

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
JENNIFER DESIMONE,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **23-018**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on April 28, 2023, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on April 13, 2023 to John Ford and Wynn Taylor Ford, of a Site Permit (horizontal expansion to rear vertical expansion, add one floor; remodel interior including kitchen and general layout; add three bedrooms and two bathrooms at the new 3rd floor; add an ADU behind the existing garage at the 1st floor; new windows and cement plaster at front; new roof deck above 3rd floor) at 485-485A Day Street.

APPLICATION NO. 2020/11/17/9094

FOR HEARING ON June 7, 2023

Address of Appellant(s):

Address of Other Parties:

Jennifer DeSimone, Appellant(s) 489 Day Street San Francisco, CA 94131	John Ford, Wynn Taylor Ford, Permit Holder(s) c/o William Pashelinsky, Agent for Permit Holder(s) 1937 Hayes Street San Francisco, CA 94117
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Date Filed: April 28, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-018

I / We, **Jennifer DeSimone**, hereby appeal the following departmental action: **ISSUANCE** of **Site Permit No. 2020/11/17/9094** by the **Department of Building Inspection** which was issued or became effective on: **April 13, 2023**, to: **John Ford and Wynn Taylor Ford**, for the property located at: **485-485A DAY STREET**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **May 18, 2023, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org and billpash@gmail.com

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **June 1, 2023, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org and jenniferdesimone@gmail.com

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, June 7, 2023, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant or Agent:

Signature: Via Email

Print Name: Jennifer DeSimone, appellant

April 28, 2023

The Office of the Board of Appeals
49 South Van Ness
Suite 1475
San Francisco, CA 94103

To the Office of the Board of Appeals:

I am appealing the issuance of permit/application no. 202011179094.

The basis for this appeal is an identified problem in the structural plans.

Sincerely,

A handwritten signature in black ink that reads "Jennifer DeSimone". The signature is written in a cursive, flowing style.

Jennifer DeSimone
489 Day St
San Francisco, CA 94131

SITE PERMIT
 NOV 17 2020
 THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.
 BUILDING ENLARGEMENT
 VERTICAL DESCRIPTION
 HORIZONTAL
 VERTICAL
 HORIZONTAL
SFUSD
 2126 SF

APPROVED
 Dept. of Building Insp. - San Francisco
 APR 13 2023
 Patrick O'Riordan
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

Capacity Charge
 Water: \$ 1033
 Wastewater: \$ 2710
 68 12-13-22

BLDG. FORM 3/8
 APR 04 2023
 APPLICATION NUMBER 202011179094-S
 OSHA APPROVAL REQ'D
 APPROVAL NUMBER

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION

FORM 3 OTHER AGENCIES REVIEW REQUIRED
 FORM 8 OVER-THE-COUNTER ISSUANCE
 2 NUMBER OF PLAN SETS

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

DATE FILED NOV 23 2020	FILING FEE RECEIPT NO. 20116712	(1) STREET ADDRESS OF JOB 485-A 485 Day Street	BLOCK & LOT 1890/022 6640/007E
PERMIT NO. 23048818	ISSUED APR 13 2023	(2A) ESTIMATED COST OF JOB \$700,000	(2B) REVISED COST: BY: \$1,400,000 DATE: 2-21-23

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. 5B	(5A) NO. OF STORIES OF OCCUPANCY: 1	(6A) NO. OF BASEMENTS AND CELLARS: 1	(7A) DECENT USE: Single family dwelling	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS: 1
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DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. 5B	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS: 0	(7) PROPOSED USE (LEGAL USE) Single family dwelling with additional dwelling unit	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS: 2
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(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
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(14) CONTRACTOR Owner buider	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
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(15) OWNER - LESSEE (GROSS OUT ONE) JT Ford and Wynne Taylor Ford	ADDRESS 485 Day Street San Francisco, Ca. 94114	ZIP	BTRC#	PHONE (FOR CONTACT BY DEPT.) 415 310 0158
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(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

Horizontal expansion to the rear vertical expansion add 1 floor. Remodel interior including kitchen, and general layout. Add 3 bedrooms and 2 bathrooms at the new 3rd floor. Add an ADU behind the existing garage at the 1st floor. New windows and cement plaster at front. New roof deck above 3rd floor.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT 30'-6"	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA 1,654 SQ. FT.
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(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
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(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> William Pashelinsky 1937 Hayes Street San Francisco, Ca. 94117	ADDRESS	CALIF. CERTIFICATE NO. 11020
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(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") NA	ADDRESS
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IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.
 No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.
 Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.
 Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.
 ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.
 BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.
 APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).
 THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.
 In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.
 CHECK APPROPRIATE BOX
 OWNER ARCHITECT
 LESSEE AGENT
 CONTRACTOR ENGINEER

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.
 In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.
 I hereby affirm under penalty of perjury one of the following declarations:
 () I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 () II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
 Carrier
 Policy Number
 () III. The cost of the work to be done is \$100 or less.
 IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
 V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

William Pashelinsky
 Signature of Applicant or Agent

11.17.20
 Date



CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED: FEB 21 2023 PLAN REVIEW SERVICES, DEPT. OF BLDG. INSP.	DATE: _____ REASON: _____ NOTIFIED MR. _____
	APPROVED: <i>Application approved per plan. DR withdrawn.</i> APPROVED BY SYLVIA JIMENEZ SEP 22 2022 DEPARTMENT OF CITY PLANNING DEPARTMENT	DATE: _____ REASON: _____ NOTIFIED MR. _____
	APPROVED: SAN FRANCISCO FIRE DEPARTMENT	DATE: _____ REASON: _____ NOTIFIED MR. _____
	APPROVED: MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
	APPROVED: Calvin Hom, DBI FEB 14 2023 <i>PAD-STR SSPA ONLY.</i> CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
	APPROVED: SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (628) 271-2000 TO SCHEDULE By Kevin Li, SFPW/BSM 10/18/22 DEPT. OF PUBLIC WORKS	DATE: _____ REASON: _____ NOTIFIED MR. _____
	APPROVED: SFPUC Capacity Charges See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges. SFPUC Grace Imson 12-13-2022 PUBLIC UTILITIES COMMISSION	DATE: _____ REASON: _____ NOTIFIED MR. _____
	APPROVED: <i>BUF</i> APPROVED <i>Tree Plan Approved</i> <i>3/15/2023</i> <i>DH WORKS</i> DEPT. OF PUBLIC HEALTH / OCH (CROSS ONE OUT)	DATE: _____ REASON: _____ NOTIFIED MR. _____
	APPROVED: HOUSING INSPECTION DIVISION, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments

OWNER'S AUTHORIZED AGENT

Permit Details Report

Report Date: 4/27/2023 11:18:15 AM

Application Number: 202011179094
 Form Number: 3
 Address(es): 6640 / 007E / 1 485 DAY ST
 6640 / 007E / 0 485 DAY ST
 Description: HORIZONTAL EXPANSION TO REAR VERTICAL EXPANSION, ADD (1) FL. REMODEL I
 INCLUDING KITCHEN, GENERAL LAYOUT. ADD (3) BEDROOM & (2) BATHROOMS @
 3RD FL. ADD AN ADU BEHIND THE (E) GARAGE @ 1ST FL. (N) WINDOWS & CEMENT
 @ FRONT. (N) ROOF DECK ABOVE 3RD FL
 Cost: \$1,400,000.00
 Occupancy Code: R-3
 Building Use: 28 - 2 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
11/17/2020	TRIAGE	
11/17/2020	FILING	
11/17/2020	FILED	
4/4/2023	PLANCHECK	
4/4/2023	APPROVED	
4/13/2023	ISSUED	

Contact Details:

Contractor Details:

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description: SITE PERMIT

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CPB	11/23/20	11/23/20			11/23/20	SECONDEZ GRACE	
2	CP-ZOC	11/23/20	9/22/22	4/13/21		9/22/22	JIMENEZ SYLVIA	9/22/22: Application approved per updated plan withdrawn. Plans routed to DBI. SJ 03/18/21: As Stephanie Cisneros (both permit and ENV-HRD) Pending ENV-Historic Resource Determination I Project Application (PRJ) and plans requested vi
3	CP-NP	3/8/22	3/8/22			4/1/22	JIMENEZ SYLVIA	3/8/22: Emailed the 311 cover letter. (JL) 3/18/22 the 311 notice on 3/29/22; expires on 4/28/22. (Mailed the revised 311 notice on 4/12/22; expires 5/12/22. (JL)
4	BLDG	9/26/22	10/13/22	2/16/23	2/23/23	2/23/23	BARNES JEFF	Approved email to prperty owner John ford
5	PAD-STR	9/26/22	11/22/22	11/28/22		2/14/23	HOM CALVIN	11/28/22: Placed In Hold. Emailed applicant. See reports required per S-19 to determine Tier.
6	PAD-STR	2/14/23	2/14/23			2/14/23	HOM CALVIN	2/14/22: approved SSPA checklist. Tier II require review with G.E.
7	DPW-BSM	10/13/22	10/18/22			10/18/22	KEVIN LI	Approved SITE Permit only 10/18/22. ADDEND requirement(s) for sign off: Inspection Right-of-1 Conformity (final inspection). Download sideward application(s) at http://www.sfpdw.org/services/permits , forms and submit via email to BSMPermitDivision@sfdpw.org. Your building p addenda will be ON-HOLD until all necessary pe approved or the assigned BSM plan checker(s) m recommend sign off to the satellite office via ema Routed to BUF
8	DPW-BUF	11/17/22	11/17/22	11/17/22		3/16/23	HOFFMAN DANIEL	Tree plan approved. Job Card sign required for fi
9	SFPUC	11/28/22	12/13/22	12/13/22	12/14/22	12/14/22	IMSON GRACE	12/14/2022 - Permit has been assessed a Capacit DBI will collect. See Invoice attached to applicati 12/14/2022 - PDFs received. OUT HOLD for PU 12/13/2022 - Review completed. Route to PPC to until the PDFs will be received. * Please email the the Cover page, existing & proposed floor plans: . 2.01, A-2.02, A-2.03 to Gimson@sfdwater.org
10	CP-ZOC	2/23/23	3/7/23			3/7/23	JIMENEZ SYLVIA	3/7/23: Restamped plans; routed back to DBI. S.

