forward in a timely manner. The affidavit was declined by the Appellants.

D-Scheme Studio then coordinated with Tom and Susan Suger and scheduled a follow-up site visit for 7/28/25, in order to view the portion of damaged wall originally missed in the previous site visit and to prepare revised permit drawings adding this to the scope of work. The revised permit drawings were prepared and a Preliminary Copy sent to Tom and Susan Suger, for their review on 08/15/25. Refer to Exhibit C.



222 8th Street
San Francisco, CA
94103
Ph: 415.252.0888
Fax: 415.252.8388

IV. RESPONSE TO APPELLANT'S BRIEF

Per the Appellant's Brief received on 08/06/2025, we were also notified of another concern regarding the shared property line. We have hired a Licensed Surveyor to provide a boundary map/lot line survey to review and assess the boundary areas of 50 Scenic Way.

V. CONCLUSION

We agree with the appellant's assertion that part of the damaged wall was not addressed within the scope of work of the originally issued permit drawings and have already prepared revision permit drawings to include this additional scope. Therefore, we respectfully request that permit 2025-0529-7531 be reinstated, with no new conditions, so that the permit revision documents can be submitted to fully address the Notice of Violation #202536052.

Respectfully submitted,

Marc Dimalanta, D-Scheme Studio

Date: August 20, 2025



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222 8th Street
San Francisco, CA
94103
Ph: 415.252.0888
Fax: 415.252.8388

EXHIBIT A

Timeline of events:

- 04/22/2025 - Notice of Violation #202536052 filed
- 5/19/2025 - Initial site visit from D-Scheme Studio (Architect) to review items noted in the NOV at 50 Scenic Way
- 5/29/2025 - Submit permit drawings to correct items in NOV OTC at SFDBI, permit reviewed and approved
- 07/01/2025 - Permit issued
- 07/03/2025 - Site visit with Susan and Tom Suger and General Contractor to review scope of work
- 07/08/2025 - Appeal filed by Susan and Tom Suger
- 07/15/2025 - D-Scheme Studio contacts Susan and Tom Suger to clarify omission; affidavit offered to include scope of work in repairs
- 07/28/2025 - 2nd site visit from D-Scheme Studio to review damaged wall at garage level
- 08/15/2025 - Revision permit drawings issued to Susan and Tom Suger for review



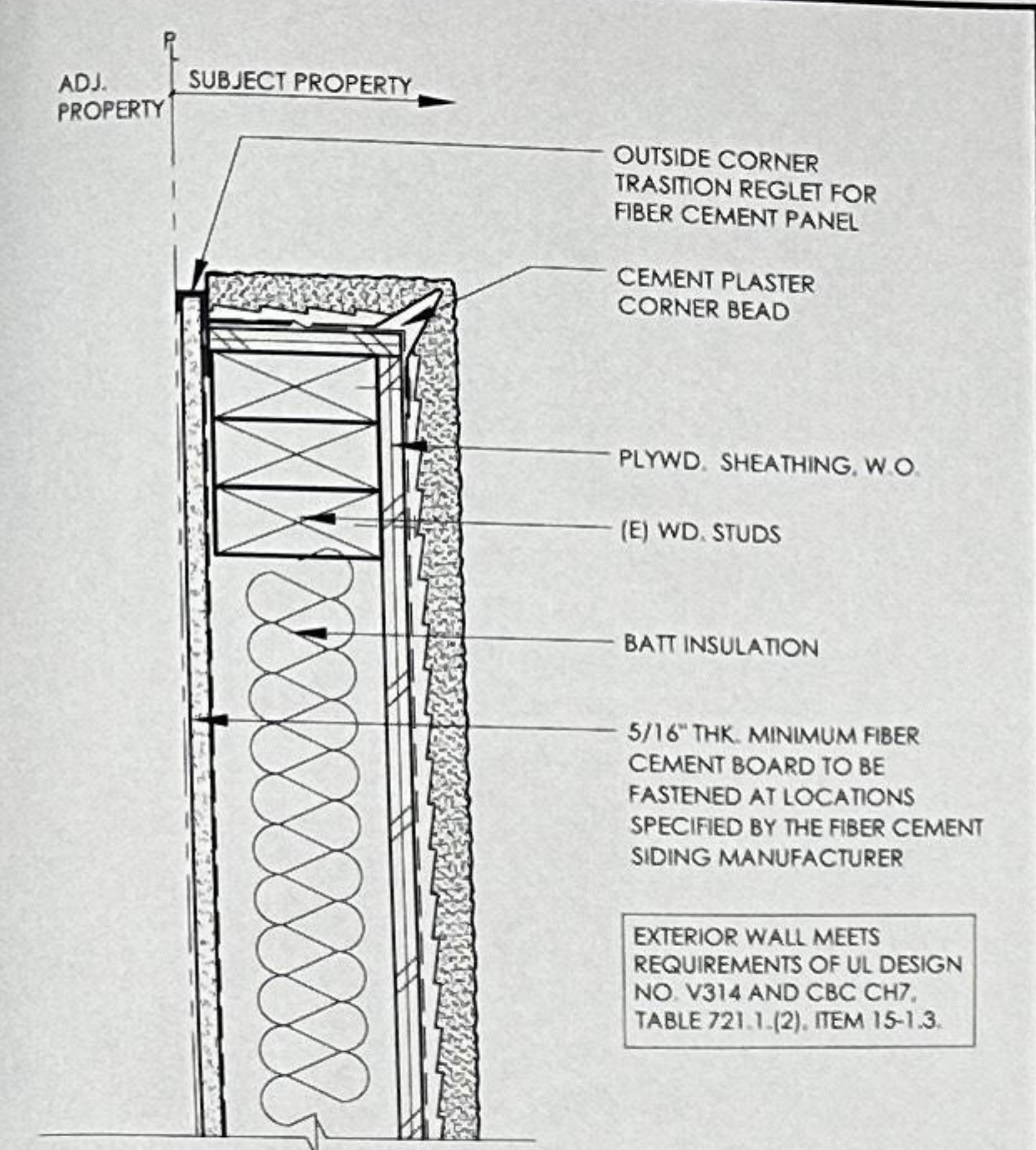
D-Scheme Studio

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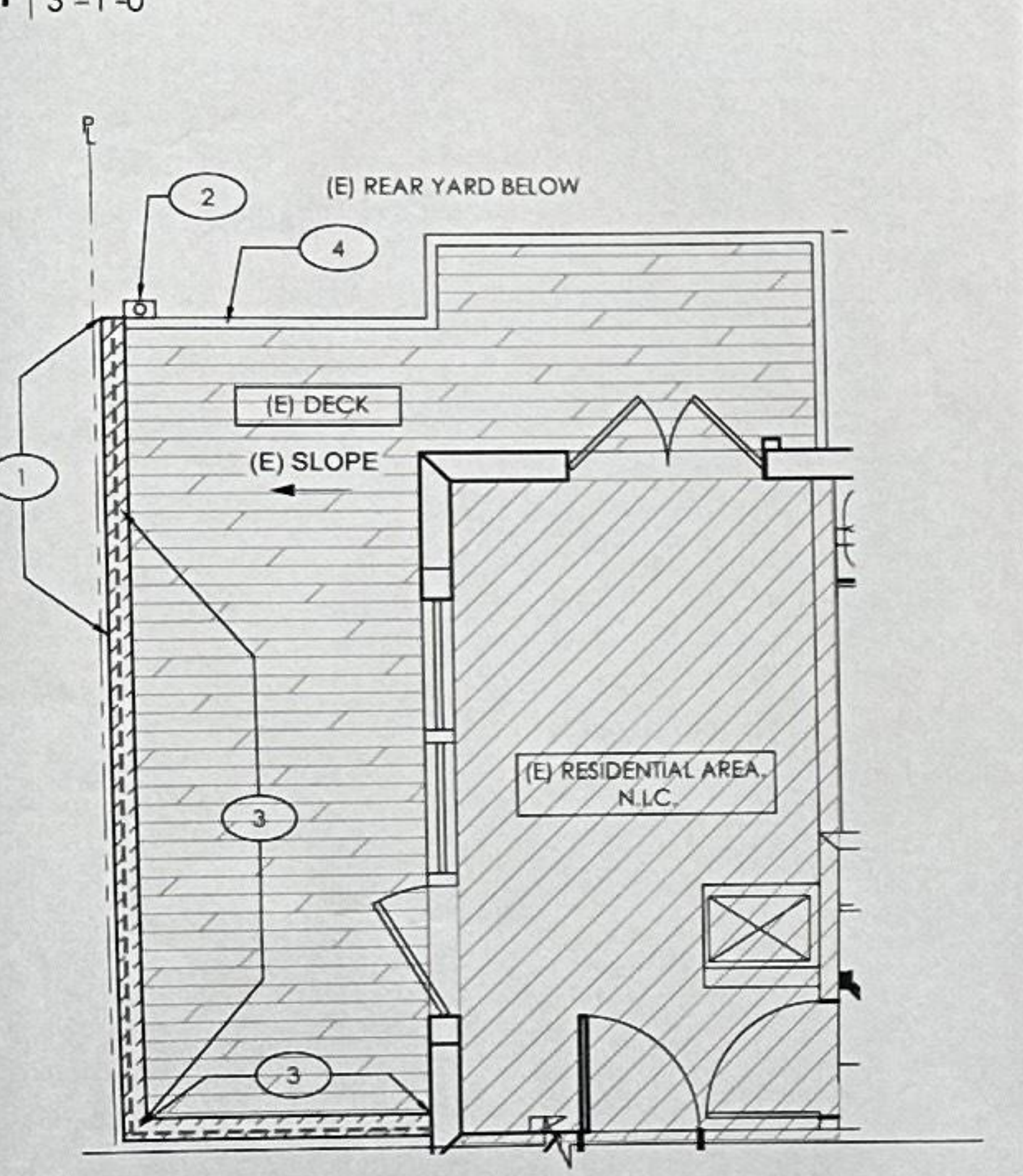
222 8th Street
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EXHIBIT B