Permit No.	Category	Start Date	End Date	Inspector	Issue Date	Description
11	CP-ZOC	3/17/23	3/21/23	JIMENEZ SYLVIA	3/22/23	Restamped plans; routed back to DBI. SJ
12	PERMIT-CTR	9/20/22	9/20/22	ESPINO HENRY	9/20/22	09/20/2022: Project received by Permit Center transferred to SF Planning Intake for review (CP-Applicants may contact pic@sfgov.org for further updates. -HE
13	CP-ZOC	3/27/23	3/28/23	JIMENEZ SYLVIA	3/28/23	Restamped sheet A1.03; routed back to DBI. SJ
14	PPC	3/22/23	3/22/23	WU TIFFFANY	3/30/23	3/30/23: To CPB. TW 3/27/23: To Planning to s A1.03. TW 3/22/23: Index needs to be updated to submitted sets. Plans on hold at PPC (49 SOUTH 5TH FL for applicant to make an appointment at yanping.wu@sfgov.org). TW 03/17/23: TO CP-Z MISSING STAMP ON SHEET A6.01. -CC 03/16/BLDG FOR MISSING STAMPS. -CC 3/16/23: Pic BUF from hold bin; kw 3/8/23: To hold bin pending approval; kw 02/23/23: TO CP-ZOC TO RESTAM A2.03, A4.04. -CC 2/14/23: To hold bin pending BUF. TW 12/14/22: To hold bin pending BLDG, BUF approvals; ST 12/13/22: To hold bin pending PAD-STR, BUF & SFPUC approvals; ST 11/28/20 SFPUC. TW 11/22/22: TO Calvin Hom's desk;me TO BSM;me 09/26/22: TO SITE permit bin #4;nt to DCP; am
15	CPB	3/30/23	4/4/23	CHAN AMARIS	4/13/23	4/13/23: SFUSD REQUIRE. 14 PAGES. SCOPE (MORE THAN ADU. FEE WAIVER NOT QUALIF AND PICK UP BY OWNER. AMARIS. 4/4/23: in 4/4/23: approved. SFUSD req'd. need to add an need payer info. emailed John Ford. gs 03/31/20 fee included to issuance fee.ay 03/31/2023: SFU sent for calculation, permit not ready to be issued 2/21/23: per owner request, notify him (John Fo permit is ready for issuance. gs

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

BRIEF SUBMITTED BY THE APPELLANT(S)

1 RYAN J. PATTERSON (SBN 277971)
2 BRIAN J. O'NEILL (SBN 298108)
3 PATTERSON & O'NEILL, PC
4 600 California Street, 11th Floor
5 San Francisco, CA 94108
6 Tel: (415) 907-9110
7 Fax: (415) 907-7704
8 ryan@pattersononeill.com
9 brian@pattersononeill.com

10 Attorneys for Jennifer DeSimone

11 **SAN FRANCISCO BOARD OF APPEALS**

12 JENNIFER DESIMONE,

13 Appellant,

14 v.

15 SAN FRANCISCO DEPARTMENT OF
16 BUILDING INSPECTION,

17 Respondent,

18 JOHN FORD AND WYNN TAYLOR
19 FORD,

20 Permit Holders.

BPA No.: 202011179094

Appeal No.: 23-018

Property Address: 485-485A Day Street

APPELLANT'S BRIEF

Date: June 7, 2023

Time: 5:00 p.m.

21 **I. INTRODUCTION**

22 Our office represents the Appellant, Jennifer DeSimone, a neighbor who lives at 489 Day
23 Street – directly adjacent to the subject property at 485 Day Street. The permit at issue consists of a
24 vertical and horizontal addition to an existing single-family residential building at 485 Day Street,
25 which will require new foundations along the property line with Appellant's property.

26 The Appellant does not oppose the project. However, the Appellant's structural engineer has
27 significant concerns about the structural and shoring details for the foundation work, including that
28 the proposed work will encroach onto her property and may undermine the foundation of her home.
The Appellant is hopeful that the parties can amicably resolve these issues, but she was not

1 provided an opportunity for her structural engineer to review the plans before the permit was issued
2 and had no choice but to file this appeal to ensure that her home is protected.

3 The Building Code prohibits a permit from being issued without the consent of the property
4 owner and also requires permit holders to protect adjoining property from damage during
5 construction. (Building Code §§ 106A.3.1; 3307.1.) This project proposes work on the Appellant's
6 property without her consent. Additionally, the shoring design failed to follow the project's own
7 geotechnical experts' recommendations, and therefore is inadequate to protect the Appellant's
8 home. The Permit Holders also failed to conduct exploratory work to determine the type of
9 foundation that is used under the Appellant's home, and thus there is no way to ensure that her
10 home will be adequately protected as required by the Building Code until a more thorough
11 investigation is complete.

12 The Appellant's structural engineer, Andrew Scott (License No. 61655), principal at
13 Degenkolb Engineering, has significant experience and expertise in property line construction
14 adjacency reviews. Mr. Scott has peer reviewed over 50 construction projects, including many
15 similar residential projects in San Francisco. (See **Exhibit B.**) Mr. Scott has reviewed the structural
16 and shoring plans for the project and determined that the plans must be revised to ensure that the
17 work does not encroach onto the Appellant's property without her permission, and to ensure her
18 foundation will not be compromised. (See **Exhibit A.**) Until that occurs, the permit should not be
19 issued. We therefore respectfully request that the Board grant the appeal and rescind the permit.

20 II. ARGUMENT

21 1. The Proposed Project Encroaches onto the Appellant's Property.

22 Building Code § 106A.3.1 states that in order to obtain a building permit, the applicant *shall*
23 submit an application that “[d]escribe[s] the land on which the proposed work is to be done” and is
24 “signed by the owner” of the subject property. In other words, a building permit cannot be issued
25 for work on a property without the owner's consent. Here, the subject permit approved work on the
26 Appellant's property without her permission.

27 At the front of the building, the structural drawings show that concrete walls will be placed
28 directly up to the property line. However, the shoring plans show that the concrete walls will be

1 placed against 3-inch-wide timber lagging, meaning the timber lagging will be placed entirely on
2 the Appellant's property. (See **Exhibit A**, p. 3.) Similarly, the shoring plans show that soldier
3 beams will be placed directly up to the property line at the rear of the property. However, the drill
4 shaft that will be used to install the soldier beams will drill into the Appellant's property. (See
5 **Exhibit A**, p. 4.) Moreover, the shoring plans acknowledge that drill shaft may be up to two inches
6 larger than shown on the drawings, and specifically states that any discrepancy in the drill shaft
7 should be extended further onto the *Appellant's* property rather than toward the Permit Holders'
8 property. (See **Exhibit A**, p. 3-4.) In short, the proposed project encroaches onto the Appellant's
9 property.

10 The Permit Holder has proposed to complete work that is on the Appellant's property
11 without permission. DBI does not have the authority to issue a permit for work on a property
12 without the owner's consent. Thus, this permit was issued in error. The Permit Holders must either
13 revise the plans to ensure that all of the work is completed on their property, or, alternatively, the
14 permit cannot be issued until the Permit Holders obtain the Appellant's permission.

15 **2. The Proposed Project Does Not Adequately Protect the Appellant's Property.**

16 Building Code § 3307.1 states, "Adjoining public and private property *shall be protected from*
17 *damage* during construction, remodeling and demolition work." Section 3307.1 specifically requires a
18 Permit Holder to provide protection "for footings, foundations, party walls, chimneys, skylights and
19 roofs." Here, the Appellant's consulting engineer has identified several issues with the plans that
20 demonstrate the project does not adequately protect the Appellant's home.

21 Shoring generally is used to prevent soil from settling and sliding, which can cause damage to
22 existing structures. Shoring is designed to resist pressure from soil in front of a wall, and the pressure
23 that soil creates is measured by per square foot per foot of depth, or pcf. A lower pcf means that the soil
24 is more prone to movement, and therefore a stronger shoring system is required. Here, the Geotechnical
25 Report recommends designing a shoring system utilizing a soil pressure measurement of 300 pcf.
26 However, the shoring calculations utilized a less-conservative soil pressure value of 450 pcf. (See
27 **Exhibit A**, p. 2.) In other words, the proposed shoring plans are inconsistent with the project's own
28 geotechnical recommendations, and the project proposes a shoring system that is less safe than the

EXHIBIT A

Memorandum

Date May 17, 2023

Job 489 Day Street, Review of Proposed
Adjacent Construction at 485 Day Street,
San Francisco CA

To Ms. Jennifer DeSimone/489 Day St.

Job Number C3425006.00

Mr. Brian O'Neill/Patterson & O'Neill,
PC

Subject Peer Review Comments

From Andrew Scott, SE 4809

Pages 4

Report:

We conducted a Peer Review of the Structural and Shoring Documents submitted for the proposed project at 485 Day Street in San Francisco, California.

The focus of our Peer Review is the protection of the existing adjacent building, improvements, and occupants at 489 Day Street. In the course of our Peer Review, we have exercised usual and customary professional care; however, the responsibility for the design, including Architectural, Structural, Shoring, Civil, Waterproofing, Drainage, Geologic, and Geotechnical designs, remains fully with the respective Professionals of Record on the project team.

Documents

We considered the following provided information:

- Report titled *GEOTECHNICAL REPORT AND GEOLOGIC HAZARDS EVALUATION, 485 DAY STREET, SAN FRANCISCO, CALIFORNIA 94131, SAN FRANCISCO ASSESSORS BLOCK 6640 LOT 007E*, 49 pages, prepared by Divis Consulting, Inc., dated January 30, 2023.
- Structural drawings, titled *ADDITION AND ALTERATIONS, 485 DAY STREET*, 8 sheets, S-series, prepared by Kevin O'Connor, Inc., dated 3/6/23.
- Shoring drawings, titled *ADDITION AND ALTERATIONS, 485 DAY STREET*, 4 sheets, SH-series, prepared by Kevin O'Connor, Inc., dated 3/6/23.
- Shoring calculations, titled *Structural Calculations for a temporary shoring plan*, 24 pages, prepared by Kevin O'Connor Inc., dated April 6, 2023.
- Drawings titled *Renovation and rear addition to: 489 Day Street, San Francisco, Addendum #1 for previously approved site permit #201412022840S*, 13 sheets, A-series and S-series, dated August 15, 2015.

Signed Andrew Scott, SE 4809

Copies to

Project Description

The proposed project at 485 Day Street consists of a vertical and horizontal addition to an existing single-family residential building. The proposed project will require new foundations along the property line with 489 Day Street. The local topography is moderately sloping down to the east with 489 Day Street on the uphill side of the project site.

489 Day Street is a single-family residential building. Per City records, 489 Day Street was constructed in 1924 and was renovated and expanded circa 2018, including foundation work. The structure is wood-frame construction over shallow concrete foundations.

Qualifications

Degenkolb Engineers is a local San Francisco firm that has significant experience and expertise in property line construction adjacency reviews, including many similar projects to this construction adjacency. We also provide Slope Protection Act reviews to Project Sponsors at the request of the San Francisco Department of Building Inspection. The CV for Andrew Scott, Principal, is attached. Andrew has been in responsible charge of over 50 construction adjacency reviews, many of which have been on similar residential projects in San Francisco.

Comments

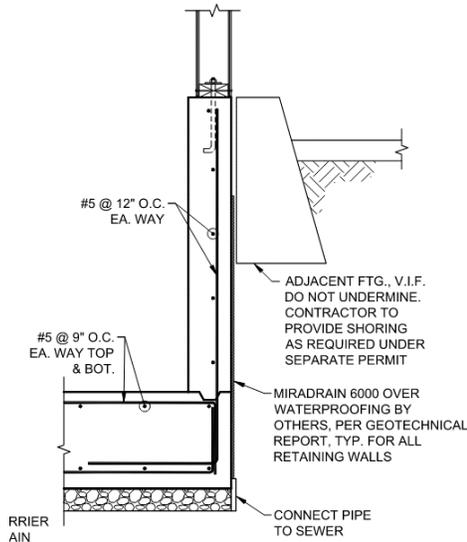
Based on our review of the Documents provided, we have the following Peer Review Comments.

1. Design Parameters. The Geotechnical report recommends a passive pressure of 300pcf, through the shoring calculations use a less-conservative value of 450 pcf. The higher value may result in additional deformation and potential movement of the adjacent structure. Please reconcile the Geotechnical recommendations and the shoring calculations.
2. Pantry Support. The structure at 489 Day has an elevated pantry that is supported on posts near the property line in the setback area (approximately 40-ft south of the front property line). The foundation under the posts may be localized spread footings on vulnerable surficial soils. If so, the procedure for sequential installation of retaining wall sections at 485 Day should be confirmed to maintain subjacent support for these localized footings. Furthermore, we recommend performing additional field exploration and specifically identifying these footings on the plans for appropriate representation of existing relevant conditions at the property line.

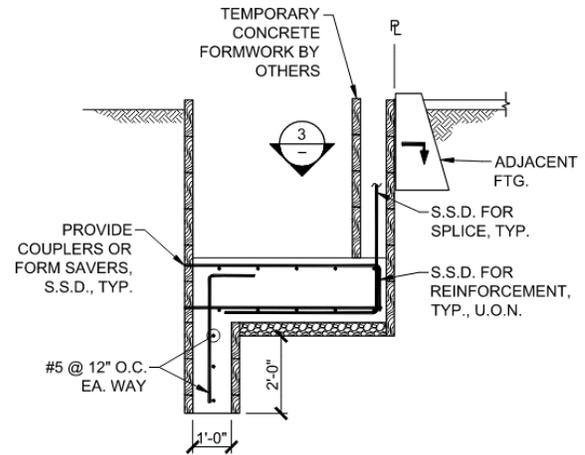
Signed Andrew Scott, SE 4809

Copies to

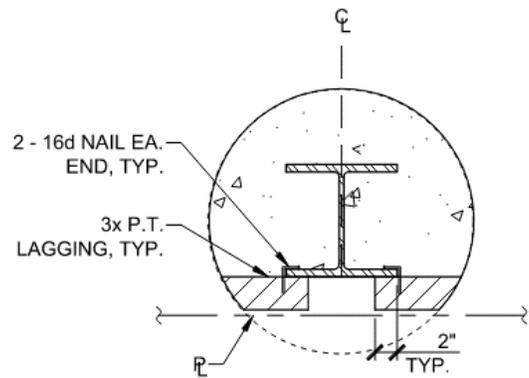
3. Lagging encroachment. The structural drawings indicate that the property line concrete walls will be placed against the property line. Reference detail B/S2.1 (below left). The shoring drawings indicate that the walls will be placed against 3x timber lagging. Reference Step 2, B/SH4 (below right) and 4/SH2 (further below right). This inconsistency implies that the lagging may be pushed to encroach on the adjacent property at 489 Day. It further implies that the lagging may directly undermine the existing property line footings at 489 Day and remove supporting soils.



SECTION (GL 3 BETWEEN A&E.5)
3/4" = 1'-0" B
-



SECTION B
STEP 2 NTS -



DETAIL 4
1" = 1'-0" -

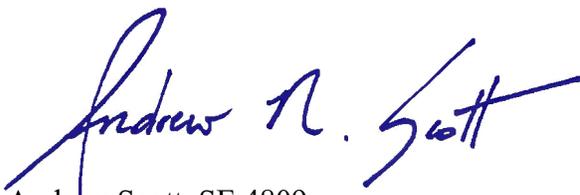
Signed Andrew Scott, SE 4809
Copies to _____

4. **Drilling Encroachment.** The soldier beam shafts at the rear portion of the property line are indicated to encroach on 489 Day. Reference detail 4/SH2 (above, bottom right previous page). The dashed line has been added to show the full circumference of the drill shaft (not shown on the original detail), which extends across the property line. Furthermore, based on the installation procedures on SH1, the drilling tolerance is up to 2" out, which implies that the encroachment may be larger than shown. We recommend reconciling the structural and shoring details with the architectural dimensions and confirming that the drill shafts will not encroach onto 489 Day, including with allowance for field installation tolerances.
5. **Footing Surcharge.** The shoring calculations include an adjacent footing surcharge, though the analysis parameters appear to indicate the footing is offset from the property line. This does not appear to be appropriate for the portion of the adjacency where both footings are along the property line (between Gridlines A and C per the shoring drawings; between Gridlines B and C per the structural drawings). We recommend reconciling the layout between structural and shoring drawings along the property line and then assessing the appropriate footing surcharge geometry in the calculations with corresponding updates to the drawings, as required.
6. **Survey.** We recommend clarifying that survey monitoring shall be part of the pre-construction inspection such that monitoring points are surveyed prior to the start of construction. We also recommend clarifying that points shall be surveyed (not just monitored).

Next Steps

We request a response package based on the above comments, including itemized responses and updated documents and calculations. If desired, we can participate in a conference call with the Project Team to expedite review and response to our comments.

If you have any questions or would like to discuss further, please contact us.



Andrew Scott, SE 4809
Office: 415-354-6409
Email: ascott@degenkolb.com



Signed 5/17/2023

Signed Andrew Scott, SE 4809
Copies to _____

EXHIBIT B

RESUME



Andrew N. Scott, SE

Principal

Education

B.S., Magna Cum Laude Structural Engineering, University of California, San Diego, 1997

M.S. Structural Engineering, University of California, San Diego, 1998

Professional Registration

California Structural Engineer, 2004 License No. 4809

California Civil Engineer, 2001 License No. 61655

Utah — Structural Engineer, 2009 License No. 7272327-2203

Qualifications

Andrew Scott joined Degenkolb in 1999 after receiving his Master of Science degree in Structural Engineering from the University of California, San Diego. Andrew's portfolio represents an interest in complex and challenging projects spanning the broad range of Degenkolb market sectors. He has particular interests in seismic strengthening and renovation of existing buildings, as well as excavation shoring, construction means and methods engineering, and construction phase project support. He has additional experience in new design, complex analysis, and peer review of concrete, steel, timber, masonry structural systems and excavation shoring systems. Andrew was also a member of the Degenkolb post-earthquake reconnaissance team that surveyed L'Aquila, Italy in April 2009.

Andrew N. Scott, SE

Principal

Litigation Support/Expert Witness

1043 Electric Ave, Insurance Claim

Perform Peer Review on documents available to-date, including report prepared by underwriter's Structural Engineer, Thornton Tomasetti. Attend meeting in-person in Virginia.

Jackson Rancheria Casino and Hotel, Litigation Support

The project began with the discovery of mold in several exterior walls. Soon after, one-third of the casino was closed due to concerns for long-span laterally-unbraced ceiling support beams. We joined the team and provided a second opinion that the ceiling beams were potentially hazardous and their design was deficient. We were subsequently hired to lead the continuing structural investigation that discovered numerous construction and design deficiencies. Over the next 3 years, we provided design services to correct these structural deficiencies along with litigation support services. Some programmatic upgrades were also incorporated to improve casino operations.

Confidential Multi-Housing Units

We were asked to join the Plaintiff's expert team after significant work had been performed to assess a materials deficiency. Materials used on the project were degrading at an unexpected rate, though degradation was hidden from view and Plaintiffs were not incurring present-day costs. We collaborated with the diverse expert team to perform a Structural Assessment of the conditions of the 300,000 square-foot facility, to clarify the Life-Safety implications of the degradation, and to establish a timeframe for potential Life-Safety hazards. In this regard, we processed the complex technical work of the expert team into a tangible, Code-based understanding of the claim. The claim subsequently settled after deposition.

Confidential Post-Tensioned Concrete Parking Garage

We supplanted prior engineering firms to bring closure to a number of outstanding issues related to the structural integrity of the existing 140,000 square-foot structure. The issues were potential Life-Safety hazards and needed to be addressed prior to selling the building. We performed an independent assessment, developed innovative testing and observation approaches, and then prepared a comprehensive expert report. We subsequently developed construction documents, to mitigate the deficiencies which were transferred to the new owners and we're hired by the new owners to implement the mitigation work.

1211 Embarcadero, Litigation Support

Provided full service litigation support related to failure of the stucco skin system on this recently completed structure.

Calisle v. Norris, Litigation Support

Provided litigation support and structural design related to property line support issues due to an adjacent construction project.

Azevedo v. Thomas Ward, Litigation Support

Provided litigation support for defense against construction defect claims for a recently completed custom residence.

2433 Franklin, Litigation Support

Providing litigation support for plaintiff against the landlord related to a garage expansion project in this existing building.

655 Sutter, Academy of Art, Litigation Support

Provided litigation support related to an adjacent excavation shoring project.

Strata Development, Peer Review and Litigation Support

Provided peer review and litigation support related to the excavation support for this new building adjacent to an existing hotel.

Law Offices of George W. Nowell

Expert Witness services related to structural damage and repair of an existing structure (pier).

Equity Residential

Renovation of existing buildings, including investigation and mitigation of fire damage and investigation and mitigation of Contractor-related foundation damage.

McNear's Beach Pier, Litigation Support

Provided full service litigation support, including Expert Witness deposition, related to the repair of an existing structure damaged by marine vessel impact. The case settled In favor of our client.



Andrew N. Scott, SE

Principal

Relevant Experience

Bishops Central Storage

Salt Lake City, Utah

New design of the 500,000 SF LDS Bishop Central Storehouse with a focus on seismic design. Facility includes bulk storage bays, racked storage bays, refrigeration/freezer bays, and administrative building.

Beehive Clothing

Salt Lake City, Utah

Seismic evaluation and strengthening of an existing 300,000 SF manufacturing facility. Including both Structural and Non-Structural elements using ASCE 31 and 41. The Performance Objective for the project is to return to operation shortly after a major seismic event.

VA San Francisco, Building 203

San Francisco, California

Seismic retrofit of the existing 336,000 square foot main medical center building to an Immediate Occupancy performance level. The building is four stories plus a basement and sub-basement.

VA San Francisco, Building 22

San Francisco, California

Design of new 14,000 square foot building. The structural system is light gauge metal.

VA San Juan, Seismic Corrections

San Juan, Puerto Rico

Seismic evaluation and upgrade of this existing 1960s acute care hospital. The building will remain occupied during construction.

Piilani Village

Kihei, Maui, Hawaii

Designed a panelized roofing system and provided construction administration support for 10 single story CMU buildings in a new commercial development.

UC Berkeley, Berkeley Art Museum and Pacific Film

Archive Berkeley, California

Provide construction means and methods engineering for the renovation of the University of California Press Building and the demolition of the Statewide Office Building parking structure, both located on the block bounded by Oxford, Addison, and Center Streets. Use elements of the new structure, installed in an appropriate sequence, to facilitate the construction means and methods. Work with BIM (Revit) to maximize our collaboration with the design team and will make our Revit model available for coordination.

Stanford Hospital + Clinics Lucile Packard Children's

Hospital Stanford, California

Provide a multi-phase approach to complex shoring design project. The first phase will be a Schematic Design study to understand the project constraints, establish the design criteria, and identify the potential shoring systems. The second phase will proceed with development of Construction Documents in close collaboration with the Design Assist Contractor. The third phase will support the construction project with Construction Administration services during construction.

Highland Hospital

County of Alameda, California

Currently a member of the design team for the rebuild of Highland Hospital, including development of structural drawings and calculations to comply with the applicable Codes of the County of Alameda.

Andrew N. Scott, SE

Principal

690 Market, Ritz-Carlton, Shoring and Means & Methods San Francisco, California

Provided construction means and methods engineering services related to partial demolition and adaptive reuse of this historic San Francisco structure. Prepared Construction Documents for temporary shoring and sequencing to remove all but the facade of this 12 and 16 story structure, excavate a new basement level and mat foundation, and build a modern steel frame building behind the existing facade. This challenging project required close coordination with the design team for the new structure as well as the construction team, and required safe support of both gravity and lateral loads at all stages of demolition and new construction. The project is a 2006 SEAOC award winner.

Presidio PHSH Adaptive Re-use, Construction Means & Methods

San Francisco, California

Provided construction means and methods engineering services for the adaptive re-use of the Public Health Service Hospital in the Presidio.