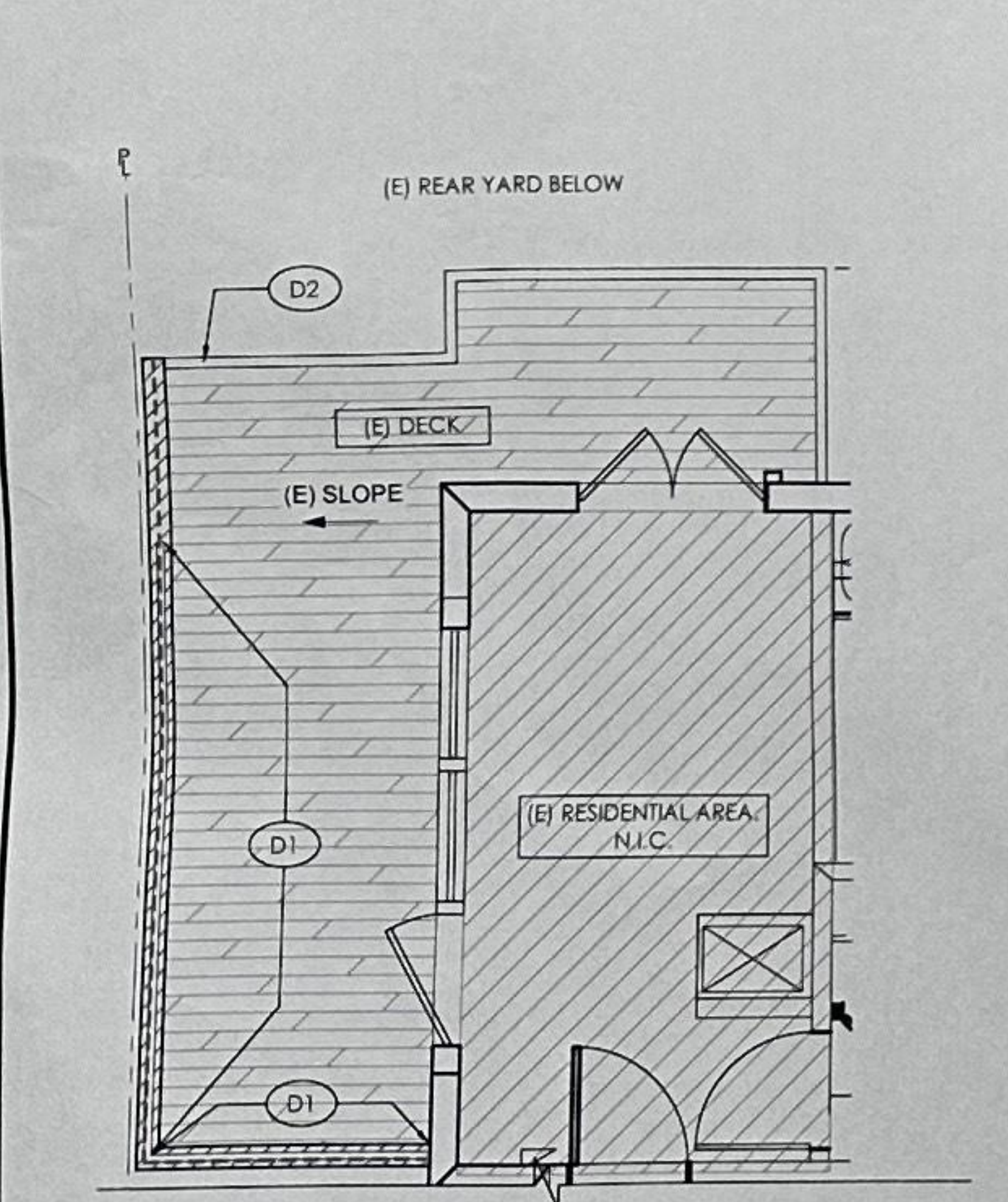
City-approved permit drawings 2025-0529-7531 (see next page).



4 | 1-HR RATED EXTERIOR WALL
3\"/>



3 | PROPOSED DECK FLOOR PLAN
1\"/>



2 | EXISTING & DEMOLITION DECK FLOOR PLAN
1\"/>

LEGEND

EXISTING WALL TO REMAIN

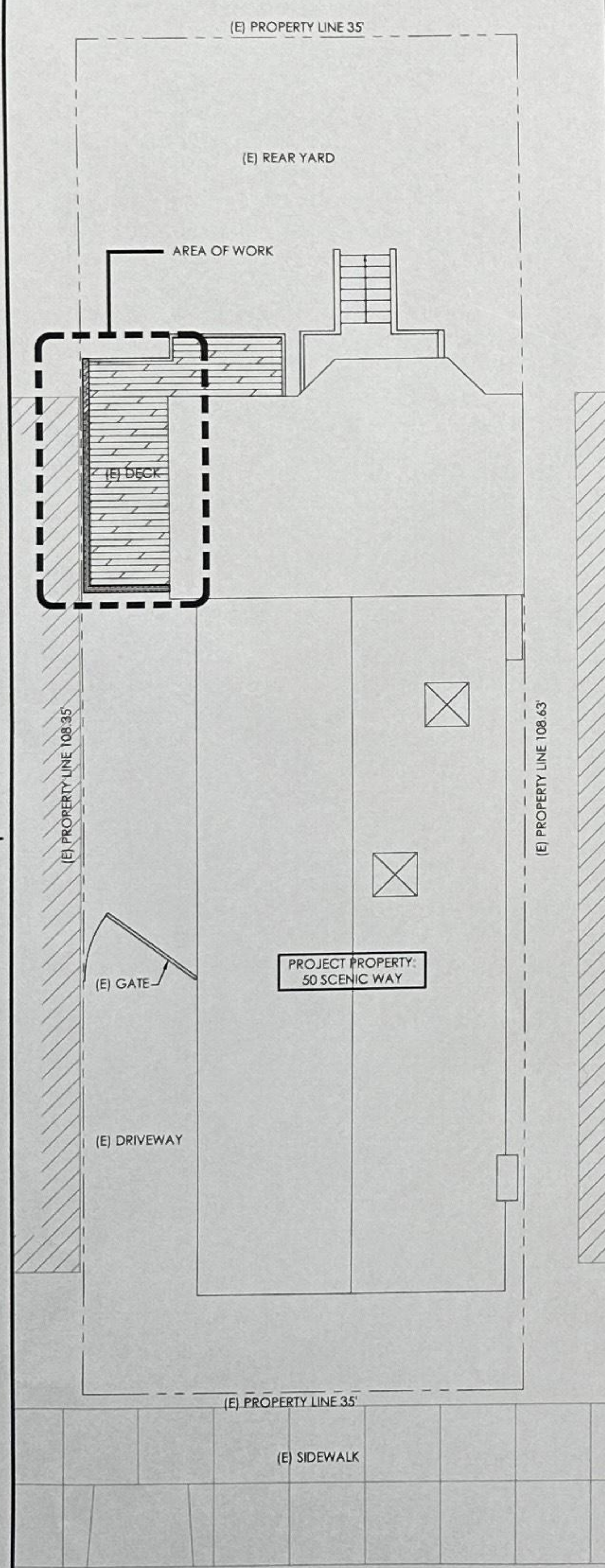
EXISTING 1-HR LOW WALL TO REMAIN

EXISTING TO BE REMOVED

EXISTING DOOR TO REMAIN

- FLOOR PLAN KEY NOTES**
- GENERAL CONTRACTOR TO REPAIR SELECT PORTION OF (E) EXTERIOR LOW WALL SEE DETAIL 4/A0.0.
 - GENERAL CONTRACTOR TO PROVIDE (N) SCUPPER AND (N) RAIN WATER LEADER AT DECK.
 - GENERAL CONTRACTOR TO PATCH & REPAIR (E) CEMENT PLASTER FINISH AT (E) LOW WALL AS REQD. AFTER REMOVAL OF (E) WD. LATTICE.
 - (E) METAL GUARDRAIL TO REMAIN

- DEMOLITION KEY NOTES**
- REMOVE (E) LATTICE ON TOP OF (E) LOW WALL.
 - (E) METAL GUARDRAIL TO REMAIN



1 | (E) SITE PLAN
1\"/>

- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES.
 - CONTRACTOR SHALL APPLY FOR, OBTAIN AND PAY FOR ALL LICENSES AND INSPECTIONS AS REQUIRED TO COMPLY WITH ALL CITY AND LOCAL CODES AND LAWS.
 - PRIOR TO COMMENCING WORK, THE CONTRACTOR, IN CONFERENCE WITH BUILDING MANAGEMENT, SHALL PREPARE A LIST OF HIS ACTIVITIES THAT WILL, IN ANY WAY, AFFECT THE NORMAL OPERATIONS OF THE BUILDING AND NEIGHBORING TENANTS. PROTECTIVE MEASURES AND SCHEDULING SHALL BE ESTABLISHED TO MINIMIZE DISRUPTION OF PROJECT PROPERTY NOT RELATED TO THIS PROJECT. PROVIDE THE MANAGEMENT WITH A COPY OF THE SCHEDULE AND THE DESCRIPTION OF PROTECTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT AND BUILDING MANAGEMENT IN WRITING AND OBTAINING A CLARIFICATION FROM THE ARCHITECT AND BUILDING MANAGEMENT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK. REQUESTS FOR ADDITIONAL CHARGES WILL NOT BE ENTERTAINED FOR THE CONTRACTOR'S FAILURE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.
 - REFERENCES TO MAKES, BRANDS, AND MODELS IS TO ESTABLISH TYPE AND QUALITY DESIRED. SUBSTITUTIONS FOR "EQUALS" WILL NOT BE ACCEPTABLE UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT.
 - THE CONTRACTOR SHALL ORDER MATERIALS IN SUFFICIENT TIME FOR ORDERLY INSTALLATIONS. THE ARCHITECT WILL NOT ENTERAIN ANY REQUESTS FOR MATERIAL SUBSTITUTIONS. IF NECESSARY, THE CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY FINISHES OR MATERIALS. MONIES WILL BE WITHHELD PENDING THE SATISFACTORY INSTALLATION OF SPECIFIED FINISHES AND MATERIALS.
 - THE CONTRACTOR SHALL DETERMINE ALL LEAD TIMES FOR FINISH MATERIAL AT TIME OF PRICING TO ASSURE AVAILABILITY OF MATERIALS AS SCHEDULE REQUIRED. ANY COSTS FOR SPECIAL HANDLING OR AIR FREIGHT OF MATERIALS IN ORDER TO MEET REQUIRED DEADLINES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
 - ALL WALL DIMENSIONS ARE FINISHED FACE-OF-WALL, UNLESS SHOWN OR NOTED OTHERWISE.
 - ALL CLEAR DIMENSIONS ARE REQUIRED TO BE EXACT WITHIN 1/8" SCALE TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.
 - DIMENSIONS NOTED "V.L.F." SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 - NEW CONSTRUCTION SHALL MATCH EXISTING. EVERY EFFORT MUST BE MADE TO PROVIDE A SEAMLESS, LIKE-NEW SPACE. NO EVIDENCE OF PREVIOUSLY EXISTING CONSTRUCTION SHALL REMAIN. NEW CONSTRUCTION, INCLUDING NEW GYPSUM BOARD PARTITIONS THAT ABUT EXISTING DEMOUNTABLE PARTITIONS, SHALL MEET FLUSH IN THE SAME PLANE WITH NO VISIBLE JOINTS SHOWING U.O.N.
 - THE CONTRACTOR SHALL COMPLETE SUBMITTALS FOR ARCHITECT'S APPROVALS PRIOR TO INSTALLATION FOR THE FOLLOWING ITEMS:
 - DOOR HARDWARE
 - 12" X 12" PAINT BRUSH CUTS AND SAMPLES OF ALL FINISH TYPES AND COLORS.
 - SHOP DRAWINGS MUST BE SUBMITTED FOR ARCHITECTS AND BUILDING MANagements APPROVAL BEFORE ANY MILLWORK, CASEWORK, STRUCTURAL OR METAL FABRICATION IS BEGUN. PRIOR TO SUBMITTAL TO ARCHITECT AND BUILDING MANAGEMENT, SHOP DRAWINGS HAVE BEEN CHECKED FOR CONFORMANCE WITH CONTRACT DOCUMENTS.
 - SHOP DRAWINGS ARE NOT CONSIDERED CONTRACT DOCUMENTS. THEY ARE ONLY A CONVENIENCE TO FACILITATE PROGRESS OF WORK. SHOP DRAWINGS WILL BE REVIEWED BY ARCHITECT, AND BUILDING OWNER/BUILDING MANAGEMENT FOR GENERAL REQUIREMENTS.
 - UPON PROJECT COMPLETION, CLEAN AND POLISH ALL ORNAMENTAL METAL, GLASS, HARDWARE, RESILIENT FLOORING, CERAMIC TILE AND OTHER SUCH ITEMS WITH FACTORY FINISHES. REMOVE ALL DUST WITH DUST-CLOTH OR VACUUM CLEANERS. VACUUM/CLEAN CARPET.