Old Tavern and Presbyterian Church Adjacent to Sutter Medical Center

Sacramento, California

Structural protection of two existing buildings due to construction at the adjacent medical center.

942 Market Street

San Francisco, California

Provided structural design and construction administration for the residential conversion of this historic office building, as well as construction means and methods engineering.

Carnegie Mellon University, Moffet Field

Sunnyvale, California

Seismic strengthening and adoptive re-use of an existing historic structure for use as a branch campus for the university of this existing building.

Walt Disney Museum, Seismic Strengthening San Francisco, California

Design strengthening schemes for four historic buildings located in the Presidio National Park land. The four buildings will be used as a museum to Walt Disney and supporting functions for the museum.

Historic Bank Building

Salt Lake City, Utah

Seismic evaluation and strengthening of this classic downtown Salt Lake City structure. Advanced analysis was used, in accordance with ASCE 31 and 41, to minimize the work necessary to achieve the desired performance objective. The structural costs, which were initially cost-prohibitive, were sufficiently reduced to allow the project to move forward.

Beresford Hotel, 635 Sutter St.

San Francisco, California

Performed a seismic evaluation and prepared construction documents to bring this unreinforced masonry building, located in San Francisco's historic hotel district, into compliance with the City's Unreinforced Masonry (URM) Ordinance.

40 Gold Street

San Francisco, California

Prepared a structural evaluation and designed the seismic strengthening and structural renovations of a four-story concrete building that was originally constructed around 1910. The scheme brought the building into compliance with the City of San Francisco requirements for existing buildings.

Andrew N. Scott, SE

Principal

St. Patrick's Seminary Menlo Park, California

Served as lead engineer for the Phase III construction, consisting of the Chapel and A wing buildings. This unique project consisted of seismically strengthening complicated historic unreinforced masonry buildings. Work consisted of adding a supplemental steel diaphragm in the Chapel attic, a series of new multistory shotcrete shearwalls, and anchorage connections throughout the buildings.

The Church of Jesus Christ Latter-day Saints, Granite Mountain Vault, Seismic Evaluation Alta, Utah

Seismically evaluate the Granite Mountain Vault complex. The evaluation includes structural, nonstructural, geological and geotechnical considerations. The complex is a series of lined tunnels excavated into the granite formation on the north side of a canyon. The complex contains large quantities of important information on a variety of storage media. There are corrosion issues at isolated locations on the tunnel lining.

800 Market Street, Means & Methods Engineering San Francisco, California

Provided construction means and methods engineering for temporary shoring and demolition work during the renovation and seismic strengthening of the existing building.

UC Berkeley CITRIS Building, Shoring Revisions Berkeley, California

Review and revise designs for shoring with regards to the redesigned building to proceed into construction.

Arpeggio of Berkeley, Peer Review Berkeley, California

Peer review of shoring and underpinning with a focus on protection of existing adjacent structures.

Davis Hall North University of California, Berkeley Berkeley, California

Provided full service structural engineering services related to the demolition of the existing Davis Hall North and excavation shoring for the new Davis Hall North Replacement. Prepared construction documents for temporary shoring bulkheads including both soldier beam and tieback systems and soil nail systems. This required close coordination with existing construction, including the building to be demolished, the existing adjacent buildings to remain, existing campus and City utilities, as well as the new building. Provided full service support to the project during construction.

Terrabay Condominiums South San Francisco, California

Structural design of a 50-foot tall permanent retaining wall to facilitate a flat building foundation on this steep hillside site.

Berkeley YMCA - Complete Seismic Upgrade Berkeley, California

Degenkolb Engineers has been providing consulting services to the Berkeley YMCA for the County of Alameda since the 1970s. The YMCA consists of a historic turn of the century unreinforced masonry building and a 1959 precast concrete structure. In the late 1980s, the YMCA embarked on a large scale improvement project for the complex that included seismic retrofit and construction of a new building. Degenkolb provided the consulting services for the seismic retrofit project, completed in 2001, and for various tenant improvement projects in the older buildings.

VA San Francisco, Building 22 San Francisco, California

Design of new 14,000 square foot addition. The structural system is light gauge metal.

Andrew N. Scott, SE

Principal

Berkeley YMCA - Complete Seismic Upgrade Berkeley, California

Degenkolb Engineers has been providing consulting services to the Berkeley YMCA for the County of Alameda since the 1970s. The YMCA consists of a historic turn of the century unreinforced masonry building and a 1959 precast concrete structure. In the late 1980s, the YMCA embarked on a largescale improvement project for the complex that included seismic retrofit and construction of a new building. Degenkolb provided the consulting services for the seismic retrofit project, completed in 2001, and for various tenant improvement projects in the older buildings.

First Church of Christ, Scientist, Renovations and Seismic Strengthening Berkeley, California

Degenkolb performed a seismic evaluation of this famous Bernard Maybeck structure in accordance with the State Historic Building Code (SHBC) and recommended seismic strengthening. The goal of our seismic strengthening scheme was to improve the life-safety performance of the building in a major earthquake. We implemented our scheme through phased design and construction administration services for the seismic strengthening of the First Church of Christ, Scientist.

St. Michael's Parish Livermore, California

Performed seismic strengthening design and construction administration for the retrofit of the Parish's large reinforced concrete church, as well as two smaller classroom buildings.

Church of Jesus Christ of Latter-day Saints Temple Oakland, California

Performed a detailed seismic evaluation using advanced analysis techniques and performance based earthquake engineering to minimize the required seismic strengthening.

Church of Jesus Christ of Latter-day Saints Temple Jordan River, Utah

Performed a detailed seismic evaluation using advanced analysis techniques and performance based earthquake engineering to minimize the required seismic strengthening.

Church of Jesus Christ of Latter-day Saints Temple Bern, Switzerland

Performed a seismic evaluation of the structural and nonstructural systems to assess the seismic risk of the building.

Church of Jesus Christ of Latter-day Saints Manufacturing Facility Salt Lake City, Utah

Seismic evaluation and recommended strengthening of an existing manufacturing facility, including both Structural and Non-Structural elements using ASCE 31 and 41. The Performance Objective for the project is to return to operation shortly after a major seismic event. We are working with the client to understand the overall vision of "operational" performance for the facility, including utility service, outside infrastructure, and workforce issues.

Department of Veterans Affairs (VA), Buildings 9,10,13 San Francisco, California

Seismic retrofit of multiple existing buildings on the campus.

A San Francisco, Building 203 San Francisco, California

Seismic retrofit of the existing 336,000 square foot main medical center building to an Immediate Occupancy performance level. The building is four stories plus a basement and sub-basement.

Andrew N. Scott, SE

Principal

VA San Juan, Seismic Corrections

San Juan, Puerto Rico

Seismic evaluation and upgrade of this existing 1960's acute care hospital. The building will remain occupied during construction.

First Church of Christ Scientist, 1700 Franklin Street

San Francisco, California

Feasibility study of seismic strengthening concepts of an unreinforced masonry building to comply with the City's UMB Ordinance.

UC Merced Sierra Terraces, Structural Peer Review

Merced, California

Peer reviewed the structural design and construction documents of a residential complex for the UC Merced campus.

Metropolis Development, Peer Review

Los Angeles, California

Peer Reviewed a 34 story high rise building to comply with the City of LA requirements for alternative design procedures.

Sunrise of Torrance, 25535 Hawthorne Boulevard, Peer

Review Torrance, California

Peer reviewed the design of a four-story assisted living facility.

San Jose Civic Center Peer Review

San Jose, California

Peer reviewed the San Jose Civic Center. The building program included an 18 story, 400,000 sq ft office building, a 13,000 sq. ft Rotunda dome, 93,000 sq. ft of council space and 160,000 sq. ft of parking. The structural systems include concrete and steel framing with steel moment resisting frames, steel eccentrically braced frames and concrete shear walls to resist seismic loads.

2770 Green Street,

San Francisco, California

Provided consulting for the owners of a property to inspect whether the building was damaged.

1455 Market, Adjacent Construction at 1411 Market

Street,

San Francisco, California

Provided a review for the excavation shoring at the new condo project adjacent to the owner's building. The adjacent property includes shoring along the shared property line.

1693 Market Street, Adjacent Construction at 1699 Market

Street,

San Francisco, California

Supported client in developing and negotiating Licensing Agreement between two structures for temporary easement to install tiebacks under the building. Performed a technical review of the available documents as it related to excavation shoring along the property line between the two buildings.

221 Main Street, Adjacent Construction at 160 Folsom

Street,

San Francisco, California

Supported a client team in developing and negotiating a License Agreement to add a third building, which is a high-rise adjacent to 221 Main Street, which required excavation shoring that included tiebacks under 221 Main Street. Performed a technical review of the available documents related to excavation shoring along the property line. The review focused on protecting the existing structure at 221 Main Street, giving consideration to excavation, tiebacks, dewatering, vulnerability of exterior site and the unique challenges of the soils in the area.

Andrew N. Scott, SE

Principal

945 Bryant, Adjacent Construction at 975 Bryant, San Francisco, California

Performed an evaluation along the property line with 945 Bryant. 945 Bryant is a 3-story commercial building with a surrounding surface parking lot and a drive aisle along the property line with 975 Bryant. 975 Bryant is a new multi-story residential development.

180 Grand Garage, Adjacent Construction at 2300 Valdez, Oakland, California

Conducted a primary Peer Review of all available documents for adjacent construction with an itemized list of comments, as appropriate, and periodic observation of construction progress during critical stages of construction, with a focus on below-grade construction adjacent to the Garage footings

2520 Regent Street, Adjacent Construction at 2539 Telegraph, Berkeley, California

Reviewed the excavation shoring, construction logistics, new building, and advising regarding design and construction for a 70-unit multi-story development. Work included observing the construction to monitor progress and advise regarding any follow-up items, such as repairs to the adjacent 3-story residential structure.

Promenade Apartments, 1455 4th Street, Santa Monica, California

Peer reviewed the shoring and structural documents related to the shoring of an adjacent building.

Old Tavern and Presbyterian Church, Adjacent Construction at Sutter Hospital, Sacramento, California

Provided structural protection of two existing buildings due to construction at the adjacent medical center.

Andrew N. Scott, SE

Principal

Licensing Agreements / Peer Review of Adjacent Construction

390 Fremont, Adjacent Construction at 340 Fremont, San Francisco CA

Consulted to Owner of 390 Fremont, an existing historic concrete structure, relative to protection of existing improvements and negotiation of a Licensing Agreement with the adjacent construction project. Provided Peer Review of adjacent excavation shoring, developed Monitoring Program and worked directly with Owner's Attorney to finalize Licensing Agreement. Project resulted in successful execution of an Agreement, a productive working relationship between adjacent Owners, minimal damage to 390 Fremont and completed construction of the adjacent residential tower at 340 Fremont.

1525 Pine Street, Adjacent Construction at 1545 Pine Street, San Francisco, CA

Consulted to HOA of 430 Hayes Street, an existing multi-unit residential structure during enforcement of a previously executed Licensing Agreement. Provided construction period monitoring of construction and consultation related to repair of minor damage.

430 Hayes Street, Adjacent Construction at 450 Hayes, San Francisco CA

Consulted to HOA of 430 Hayes Street, an existing multi-unit residential structure during enforcement of a previously executed Licensing Agreement. Provided construction period monitoring of construction and consultation related to repair of minor damage.

915 Folsom Street, Adjacent Construction at 923 Folsom Street, San Francisco, CA

Consulted to Owner of 915 Folsom, an existing multi-unit residential building constructed circa 1920, relative to protection of existing improvements and negotiation of a Licensing Agreement with the adjacent construction project. Project resulted in execution of a Licensing Agreement, successful protection of 915 Folsom and completed construction of the adjacent structure.