- DEMOLITION GENERAL NOTES**
- CONTRACTOR SHALL VISIT THE SITE, VERIFY ALL FIELD DIMENSIONS AND REVIEW ANY AND ALL DOCUMENTS AVAILABLE ON SITE AND THE BUILDING. CONTRACTOR SHALL BECOME FAMILIAR WITH ALL EXISTING CONDITIONS.
 - CONTRACTOR SHALL VERIFY EXISTING UTILITIES. PRIOR TO WORK COMMENCEMENT, PREARRANGE UTILITY SHUTDOWN OR TEMPORARY INTERRUPTION WITH BUILDING OWNER SO THERE WILL BE MINIMUM INTERFERENCE. ALL UTILITY LINES TO BE REMOVED SHALL BE PROPERLY CAPPED INCLUDING CONTROLS.
 - WHERE UNIDENTIFIED OBJECTS AND/OR INCONSISTENCIES ARE DISCOVERED, SUBMIT INFORMATION TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR RELATED WORK.
 - DEMOLITION SHALL BE DONE CAREFULLY SO AS NOT TO CAUSE DAMAGES. PROVIDE PROTECTION TO PREVENT DAMAGE TO ADJOINING PROPERTY, PROPERTY USERS AND OTHER IMPROVEMENTS. PROVIDE BARRIERS TO LIMIT DUST AND DEBRIS WITHIN THE IMMEDIATE CONSTRUCTION AREA. PATCH AND REPAIR EXISTING AS NECESSARY FOR SATISFACTORY COMPLETION OF ALL WORK.
 - ALL PATCH AND REPAIR WORK SHALL INCLUDE ENTIRE SURFACE FROM NATURAL BREAK TO UNNATURAL BREAK. CONSULT OWNER FOR LOCATIONS WHERE BREAKS UNCLEAR AND OBTAIN RESOLUTION PRIOR TO COMMENCEMENT OF WORK OR RELATED WORK.
 - MAKE ALL REPAIRS WITH MATERIAL EQUAL KIND AND QUALITY TO MATCH EXISTING ADJACENT SURFACES.
 - REPAIR OR REPLACE ANY DAMAGES CAUSED BY DEMOLITION AT NO INCREASE IN CONTRACT SUM.
 - CONTRACTOR SHALL MAINTAIN AND KEEP SITE CLEAN AND BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLISHED ITEMS AND DEBRIS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL INTEGRITY, PROPER FUNCTION, AND THE COMPLIANCE OF ALL CODES AND REGULATIONS OF THE RECONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR RECONSTRUCTION OF ALL SYSTEMS THAT MUST BE ADJUSTED DURING CONSTRUCTION AT NO INCREASE TO CONTRACT SUM. ALL SYSTEMS, THOSE RELATED TO WORK AND THOSE WHICH ARE PREVIOUSLY EXISTING, MUST BE FULLY FUNCTIONAL PRIOR TO COMPLETION OF WORK.
 - DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN IN DRAWINGS. THE INTENT OF THE DRAWINGS ARE TO INDICATE THE GENERAL SCOPE OF WORK REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION BOTH SHOWN AND INCIDENTAL TO PROPER COMPLETION OF WORK.
 - A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE DIVERSION, OR SALVAGE FACILITY PER CGC 4.408.

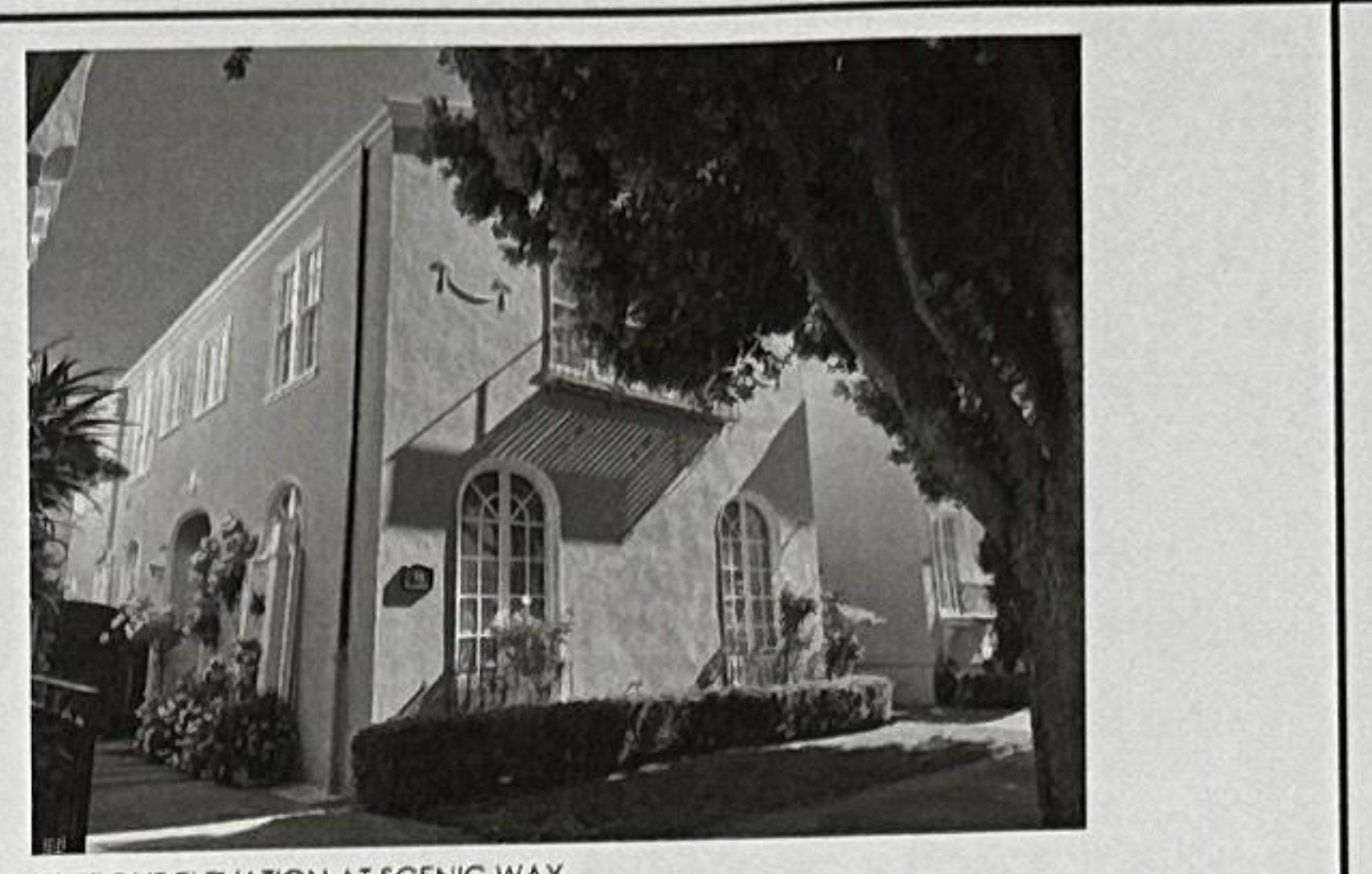
DESIGN/BUILD NOTES

- THE G.C. SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND COORDINATION OF ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK. THIS INCLUDES ANY APPLICABLE DRAWINGS, DETAILS, CALCULATIONS, ETC., THAT MAY BE REQUIRED TO OBTAIN PERMITS AND TO PROPERLY EXECUTE THIS WORK.
 - LOCATIONS, QUANTITIES AND CODE COMPLIANCE OF ALL NEW AND RECONFIGURED PLUMBING DEVICES ARE THE SOLE RESPONSIBILITY OF THE G.C.
 - THE NEW MECHANICAL, ELECTRICAL, & PLUMBING SYSTEMS SHALL REUSE EXISTING WHERE APPROPRIATE, COORDINATE WITH BUILDING MANAGEMENT AND BUILDING OWNER.
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- PLUMBING DRAWINGS TO BE DESIGN/BUILD FOR PLUMBING REQUIREMENTS.