3986 20th Street, Adjacent Construction at 3984 20th Street, San Francisco CA

Consulted to Owner of 3986 20th Street, an existing single family home, relative to adjacent construction on a steep sloping site. Project included replacement of existing shallow foundations along the property line with a retaining wall for basement expansion. Project resulted in successful protection of 3986 20th Street and completed construction of the adjacent structure.

14 Laidley, Slope Protection Act Review, San Francisco

Performed third-party review of proposed construction as required by San Francisco Department of Building Inspection relative to the Slope Protection Act for this steep hillside residential development

Highland Hospital, Acute Tower Replacement Project, Oakland CA

Developed Monitoring Program for historic structures adjacent to Acute Tower Replacement Project in response to EIR-required Cultural Resources Mitigation Measures. Program include a Vibration Control Plan, a Crack Control Plan and Pre-Construction Condition Survey. The program was implemented and the adjacent Tower project was completed with minimal impacts to the adjacent historic structures.



Andrew N. Scott, SE

Principal

**San Francisco PUC Bay Division Pipeline Reliability
Upgrade Project,
San Francisco Bay Area, CA**

Historic Resource Protection for existing historic resources along 20 miles of new large-diameter pipeline placement, including adjacent cut/cover and tunneling operations. Scope included Peer Review of adjacent construction and development of vibration and deformation monitoring plans for existing historic structures.

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

San Francisco Board of Appeals
BPA No.: 202011179094
Appeal No.: 23-018

I. Introduction

My Name is John T. Ford. My wife and I own 485 Day Street. I am attempting to resolve this without my Attorney Tom Tunny who I engaged for the Discretionary Review that the appellant initiated in September 2022. It sure does feel like the appellant opposes the project. Nonetheless I will gladly work with her.

I used Kevin O'Connor as my structural engineer. Not only is a good man but he is very experienced & well qualified. He came highly recommended. We have a geotechnical engineer too. Kevin has wide latitude to resolve these relatively minor discrepancies with my neighbor. He has had very productive conversations with their engineer which I fully encourage.

II. Argument

That is a very interesting title for the second Section. There is no argument on my part. I want these issues resolved by our engineers. I do not want to encroach on my neighbor's property line or anywhere near her property. Although the drawings show work at the property line, neither of us have conducted a site survey. Rest assured, I will hire a surveyor before any work is done at 485 Day St. and we will ensure that no work is done that touches her property.

Her attorney claims that our plan does not adequately protect the appellant's property. Again, Kevin O'Connor and Andrew Scott will resolve these issues and I full faith in my engineer. DBI has approved the proposed work. The existing house at our property is very run down. I am hoping to improve my neighbor's structural conditions and improve the values in the neighborhood. The appeal does not identify any error in the issuance of the permit or any grounds to overturn it.

III. Conclusion

If the appellant is willing to discuss this then we will work to resolve all issues and hopefully render the meeting in front of the Board on June 7 moot. We will gladly and amicably revise the plan as needed and look forward to resolution.

Respectfully,

John T. Ford, CFA

485 DAY STREET

ADDITION AND ALTERATIONS
485 DAY STREET
SAN FRANCISCO, CA.

SUBJECT SITE PERMIT APPROVAL IS SUBJECT TO THE REVIEW AND APPROVAL BY INDEPENDENT DESIGN REVIEWER PERFORMING HEIGHTENED REVIEW BEFORE CONSTRUCTION BEGINS WITH THE ISSUANCE OF THE FIRST CONSTRUCTION ADDENDUM

WILLIAM PASHELINSKY ARCHITECT
1937 HAYES STREET
SAN FRANCISCO, CA 94102
415 379 3878



ADDITION AND ALTERATIONS
485 DAY STREET
SAN FRANCISCO, CA.

Calvin Hom, DBI
FEB 14 2023

GENERAL NOTES:

INTENT OF DOCUMENTS:

It is the intent of these Contract Documents to establish a high quality of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of the work without additional cost to the Owner. All materials and methods of installation shall be in accordance with industry standards and manufacturers recommendations.

A. All materials and workmanship shall conform to the requirements of the following codes and regulations and any other local and state laws and regulations:

CBC and San Francisco Building 2019 Edition
CBC and San Francisco Fire Code 2019 Edition
CBC and San Francisco Plumbing Code 2019 Edition
CBC and San Francisco Electrical Code 2019 Edition
CBC and San Francisco Mechanical Code 2019 Edition

- Verify all existing conditions and dimensions at the project site. Notify the Architect and/or Engineer of any discrepancies before beginning construction.
- B. Provide adequate and proper shoring and bracing to maintain safe conditions at all times. The contractor shall be solely responsible for providing adequate shoring and bracing as required for protection of life and property during the construction of the project.
- C. At all times the Contractor shall be solely and completely responsible for all conditions at the jobsite, including safety of persons and property, and all necessary independent engineering reviews of these conditions. The Architects jobsite reviews are not intended nor shall they be construed to include a review of the adequacy of the contractors safety measures.
- D. Unless otherwise shown or noted, all typical details shall used where applicable.
- E. All details shall be construed typical at similar conditions.
- F. All Drawing conflicts shall be brought to the attention of the Architect and/or Consulting Engineer for clarification before work proceeds.
- G. The Contractor shall supply all labor, materials, equipment and services, including water and power, necessary for the proper execution of the work shown on these drawings. All materials shall be new and workmanship shall be good quality. All workman and subcontractors shall be skilled in their trade. Any inspections, special or otherwise, that are required by the building codes, local builing departments, on these plans shall be done by an independent inspection company.
- H. Finishes: Replace patch, repair and refinish all existing surfaces affected by the new work. All new finishes shall match the adjacent surface. all surfaces shall align.
- I. The General Contractor shall visit the site and familiarize themselves with the existing site conditions prior to finalizing of any proposal to the owner. The general Contractor shall be responsible to inform the owner or Architect of potential existing conditions that need to be addressed and or modified in order to complete the work as herein described in these Drawings.
- J. The General Contractor shall be responsible for all means and methods of construction including but not limited to leveling, shimming, and blocking. The General Contractor shall make specific note of such items that can not be known prior to the commencement of construction.

ABBREVIATIONS:

@	AT	HGT./HT.	HEIGHT
CL	CENTERLINE		
Ø	DIAMETER OR ROUND	INSUL.	INSULATION
(E)	EXISTING		
(N)	NEW	MFG.	MANUFACTURING
(R)	REPLACE	MAX.	MAXIMUM
		MTL.	METAL
		MIN.	MINIMUM
AFF	ABOVE FINISH FLOOR	O.C.	ON CENTER
BM.	BEAM		
BLDG.	BUILDING	PR.	PAIR
		PKT.	POCKET
		P.T.	PRESSURE TREATED
CBC	CALIFORNIA BUILDING CODE	REF.	REFRIGERATOR
CLR.	CLEAR	REQ'D	REQUIRED
CLOS.	CLOSET	REQ'T	REQUIREMENT
CONC.	CONCRETE	RTG.	RETAINING
		R & S	ROD AND SHELF
		RM.	ROOM
DECK'G	DECKING		
DET.	DETAIL	SIM.	SIMILAR
DIA.	DIAMETER	S.C.	SOLID CORE
DISP.	DISPOSAL	SQ. FT.	SQUARE FOOT/FEET
DW.	DISHWASHER	STOR.	STORAGE
DR.	DOOR	STRUCT.	STRUCTURAL
DBL.	DOUBLE		
DN.	DOWN		
DRWGS.	DRAWINGS		
D	DRYER		
		TEMP.	TEMPERED
EA.	EACH	TRANS.	TRANSPARENT
		TYP.	TYPICAL
F	FAHRENHEIT		
FIN.	FINISH	U.O.N.	UNLESS OTHERWISE NOTED
F.R.	FIRE RATED		
FLR.	FLOOR		
FT.	FOOT OR FEET	V.I.F.	VERIFY IN FIELD
FR.	FRENCH		
FURN.	FURNISH	W	WASHER
FURR.	FURRING	WH.	WATER HEATER
		WP	WATERPROOF
		WDO.	WINDOW
		W/	WITH
		WD.	WOOD
GA.	GAUGE		
GL.	GLAZING		
GYP.	GYP SUM		
GYP.BD.	GYP SUM BOARD		

DRAWING SYMBOLS

- 101 DOOR NUMBER
- 201 WINDOW NUMBER
- 101 SKYLIGHT NUMBER
- 1 DRAWING REVISION
- 1 6.02 DETAIL NUMBER AND DRAWING REFERENCE
- 1 ITEM NUMBER
- 0'-0" GRADE
- PL PROPERTY LINE
- 1 3.01 ELEV. NO. DRAWING REFERENCE

DRAWING INDEX:

- 11x17 SSPA CHECK LIST
- A 1.01 GENERAL NOTES, SCOPE OF WORK, AND DRAWING INDEX
- A 1.02 SITE PLAN
- A 1.03 DEMOLITION ANALYSIS
- A 2.01 FLOOR PLANS
- A 2.02 FLOOR PLANS
- A 2.03 FLOOR PLANS
- A 3.01 EXTERIOR ELEVATIONS
- A 3.02 EXTERIOR ELEVATIONS
- A 3.03 EXTERIOR ELEVATIONS
- A 3.04 EXTERIOR ELEVATIONS
- A 4.01 BUILDING SECTION
- PH-1 PHOTOS
- PH-2 PHOTOS
- R 1.01 3D VIEWS
- R 1.02 3D VIEWS

A 6.01 window schedule
2.21.23

SFPUC - Please be advised
Your plans and fixtures count indicate a larger water meter is required. Please apply for a water meter upgrade at SFPUC New Service Installations, 525 Golden Gate Ave, 2nd Floor, San Francisco, CA 94102. Tel: (415) 551-2900.

Capacity Changes Water Meter
1939-
ST 12-19-22
2.13.2024
SFPUC
Grand Street

PROJECT INFORMATION:

BLOCK: 1890
LOT: 022

OCCUPANCY:
EXISTING: R-3
PROPOSED: R-3
BUILDING TYPE
EXISTING: 5 B
PROPOSED: 5A
EXISTING: 1 RESIDENTIAL UNIT
PROPOSED: 1 RESIDENTIAL UNIT
WITH AN ADDITIONAL DWELLING UNIT
EXISTING: 1 STORY OVER GARAGE
PROPOSED: 3 STORIES

ZONING RH-1

SCOPE OF WORK:

HORIZONTAL EXPANSION TO THE REAR
VERTICAL EXPANSION ADD 1 FLOOR
REMODEL INTERIOR INCLUDING BATHROOMS, KITCHEN, AND GENERAL LAYOUT.
ADD AN ADU BEHIND THE EXISTING GARAGE

Calvin Hom, DBI
FEB 14 2023

RECEIVED
OCT 13 2022
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARDS FOR MARKING ACCEPTED

PAD - STILL ONLY
SSPA DETERMINATION
SEE ATTACHED SSPA CHECKLIST.