APPROVED BY: [Signature]
MAY 29 2025
PLANNING DEPARTMENT

Nelson Lau, DBI ELDG
MAY 29 2025

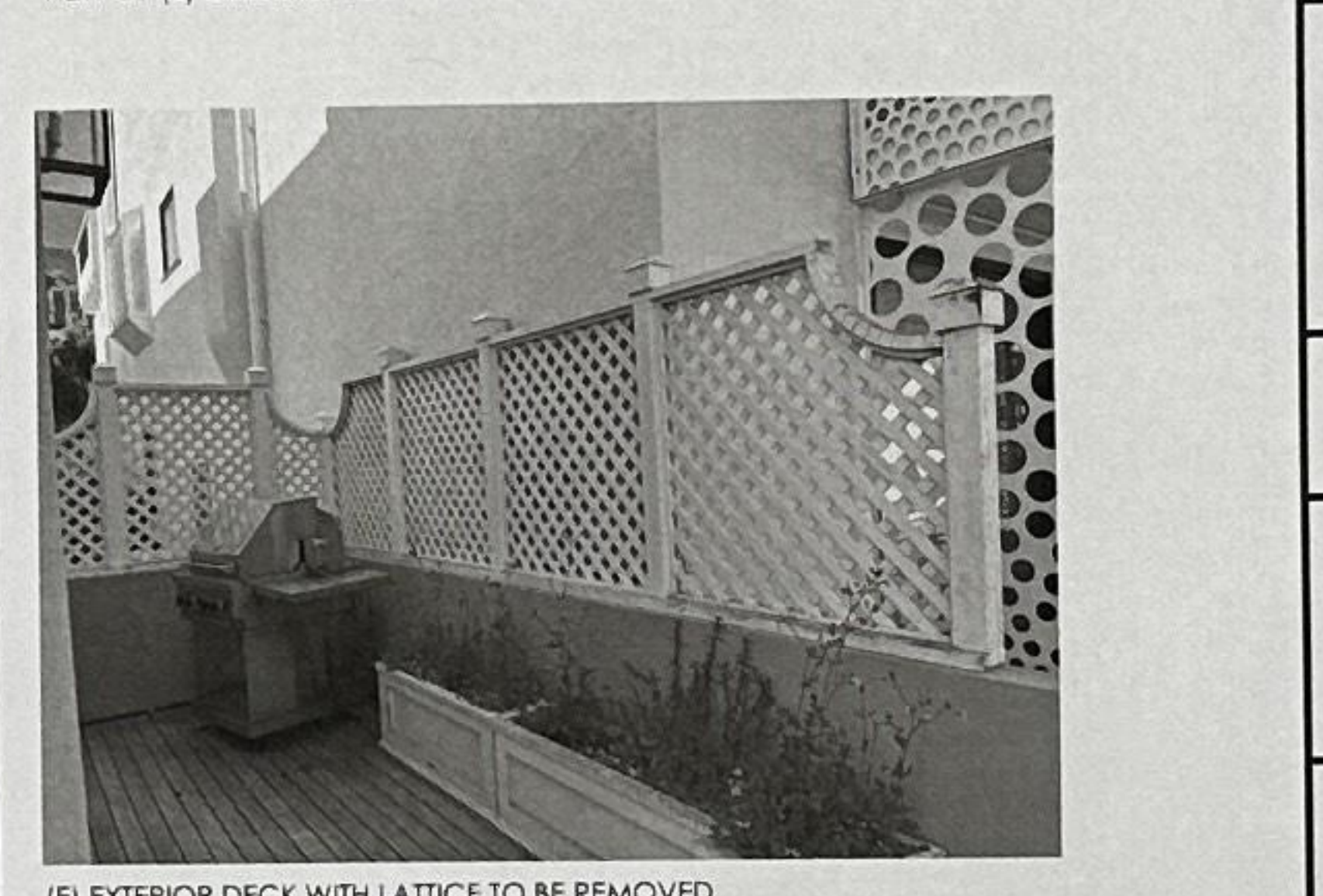
EXISTING SITE PHOTOS



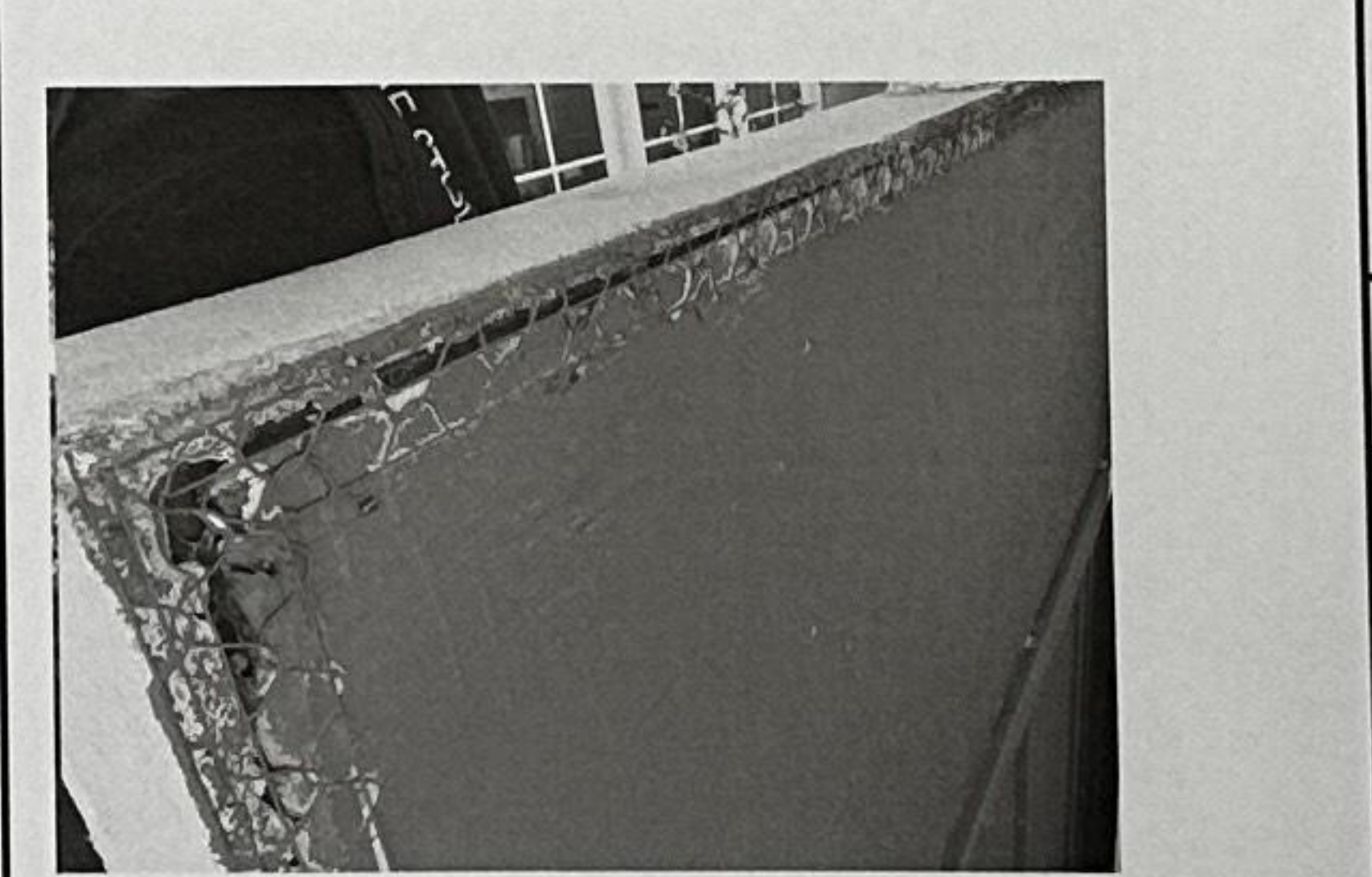
(E) FRONT ELEVATION AT SCENIC WAY



VIEW OF (E) EXTERIOR DECK FROM GROUND LEVEL



(E) EXTERIOR DECK WITH LATTICE TO BE REMOVED



(E) EXTERIOR LOW WALL TO BE REPAIRED

ADDITIONAL NOTES

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PROJECT DATA

LOCATION: 50 SCENIC WAY
SAN FRANCISCO, CA 94121

BLOCK/LOT: 1303/010

ZONING DISTRICT: RH-1 (D), RESIDENTIAL HOUSE, ONE-FAMILY-DETACHED

HEIGHT LIMIT: 40-X

BUILDING USE: SINGLE FAMILY RESIDENCE - NO CHANGE

EXISTING LOT SIZE: (E) 3,797 S.F. - NO CHANGE

EXISTING BUILDING SIZE: (E) 4,444 S.F. - NO CHANGE

CONSTRUCTION TYPE: TYPE V-B - NO CHANGE

OCCUPANCY: R-3 - NO CHANGE

APPLICABLE CODES: 2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE
AS ADOPTED AND AMENDED BY THE CITY & COUNTY OF SAN FRANCISCO, AND THE CITY AND COUNTY OF SAN FRANCISCO MUNICIPAL CODE

PROJECT TEAM

OWNER:
DEREK & STASIA REISFIELD
9613 EAGLE RIDGE DR
BETHESDA, MD 20817
CONTACT: KEVIN WONG
T: 415.290.2927
E: KEVIN@GOLDENCOASTPROPS.COM

ARCHITECT:
D-SCHEME STUDIO
222 8TH STREET
SAN FRANCISCO, CA 94103
CONTACT: MARC DIMALANTA
T: 415.252.0888
F: 415.252.8388
E: M.DIMALANTA@DScheme.COM

PROJECT DESCRIPTION

CORRECTION TO NOTICE OF VIOLATION #202536052

SCOPE OF WORK INCLUDES THE FOLLOWING AT THE EXTERIOR DECK ONLY:

- REPAIR SELECT PORTION OF (E) NORTHWEST CORNER EXTERIOR LOW WALL
- REMOVE (E) NON-FIRE RATED LATTICE ADJACENT ON TOP OF LOW EXTERIOR WALL
- PROVIDE (N) RAIN WATER LEADER AND SCUPPER ALONG EXTERIOR WALL NEAR DECK

DEFERRED SUBMITTALS

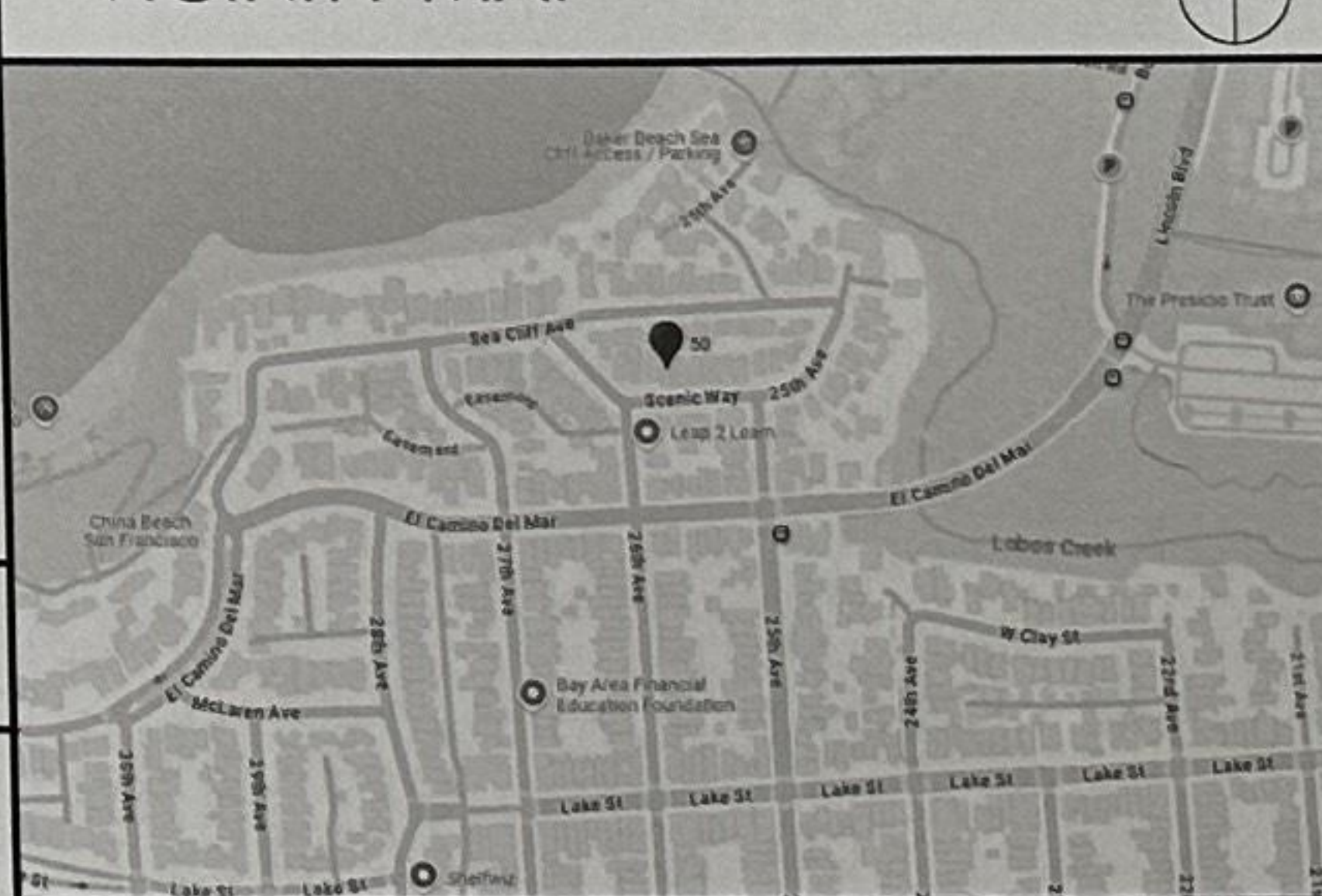
THE FOLLOWING WORK TO BE DESIGN/BUILD AND FIELD UNDER SEPARATE PERMITS BY OTHERS:

- PLUMBING

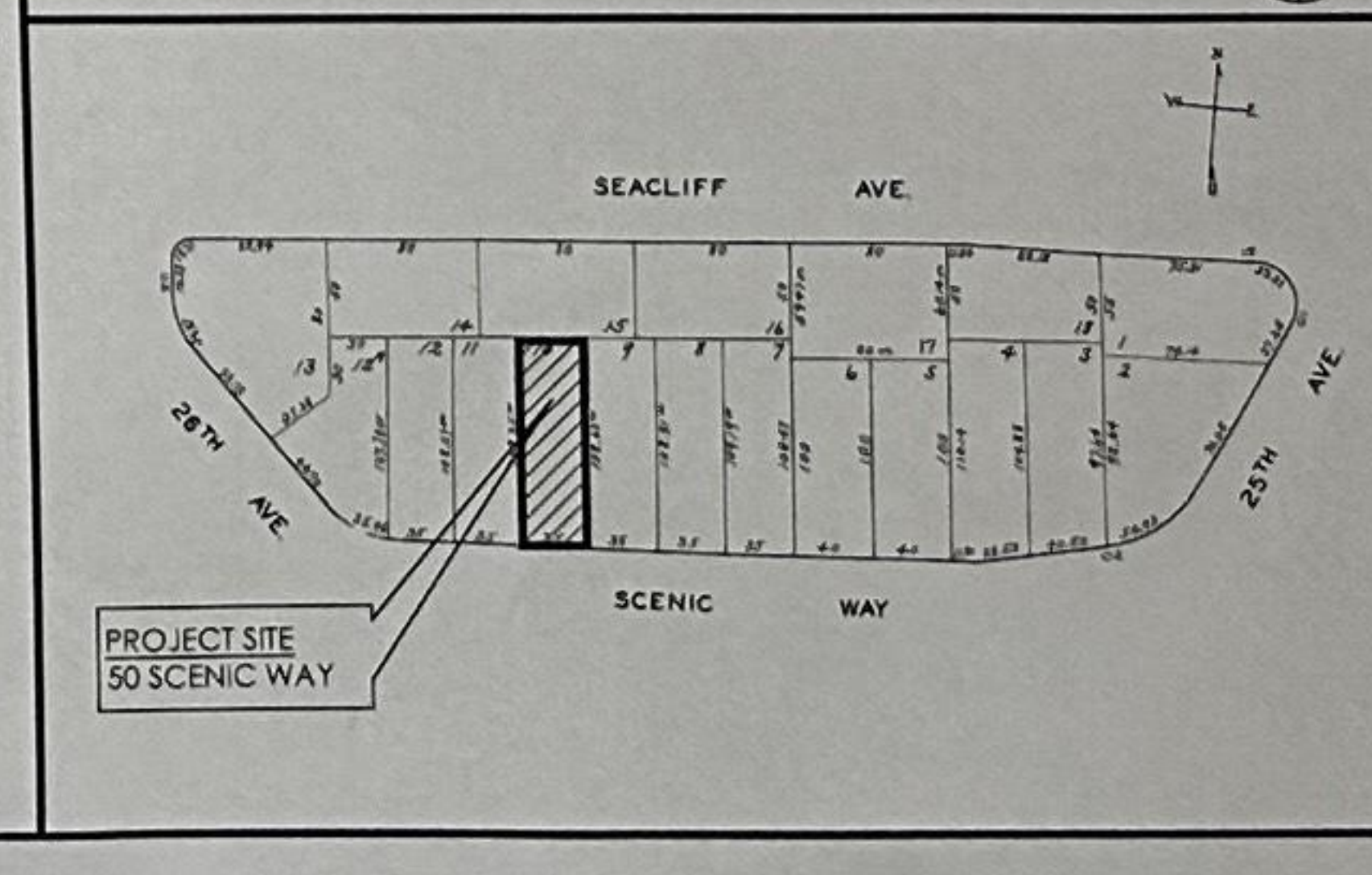
DRAWING INDEX

ARCHITECTURAL
A0.0 COVER SHEET / EXISTING & PROPOSED FLOOR PLAN

VICINITY MAP



ASSESSOR MAP



COMPLAINT CORRECTION

50 SCENIC WAY

SAN FRANCISCO, CA 94121

(BLOCK/LOT: 1303/010)

Dscheme Studio
Dream :: Design :: Develop

222 8TH STREET
SAN FRANCISCO, CA 94103
T: 415.252.0888
F: 415.252.8388
WWW.DSCHEME.COM

2025-0529-7531

RECEIVED
MAY 29 2025
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR REPRODUCTION
ACCEPTED

COVER SHEET

A0.0



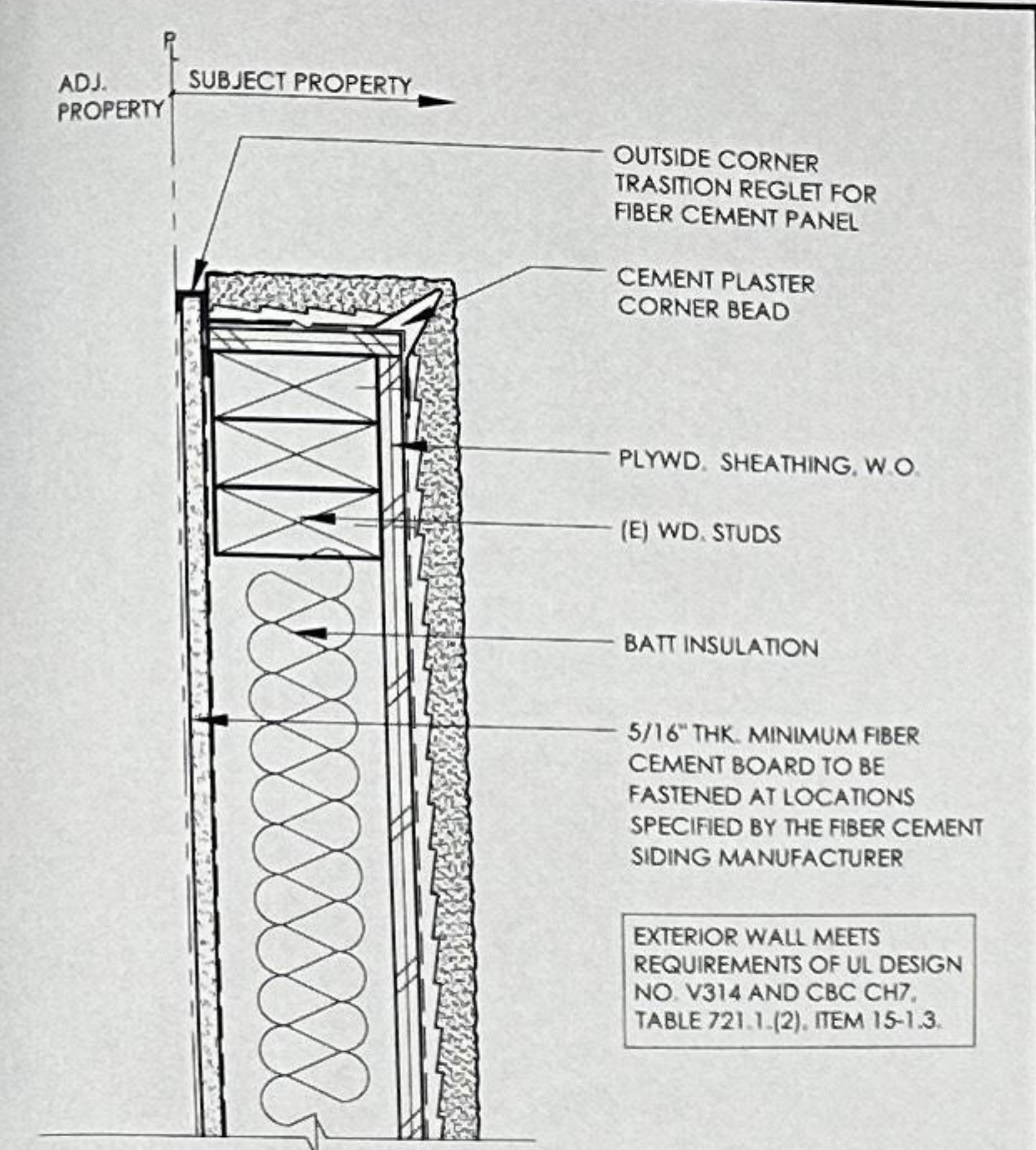
D-Scheme Studio

Dream – Ideas :: Design – with a purpose :: Develop – relationships

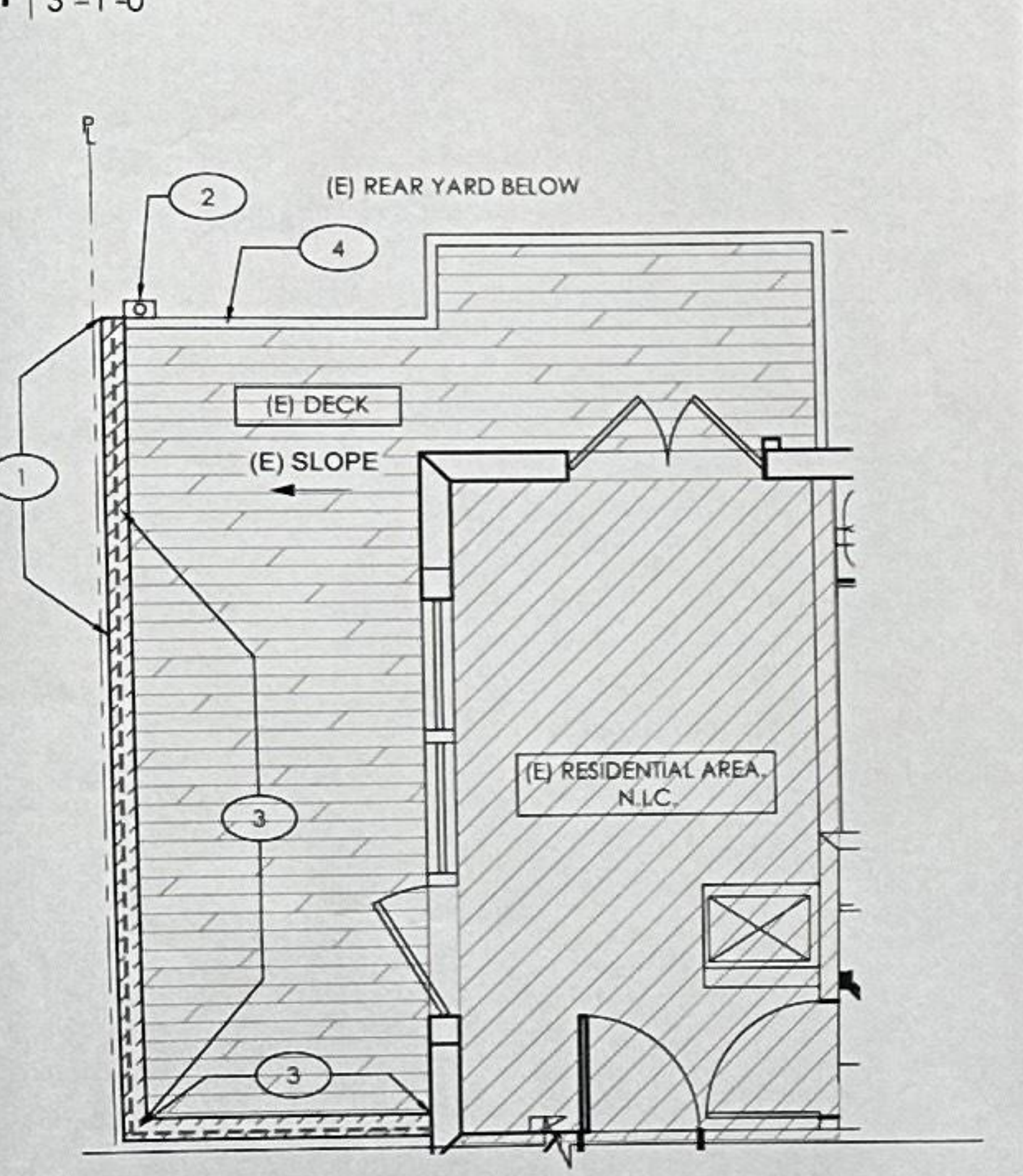
222 8th Street
San Francisco, CA
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EXHIBIT C

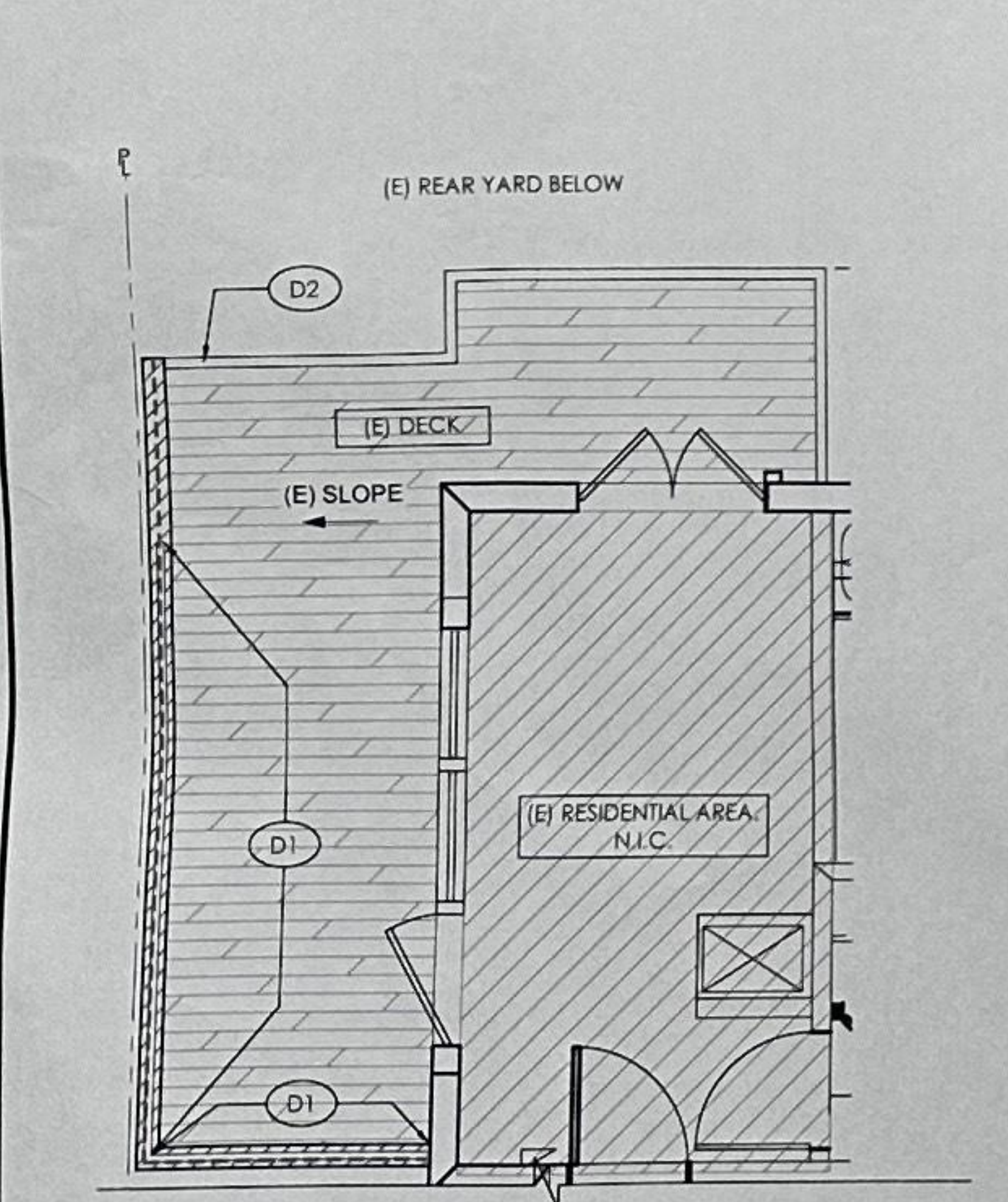
Preliminary copy of proposed revision permit drawings (see next page).



4 | 1-HR RATED EXTERIOR WALL
3\"/>



3 | PROPOSED DECK FLOOR PLAN
1\"/>



2 | EXISTING & DEMOLITION DECK FLOOR PLAN
1\"/>

LEGEND

EXISTING WALL TO REMAIN
EXISTING 1-HR LOW WALL TO REMAIN
EXISTING TO BE REMOVED

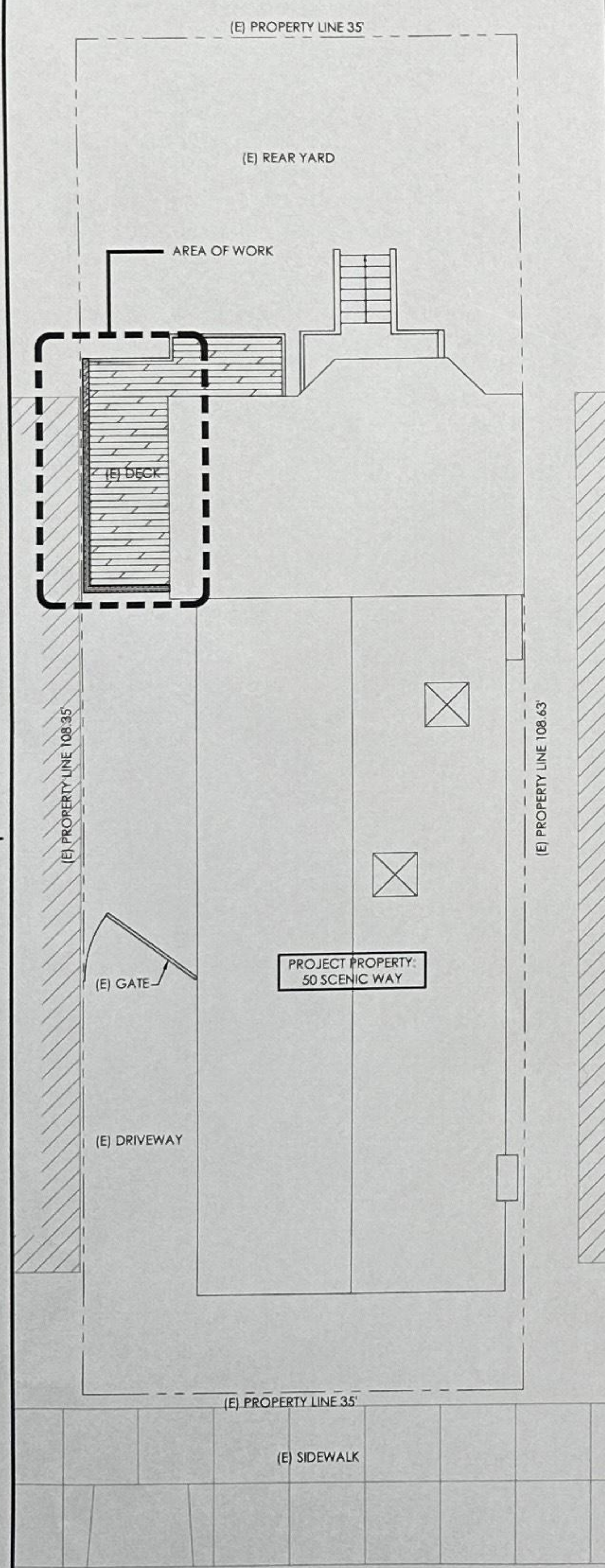
EXISTING DOOR TO REMAIN

FLOOR PLAN KEY NOTES

1. GENERAL CONTRACTOR TO REPAIR SELECT PORTION OF (E) EXTERIOR LOW WALL SEE DETAIL 4/A0.0.
2. GENERAL CONTRACTOR TO PROVIDE (N) SCUPPER AND (N) RAIN WATER LEADER AT DECK.
3. GENERAL CONTRACTOR TO PATCH & REPAIR (E) CEMENT PLASTER FINISH AT (E) LOW WALL AS REQD. AFTER REMOVAL OF (E) WD. LATTICE.
4. (E) METAL GUARDRAIL TO REMAIN

DEMOLITION KEY NOTES

D1. REMOVE (E) LATTICE ON TOP OF (E) LOW WALL.
D2. (E) METAL GUARDRAIL TO REMAIN



1 | (E) SITE PLAN
1\"/>

- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES.
 - CONTRACTOR SHALL APPLY FOR, OBTAIN AND PAY FOR ALL LICENSES AND INSPECTIONS AS REQUIRED TO COMPLY WITH ALL CITY AND LOCAL CODES AND LAWS.
 - PRIOR TO COMMENCING WORK, THE CONTRACTOR, IN CONFERENCE WITH BUILDING MANAGEMENT, SHALL PREPARE A LIST OF HIS ACTIVITIES THAT WILL, IN ANY WAY, AFFECT THE NORMAL OPERATIONS OF THE BUILDING AND NEIGHBORING TENANTS. PROTECTIVE MEASURES AND SCHEDULING SHALL BE ESTABLISHED TO MINIMIZE DISRUPTION OF PROJECT PROPERTY NOT RELATED TO THIS PROJECT. PROVIDE THE MANAGEMENT WITH A COPY OF THE SCHEDULE AND THE DESCRIPTION OF PROTECTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT AND BUILDING MANAGEMENT IN WRITING AND OBTAINING A CLARIFICATION FROM THE ARCHITECT AND BUILDING MANAGEMENT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK. REQUESTS FOR ADDITIONAL CHARGES WILL NOT BE ENTERTAINED FOR THE CONTRACTOR'S FAILURE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.
 - REFERENCES TO MAKES, BRANDS, AND MODELS IS TO ESTABLISH TYPE AND QUALITY DESIRED. SUBSTITUTIONS FOR "EQUALS" WILL NOT BE ACCEPTABLE UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT.
 - THE CONTRACTOR SHALL ORDER MATERIALS IN SUFFICIENT TIME FOR ORDERLY INSTALLATIONS. THE ARCHITECT WILL NOT ENTERAIN ANY REQUESTS FOR MATERIAL SUBSTITUTIONS. IF NECESSARY, THE CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY FINISHES OR MATERIALS. MONIES WILL BE WITHHELD PENDING THE SATISFACTORY INSTALLATION OF SPECIFIED FINISHES AND MATERIALS.
 - THE CONTRACTOR SHALL DETERMINE ALL LEAD TIMES FOR FINISH MATERIAL AT TIME OF PRICING TO ASSURE AVAILABILITY OF MATERIALS AS SCHEDULE REQUIRED. ANY COSTS FOR SPECIAL HANDLING OR AIR FREIGHT OF MATERIALS IN ORDER TO MEET REQUIRED DEADLINES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
 - ALL WALL DIMENSIONS ARE FINISHED FACE-OF-WALL, UNLESS SHOWN OR NOTED OTHERWISE.
 - ALL CLEAR DIMENSIONS ARE REQUIRED TO BE EXACT WITHIN 1/8" SCALE TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.
 - DIMENSIONS NOTED "V.L.F." SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 - NEW CONSTRUCTION SHALL MATCH EXISTING. EVERY EFFORT MUST BE MADE TO PROVIDE A SEAMLESS, LIKE-NEW SPACE. NO EVIDENCE OF PREVIOUSLY EXISTING CONSTRUCTION SHALL REMAIN. NEW CONSTRUCTION, INCLUDING NEW GYPSUM BOARD PARTITIONS THAT ABUT EXISTING DEMOUNTABLE PARTITIONS, SHALL MEET FLUSH IN THE SAME PLANE WITH NO VISIBLE JOINTS SHOWING U.O.N.
 - THE CONTRACTOR SHALL COMPLETE SUBMITTALS FOR ARCHITECT'S APPROVALS PRIOR TO INSTALLATION FOR THE FOLLOWING ITEMS:
 - DOOR HARDWARE
 - 12" X 12" PAINT BRUSH CUTS AND SAMPLES OF ALL FINISH TYPES AND COLORS.
 - SHOP DRAWINGS MUST BE SUBMITTED FOR ARCHITECTS AND BUILDING MANagements APPROVAL BEFORE ANY MILLWORK, CASEWORK, STRUCTURAL OR METAL FABRICATION IS BEGUN. PRIOR TO SUBMITTAL TO ARCHITECT AND BUILDING MANAGEMENT, SHOP DRAWINGS HAVE BEEN CHECKED FOR CONFORMANCE WITH CONTRACT DOCUMENTS.
 - SHOP DRAWINGS ARE NOT CONSIDERED CONTRACT DOCUMENTS. THEY ARE ONLY A CONVENIENCE TO FACILITATE PROGRESS OF WORK. SHOP DRAWINGS WILL BE REVIEWED BY ARCHITECT, AND BUILDING OWNER/BUILDING MANAGEMENT FOR GENERAL REQUIREMENTS.
 - UPON PROJECT COMPLETION, CLEAN AND POLISH ALL ORNAMENTAL METAL, GLASS, HARDWARE, RESILIENT FLOORING, CERAMIC TILE AND OTHER SUCH ITEMS WITH FACTORY FINISHES. REMOVE ALL DUST WITH DUST-CLOTH OR VACUUM CLEANERS. VACUUM/CLEAN CARPET.