EXISTING				
FLOOR	GARAGE/STORAGE	UNIT 1	UNIT 2	TOTAL
1ST FLOOR	932 SF	0		932 SF
2ND FLOOR	0	1,128 SF		1,128 SF
TOTAL	932 SF	1,128 SF		2,060 SF

PROPOSED				
FLOOR	GARAGE/STORAGE	UNIT 1	UNIT 2	TOTAL
1ST FLOOR	378 SF	121 SF	1,155 SF	1,654 SF
2ND FLOOR	0	1,367 SF	0	1,367 SF
3RD FLOOR	0	998 SF	0	998 SF
TOTAL	378 SF	2,486 SF	1,155 SF	4,019 SF

APPROVED
Dept. of Building Insp.
San Francisco
APR 13 2023
PATRICK GORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION



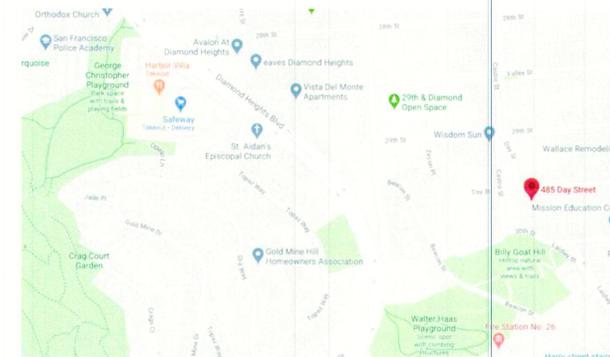
AGREEMENT DRAWINGS 9.6.22

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2	9.6.22	PLANNING REV
3	9.16.22	PLANNING REV

PROJECT NO. 2020.13
SHEET

A-1.01



VICINITY MAP

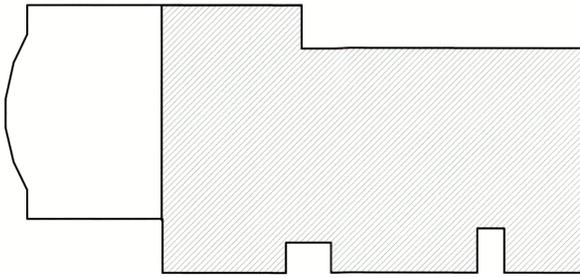
Bureau of Urban Forestry
APPROVED
Tree plan approved
3/16/2023

SFPW/BSM SIGN OFF ON JOB CARD
REQUIRED PRIOR TO DBI FINAL
CALL (628) 271-2000 TO SCHEDULE

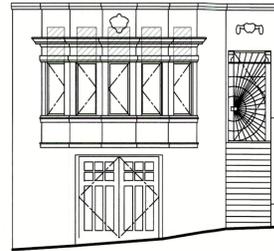
By Kevin Li
SFPW/BSM
10/19/22

APPROVED BY STEVEN JIM...
SEP 2 2 2022

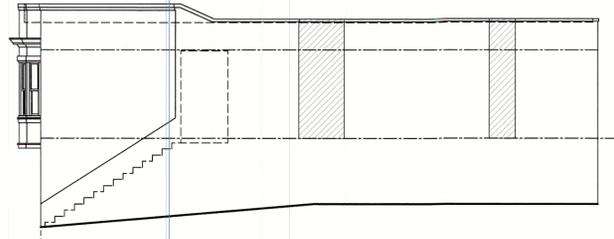
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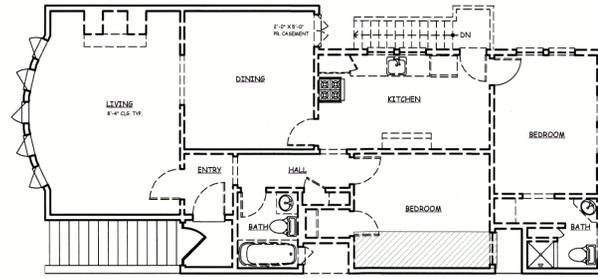
2ND FLOOR PLAN (E)
1/4"=1'-0"



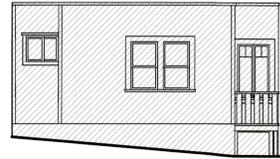
NORTH ELEVATION (E)
1/4"=1'-0"



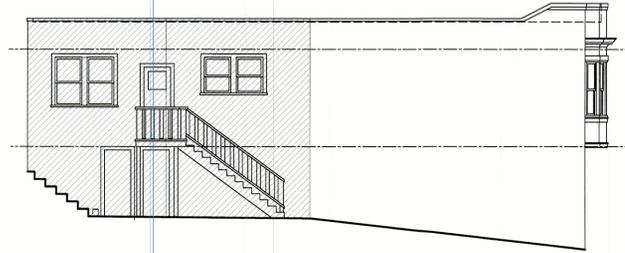
WEST ELEVATION (E)
1/4"=1'-0"



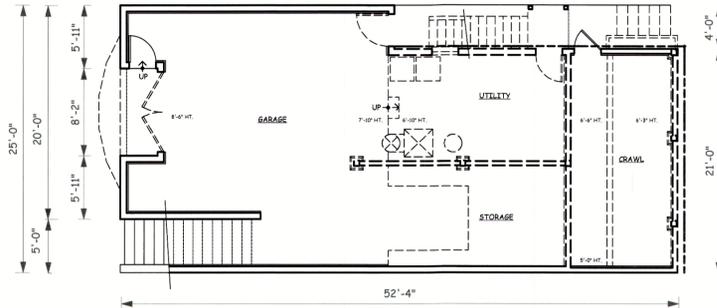
2ND FLOOR PLAN (E)
1/4"=1'-0"



SOUTH ELEVATION (E)
1/4"=1'-0"



EAST ELEVATION (E)
1/4"=1'-0"



1ST FLOOR PLAN (E)
1/4"=1'-0"

DEMOLITION ANALYSIS PER SECTION 317 OF THE SAN FRANCISCO PLANNING CODE

VERTICAL ELEMENTS

ELEVATION	EXISTING	DEMOLISH	PERCENT
NORTH	548 SQ FT	25 SQ FT	
SOUTH	338 SQ FT	338 SQ FT	
FRONT/REAR	886 SQ FT	363 SQ FT	41%
EAST	1,008 SQ FT	478 SQ FT	
WEST	940 SQ FT	75 SQ FT	
TOTAL	3,720 SQ FT	916 SQ FT	24%

24% DEMOLITION VERTICAL ELEMENTS

HORIZONTAL ELEMENTS

FLOOR	EXISTING	DEMOLISH	PERCENT
2ND FLOOR	1,128 SQ FT	45 SQ FT	
ROOF	1,128 SQ FT	856 SQ FT	
TOTAL	2,256 SQ FT	901 SQ FT	40.0%

40% DEMOLITION HORIZONTAL ELEMENTS

FOOR PRINT

ELEVATION	EXISTING	DEMOLISH	PERCENT
NORTH	25'-0" LF	0 LF	
SOUTH	25'-0" LF	25'-0" LF	
EAST	69'-8" LF	26'-7" LF	
WEST	69'-8" LF	0 LF	
TOTAL	154'-8" LF	51'-7" LF	33%

33% DEMOLITION PERIMETER ELEMENTS AS TAKEN FROM THE FOUNDATION LEVEL

LEGEND

- EXISTING TO REMAIN
- DEMOLISH
- FOUNDATION TO BE DEMOLISHED

DEMOLITION ANALYSIS



WILLIAM PASHELINSKY ARCHITECT
1937 HAYES STREET
SAN FRANCISCO, CA. 94117
415 379 3676
billpash@gmail.com

ADDITION AND ALTERATIONS
485 DAY STREET
SAN FRANCISCO, CA.



Patrick O'Riordan
DIRECTOR
DEPT. OF BUILDING INSPECTION



William Pashelinsky

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NO.	DATE	DESCRIPTION

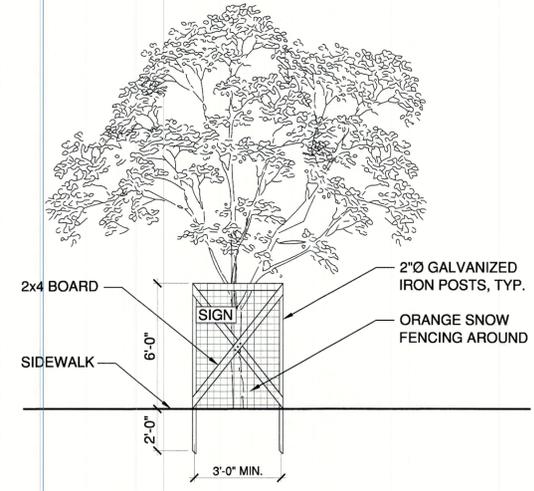
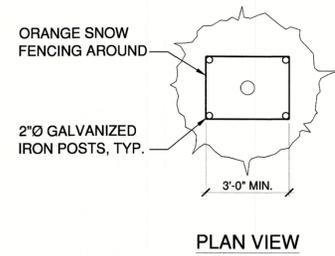
PROJECT NO. 2020.13
SHEET

WALL LEGEND

- EXISTING WALL:
- DEMOLISH:
- NEW INTERIOR 1 HR WALL:
- FIRE RATED 5/8 TYPE X GYP BD
EA SIDE OVER 2 X4 WOOD STUDS @
16" O.C. U.O.N. (SEE STRUCT)
- UL DES U305,U314
- NEW INTERIOR WALL:
- GYP BD EA SIDE OVER
2 X4 WOOD STUDS @
16" O.C. U.O.N. (SEE STRUCT)
- NEW EXTERIOR 1 HR WALL:
- WD SIDING OVER BLDG PAPER
OVER FIRE RATED 5/8 TYPE X GYP BD
OVER PLYWD SHEATHING
2 X6 WOOD STUDS @ 16" O.C. U.O.N.
INT 5/8" TYPE X GYP BD
UL DES U305,U314
- NEW EXTERIOR 1 HR BLIND WALL:
- P.T. PLYWOOD WD OVER BLDG PAPER
OVER FIRE RATED 5/8 TYPE X GYP BD
2 X6 WOOD STUDS @ 16" O.C. U.O.N.
SEE STRUCT. 5/8" TYPE X GYP BD @ INT.
UL DES U305,U314
- NEW EXTERIOR NON RATED WALL:
- WD SIDING OVER BLDG PAPER
OVER PLYWD SHEATHING
EA SIDE 2 X6 WOOD STUDS @
16" O.C. GYP BD @ INT
AT FRONT CEMENT PLASTER
MET LATH OVER 2 LAYERS FELT PAPER
OVER PLYWD SHEATHING OVER
2 X 6 WD STUDS @16" O.C.