- DEMOLITION GENERAL NOTES**
- CONTRACTOR SHALL VISIT THE SITE, VERIFY ALL FIELD DIMENSIONS AND REVIEW ANY AND ALL DOCUMENTS AVAILABLE ON SITE AND THE BUILDING. CONTRACTOR SHALL BECOME FAMILIAR WITH ALL EXISTING CONDITIONS.
 - CONTRACTOR SHALL VERIFY EXISTING UTILITIES. PRIOR TO WORK COMMENCEMENT, PREARRANGE UTILITY SHUTDOWN OR TEMPORARY INTERRUPTION WITH BUILDING OWNER SO THERE WILL BE MINIMUM INTERFERENCE. ALL UTILITY LINES TO BE REMOVED SHALL BE PROPERLY CAPPED INCLUDING CONTROLS.
 - WHERE UNIDENTIFIED OBJECTS AND/OR INCONSISTENCIES ARE DISCOVERED, SUBMIT INFORMATION TO THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR RELATED WORK.
 - DEMOLITION SHALL BE DONE CAREFULLY SO AS NOT TO CAUSE DAMAGES. PROVIDE PROTECTION TO PREVENT DAMAGE TO ADJOINING PROPERTY, PROPERTY USERS AND OTHER IMPROVEMENTS. PROVIDE BARRIERS TO LIMIT DUST AND DEBRIS WITHIN THE IMMEDIATE CONSTRUCTION AREA. PATCH AND REPAIR EXISTING AS NECESSARY FOR SATISFACTORY COMPLETION OF ALL WORK.
 - ALL PATCH AND REPAIR WORK SHALL INCLUDE ENTIRE SURFACE FROM NATURAL BREAK TO UNNATURAL BREAK. CONSULT OWNER FOR LOCATIONS WHERE BREAKS UNCLEAR AND OBTAIN RESOLUTION PRIOR TO COMMENCEMENT OF WORK OR RELATED WORK.
 - MAKE ALL REPAIRS WITH MATERIAL EQUAL KIND AND QUALITY TO MATCH EXISTING ADJACENT SURFACES.
 - REPAIR OR REPLACE ANY DAMAGES CAUSED BY DEMOLITION AT NO INCREASE IN CONTRACT SUM.
 - CONTRACTOR SHALL MAINTAIN AND KEEP SITE CLEAN AND BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLISHED ITEMS AND DEBRIS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL INTEGRITY, PROPER FUNCTION, AND THE COMPLIANCE OF ALL CODES AND REGULATIONS OF THE RECONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR RECONSTRUCTION OF ALL SYSTEMS THAT MUST BE ADJUSTED DURING CONSTRUCTION AT NO INCREASE TO CONTRACT SUM. ALL SYSTEMS, THOSE RELATED TO WORK AND THOSE WHICH ARE PREVIOUSLY EXISTING, MUST BE FULLY FUNCTIONAL PRIOR TO COMPLETION OF WORK.
 - DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN IN DRAWINGS. THE INTENT OF THE DRAWINGS ARE TO INDICATE THE GENERAL SCOPE OF WORK REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION BOTH SHOWN AND INCIDENTAL TO PROPER COMPLETION OF WORK.
 - A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE DIVERSION, OR SALVAGE FACILITY PER CGC 4.408.

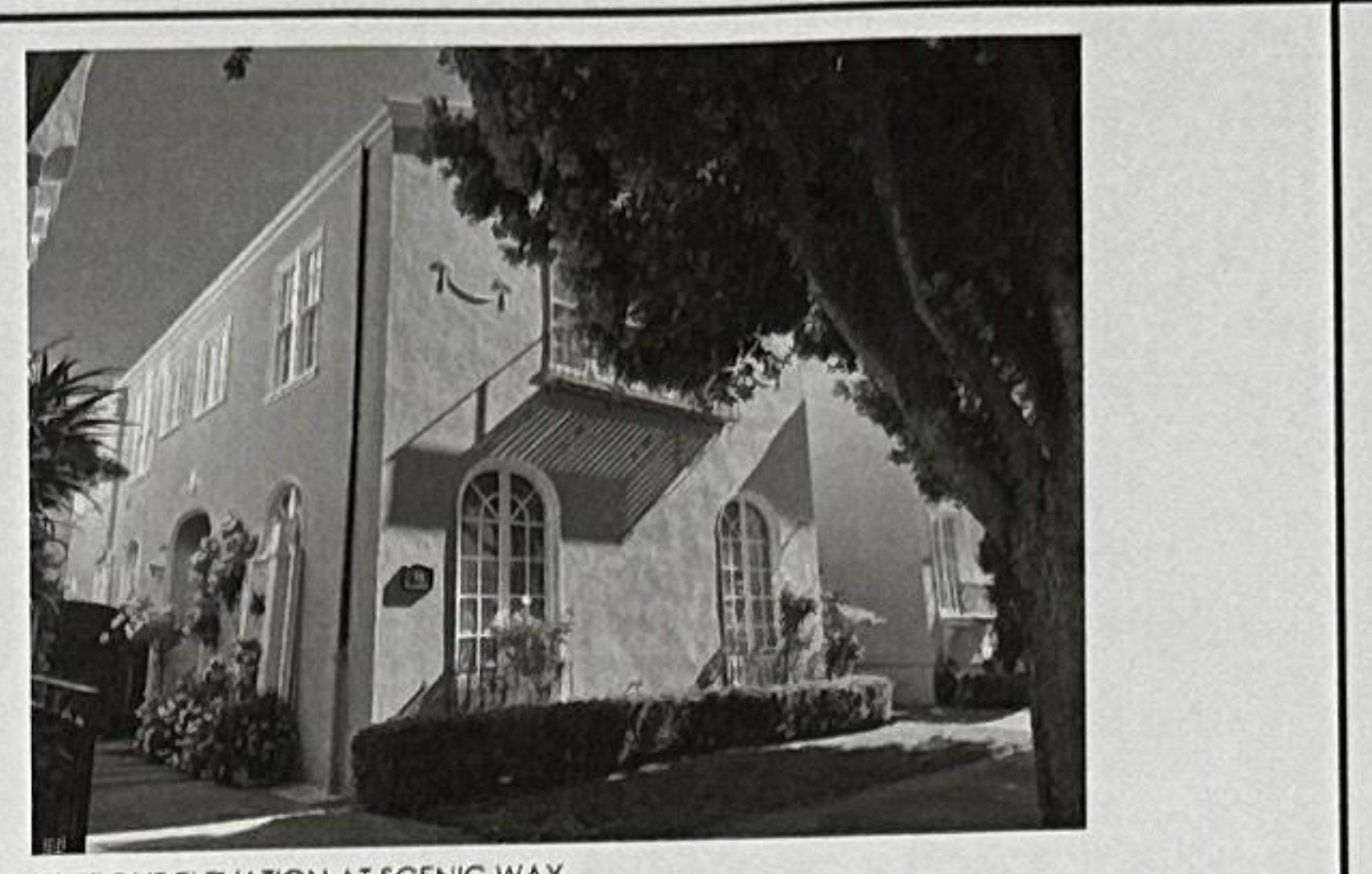
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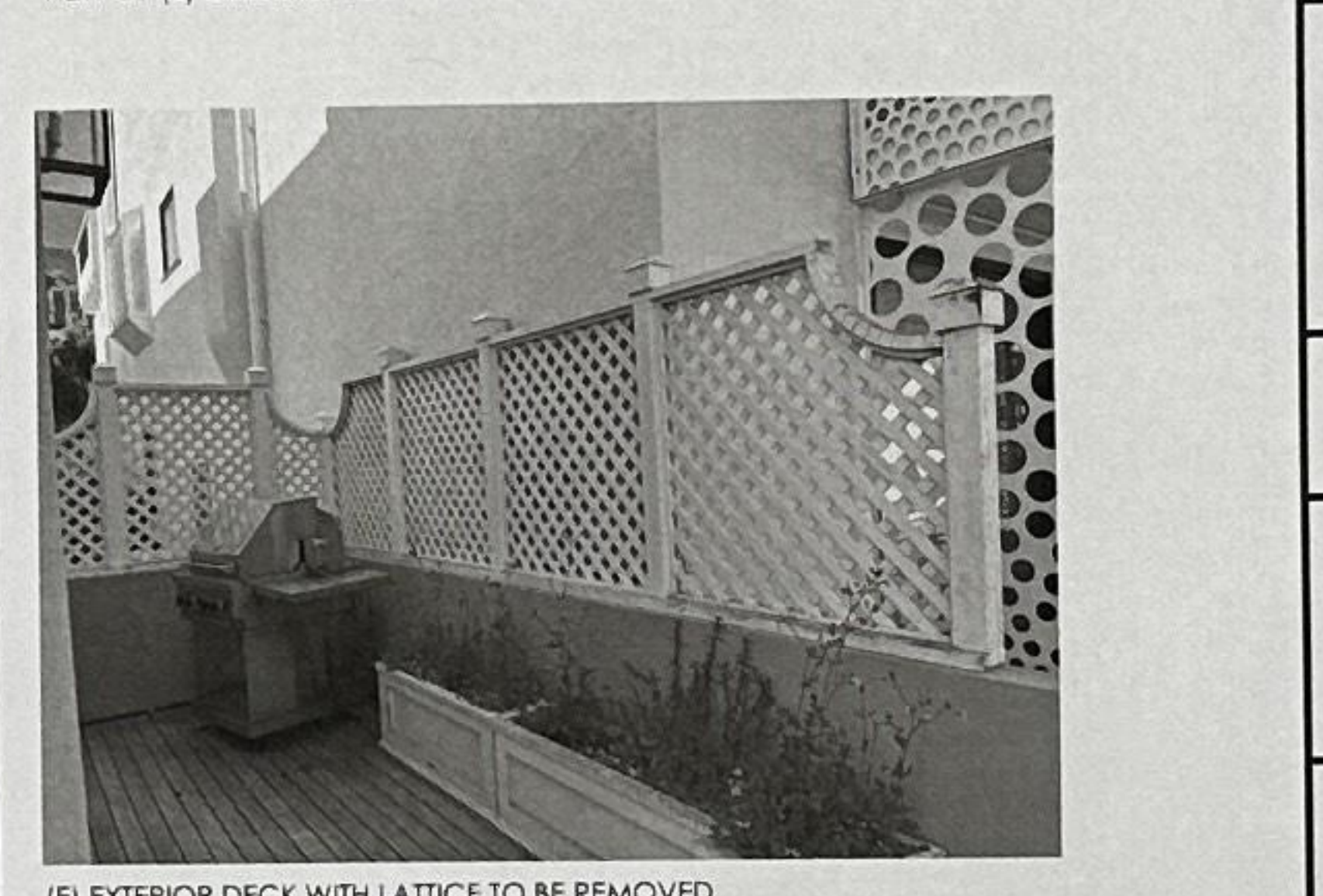
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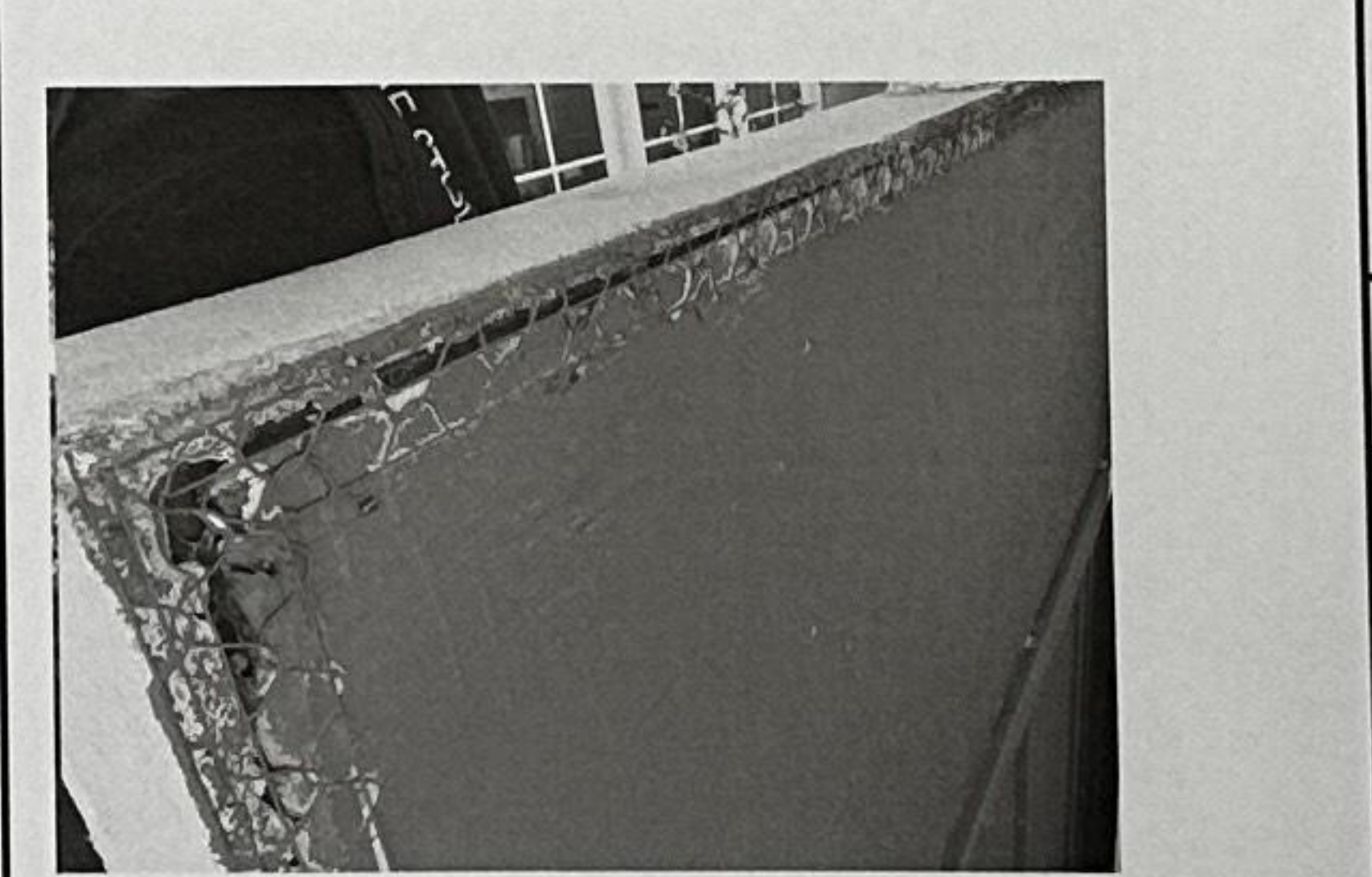
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PROJECT DESCRIPTION