PLUMBING/HEATING NOTES

1. ALL NEW DRAINS, WAISTES, AND VENTS TO BE CAST IRON.
2. DWELLING SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70 DEGREES F. AT A POINT 3 FEET ABOVE THE FLOOR IN ALL HABITABLE ROOMS.
3. ALL NEW WATER CLOSETS SHALL USE A 1.28 GALLONS/FLUSH MAX. PER STATE HEALTH AND SAFETY CODE.
4. AT TUB AND SHOWER PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVE CONTROLS. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MFG. INSTRUCTIONS TO DELIVER A MAX. MIXED WATER SETTING OF 120 DEGREE F. THE WATER HEATER THERMOSTAT SHALL NOT BE A SUITABLE CONTROL FOR THIS PROVISION.
5. PRIOR TO COMMENCEMENT OF CONSTRUCTION VERIFY FLUE LOCATION FOR WH & FURN TO PROVIDE VENT AS REQ'D BY CBC
6. PROVIDE PLATFORM FOR W.H. MIN. 18" A.F.F. (IF REQUIRED)
- SEISMIC STRAPPING OF W.H. (REQUIRED)
STRAP W.H. WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIM.
STRAP AT THE LOWER POINT SHALL BE INSTALLED 4" ABOVE W.H. CONTROLS
7. ALL BATHROOMS TO HAVE EXHAUST FANS CAPABLE OF PROVIDING A MINIMUM OF 5 AIR CHANGES PER HOUR. FANS TO EXHAUST TO EXTERIOR.
8. BATHROOM AND KITCHEN EXHAUST FANS IF RUN VERTICALLY TO BE 3'-0" MIN FROM PROPERTY LINE.
9. NEW DUCTWORK IN GARAGE TO BE 26 GA SHEET METAL OR PROVIDE FIRE DAMPERS.
10. FURNACE AND WATER HEATER FLUES TO BE A MIN OF 4'-0" FROM PROPERTY LINE.
11. GAS VENT TERMINATION SHALL MEET REQUIREMENTS OF CMC 802.6 & SFMC 802.6.2
12. COMBUSTION AIR SHALL MEET REQUIREMENTS OF CMC CHAPTER 7
13. DOMESTIC RANGE HOOD SHALL MEET REQUIREMENTS OF CMC 504.2 AND COMPLY W/ CMC 403.7
14. UPPER CABINETS SHALL BE MIN 30" ABOVE COOKING TOP PER CMC 916.1.2
15. PROVIDE THE COOKING APPLIANCES MIN CLEARANCE TO COMBUSTIBLE MATERIALS PER CMC 916.1.1.
16. CLOTHES DRYER EXHAUST SHALL BE MIN 4". TERMINATE TO THE OUTSIDE OF THE BUILDING SHALL BE EQUIPPED W/ BACK DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.3. PROVIDE 100 SQ IN MIN MAKEUP AIR OPENING FOR DOMESTIC DRYERS.
17. DIRECT VENT APPLIANCES PER CMC 802.2.4 (PER MFG INSTALLATION INSTRUCTIONS) AND SFMC 802.6.2
18. PROVIDE 200 SQ IN VENT OUTLET AT GARAGE DOOR OF AT GARAGE WALLS PER SFBC 406.3.3



1 STREET TREE PROTECTIVE FENCE
SCALE: 1/4" = 1'-0"

BUF
APPROVED
DA 3/16/2023

WILLIAM PASHELINSKY ARCHITECT
1937 HAYES STREET
SAN FRANCISCO, CA 94117
415 379 3676

ADDITION AND ALTERATIONS
485 DAY STREET
SAN FRANCISCO, CA.

APPROVED
Dept. of Building Insp.
- San Francisco -
APR 13 2023
PATRICK WOODRAN
DIRECTOR
DEPT. OF BUILDINGS INSPECTION

LICENSED ARCHITECT
WILLIAM PASHELINSKY
C-11020
9-30-23
RENEWAL DATE
STATE OF CALIFORNIA
With Pashelinsky

RECEIVED
FEB 21 2023
DEPT. OF BUILDINGS INSPECTION
THIS PLAN MEETS THE QUALITY STANDARDS FOR MARKING ACCEPTED

RECEIVED
FEB 15 2023
DEPT. OF BUILDINGS INSPECTION
THIS PLAN MEETS THE QUALITY STANDARDS FOR MARKING ACCEPTED

APPROVED BY SYLVIA BARNES
FEB 21 2023

APPROVED BY SYLVIA BARNES
MAR 9 7 2023
PLANNING DEPARTMENT

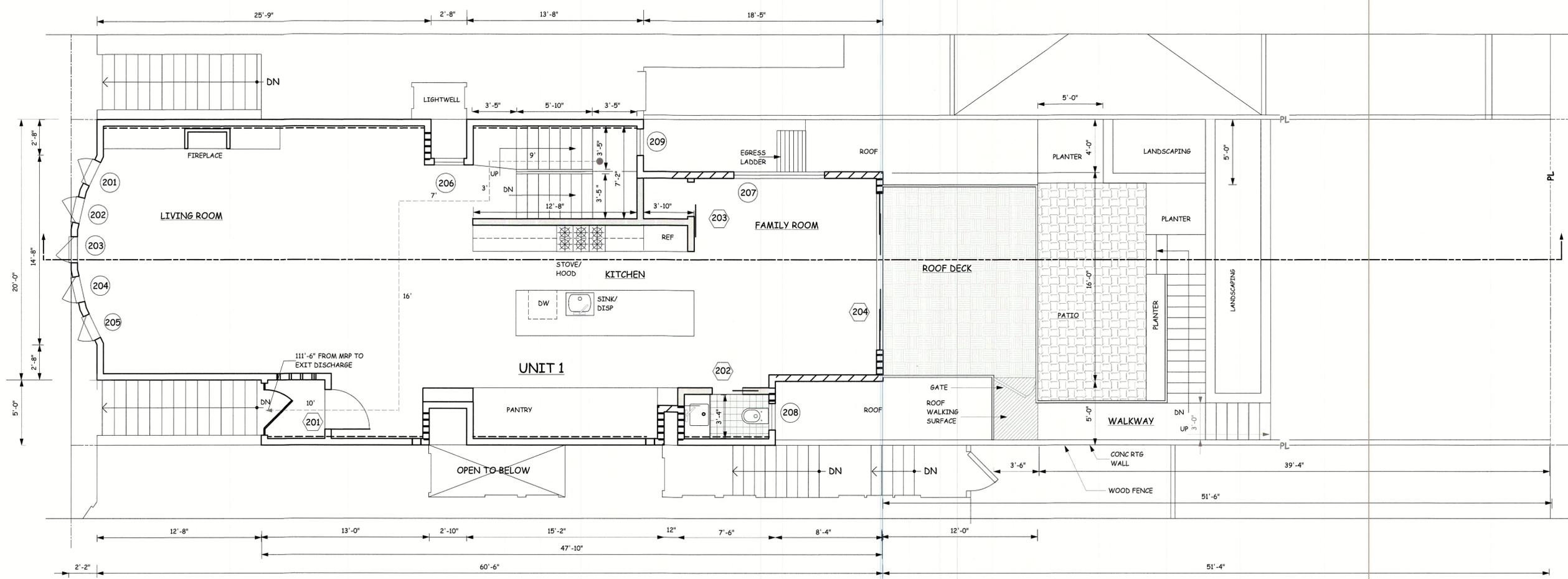
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NO.	DATE	DESCRIPTION
5	07.8.22	DBI REV

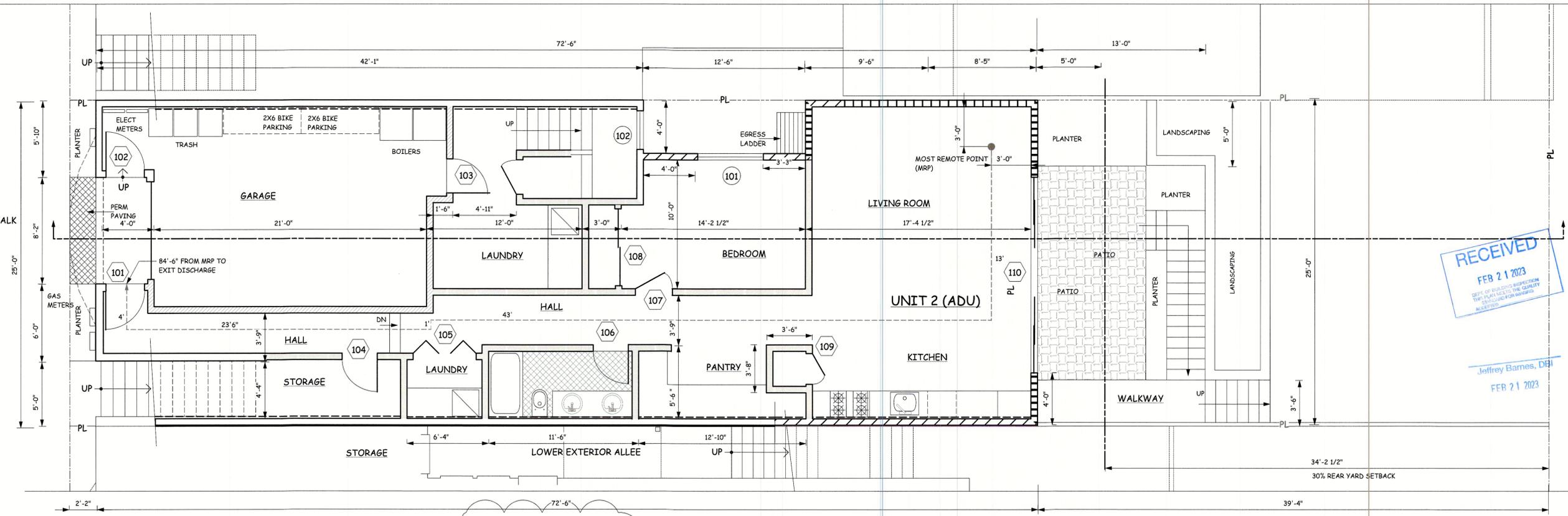
PROJECT NO. 2020.13
SHEET

A-2.00

ADDITION AND ALTERATIONS
 465-A
 485 DAY STREET
 SAN FRANCISCO, CA.



2ND FLOOR PLAN (N)
 1/4"=1'-0"



1ST FLOOR PLAN (N)
 1/4"=1'-0"

APPROVED
 Dept. of Building Insp.
 - San Francisco -
 APR 13 2023
 PATRICK O'BRIEN
 DIRECTOR
 DEPT. OF BUILDING INSPECTION



AGREEMENT DRAWINGS
 9.6.22

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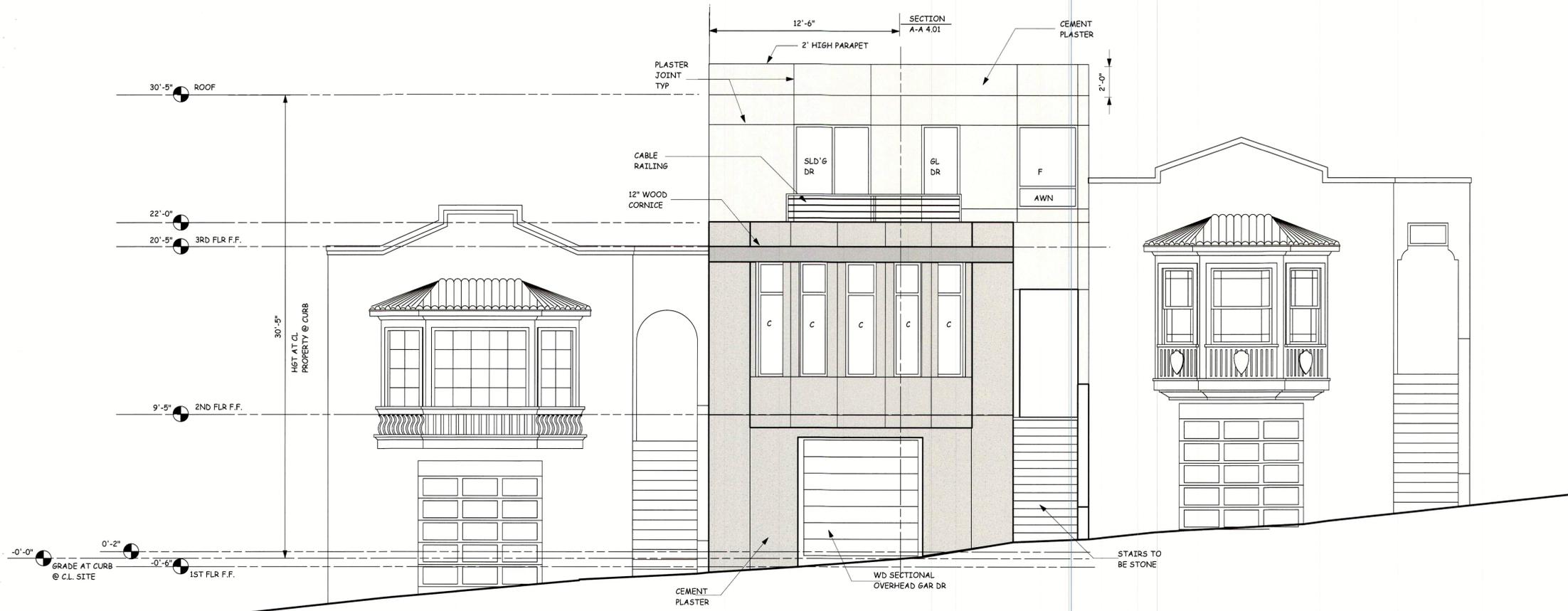
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 FEB 21 2023
 DEPT. OF BUILDING INSPECTION
 THE PLAN REVIEWER'S QUALITY
 IS GUARANTEED FOR MAJOR
 ACCEPTANCE