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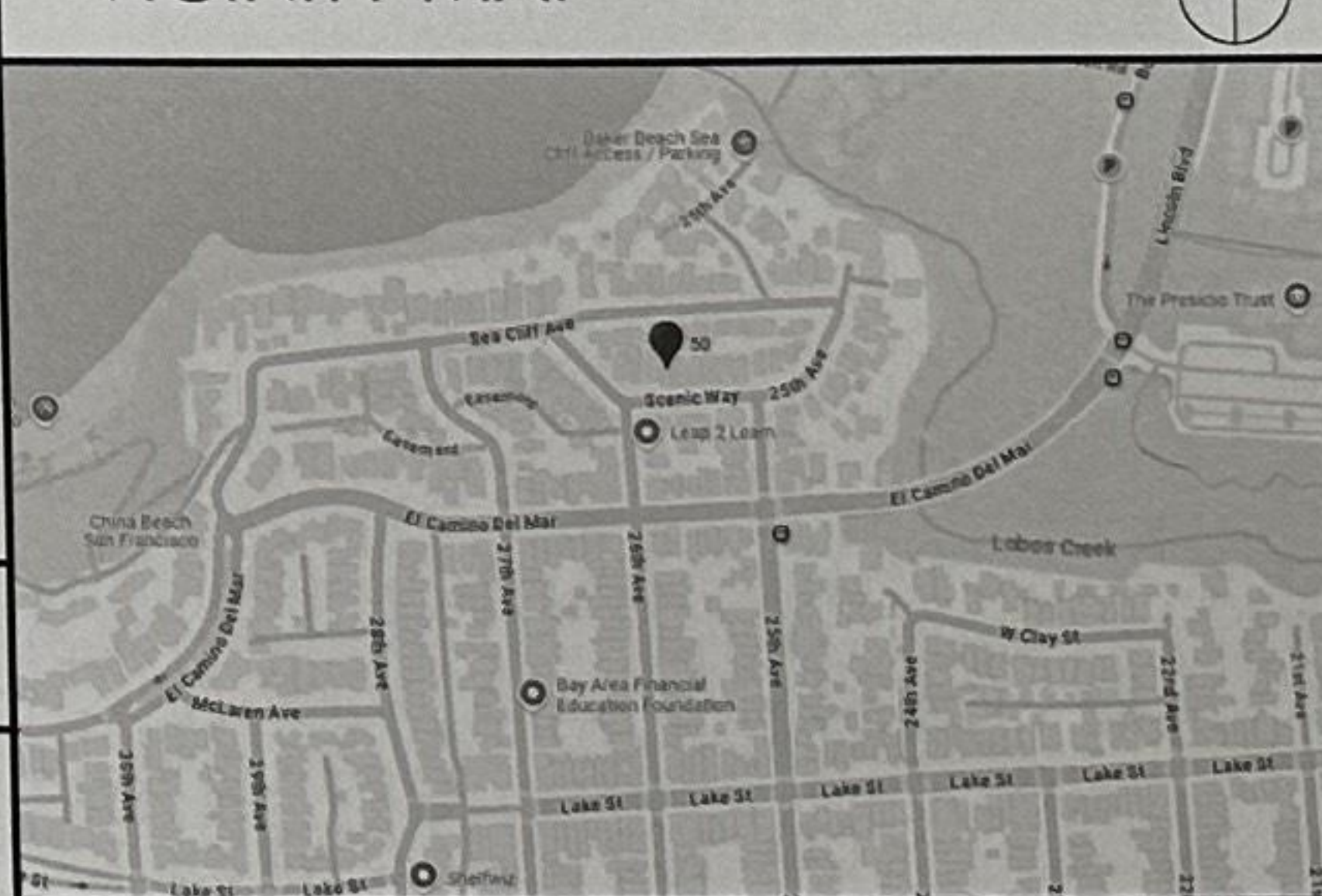
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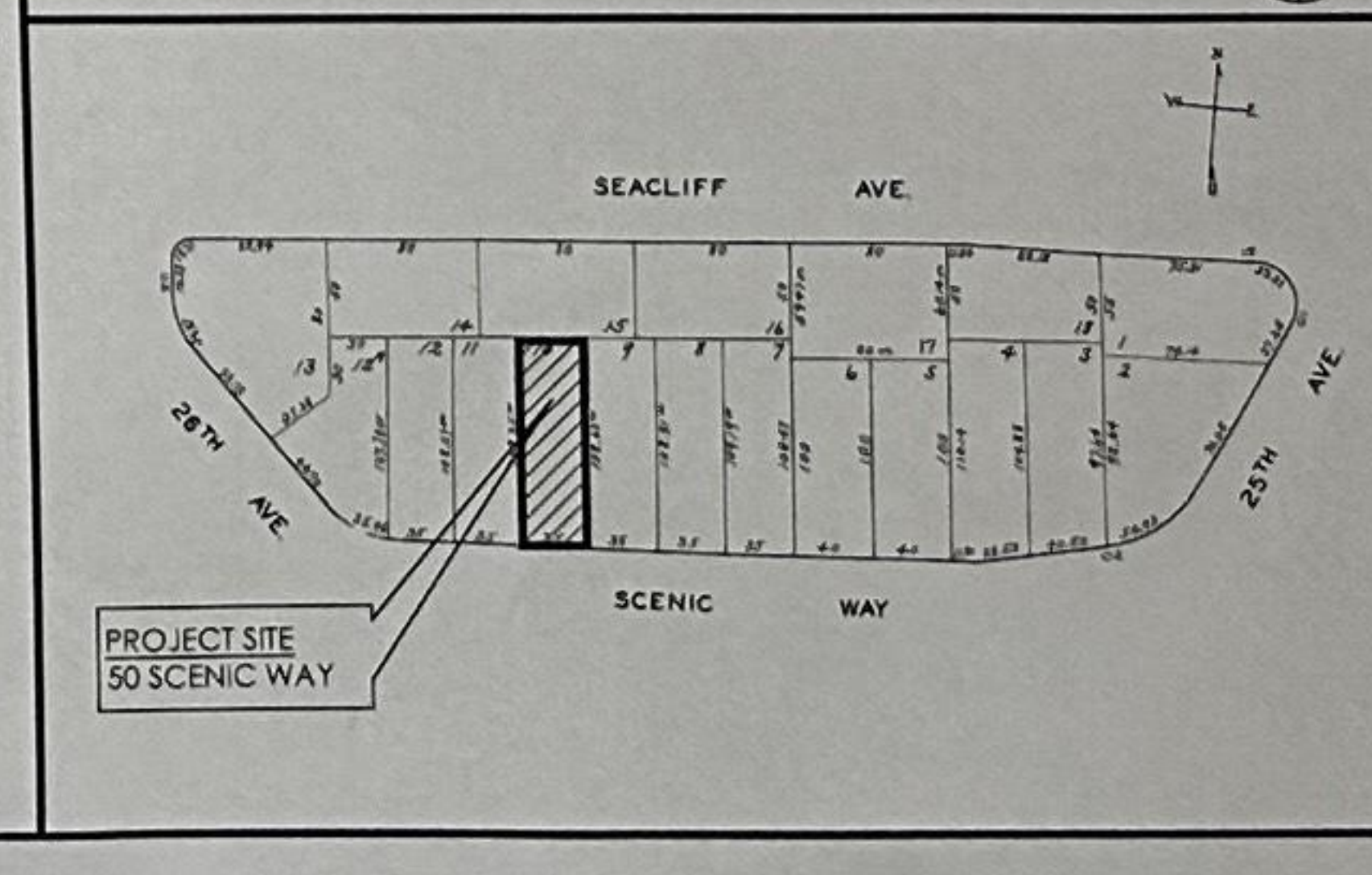
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ARCHITECTURAL
A0.0 COVER SHEET / EXISTING & PROPOSED FLOOR PLAN

VICINITY MAP



ASSESSOR MAP



COMPLAINT CORRECTION

50 SCENIC WAY

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