Jeffrey Barnes, DBI
 FEB 21 2023

APPROVED BY SYLVIA JOHNSON
 MAR 6 2023
 PLANNING DEPARTMENT

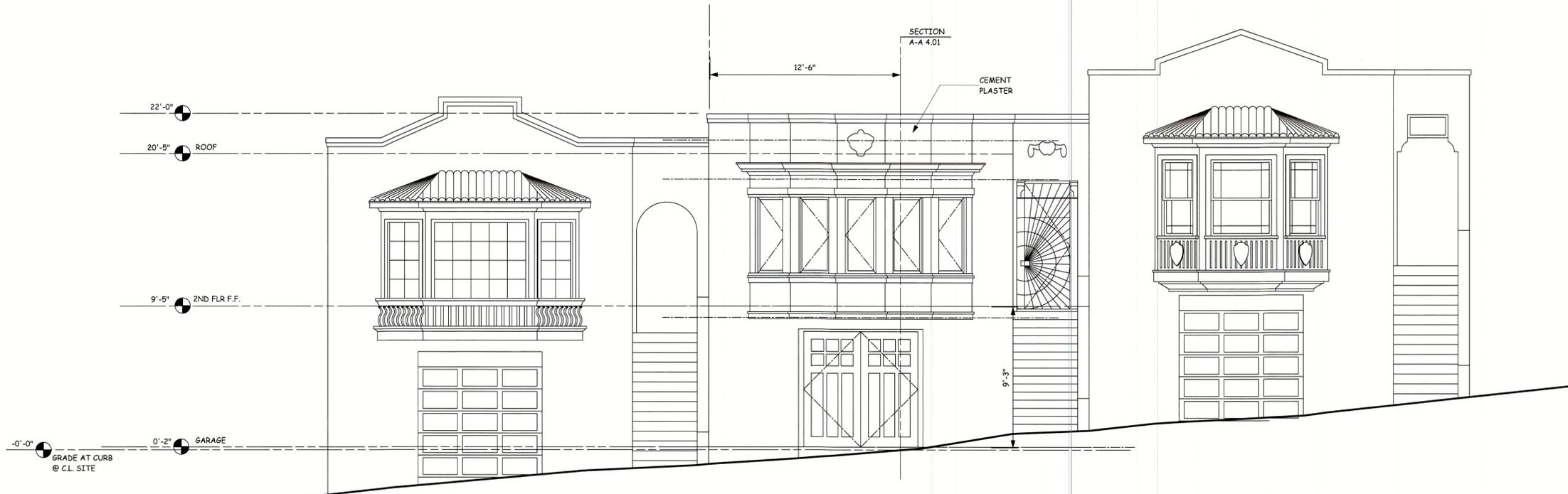
ADDITION AND ALTERATIONS

485-A
 485 DAY STREET
 SAN FRANCISCO, CA.



NORTH ELEVATION (E)
 1/4"=1'-0"

NOTE: CEMENT PLASTER TO BE SMOOTH FINISH TYPICAL



NORTH ELEVATION (E)
 1/4"=1'-0"

APPROVED
 Dept. of Building Insp.
 - San Francisco -
 APR 13 2023

RECEIVED
 OCT 13 2022
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE SAFETY STANDARDS FOR IMAGERY
 ACCEPTED



AGREEMENT DRAWINGS
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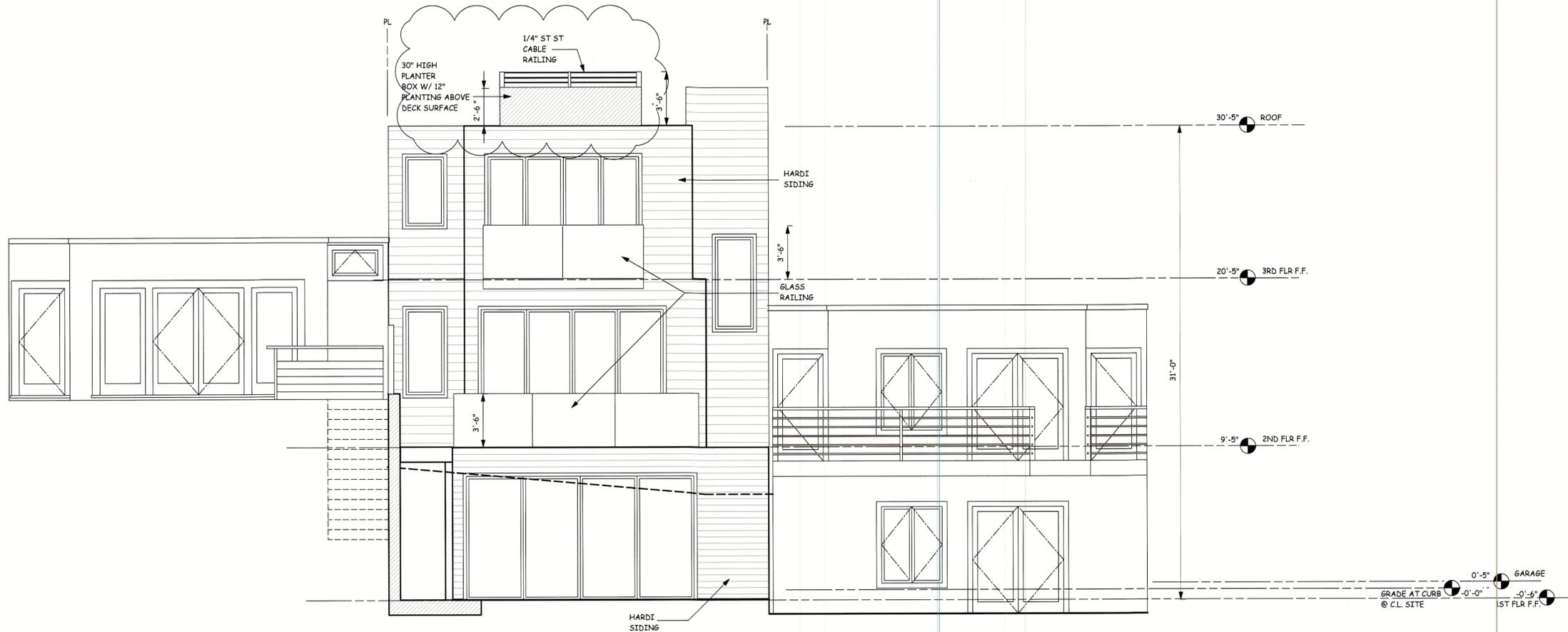
Approved by
 Jeffrey Barnes, DBI
 FEB 21 2023

APPROVED BY SYLVIA JIMENEZ
 SEP 2 2 2022
 PLANNING DEPARTMENT

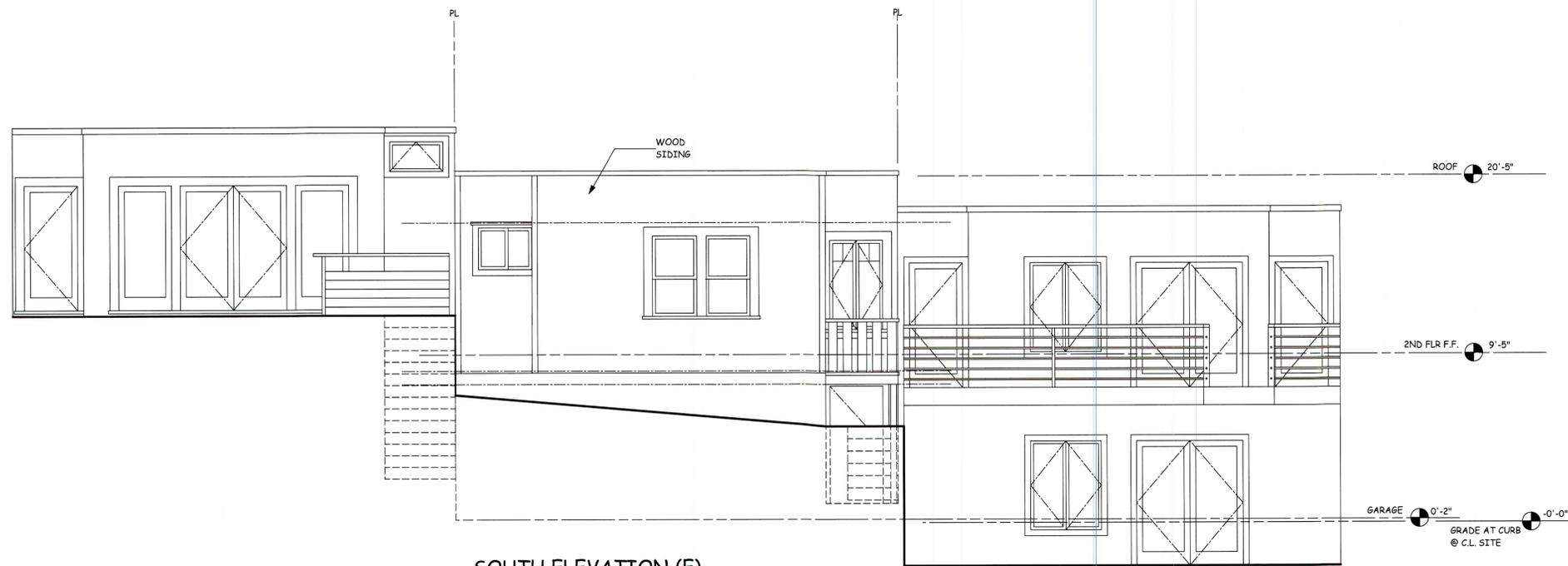
PROJECT NO. 2020.13
 SHEET

A 3.01

ADDITION AND ALTERATIONS
 HAS-A
 485 DAY STREET
 SAN FRANCISCO, CA.



SOUTH ELEVATION (N)
 1/4"=1'-0"



SOUTH ELEVATION (E)
 1/4"=1'-0"

APPROVED
 Dept. of Building Insp.
 - San Francisco -
 APR 13 2023

Patrick O'Riordan
 PATRICK O'RIORDAN
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

RECEIVED
 OCT 13 2022
 DEPT. OF BUILDING INSPECTION
 THESE PLANS MEET THE QUALITY
 STANDARDS FOR BANGERS
 APPROVED

LICENSED ARCHITECT
 WILLIAM PASHELINSKY
 C-11020
 STATE OF CALIFORNIA
W. Pashelinsky

AGREEMENT DRAWINGS
 9.6.22

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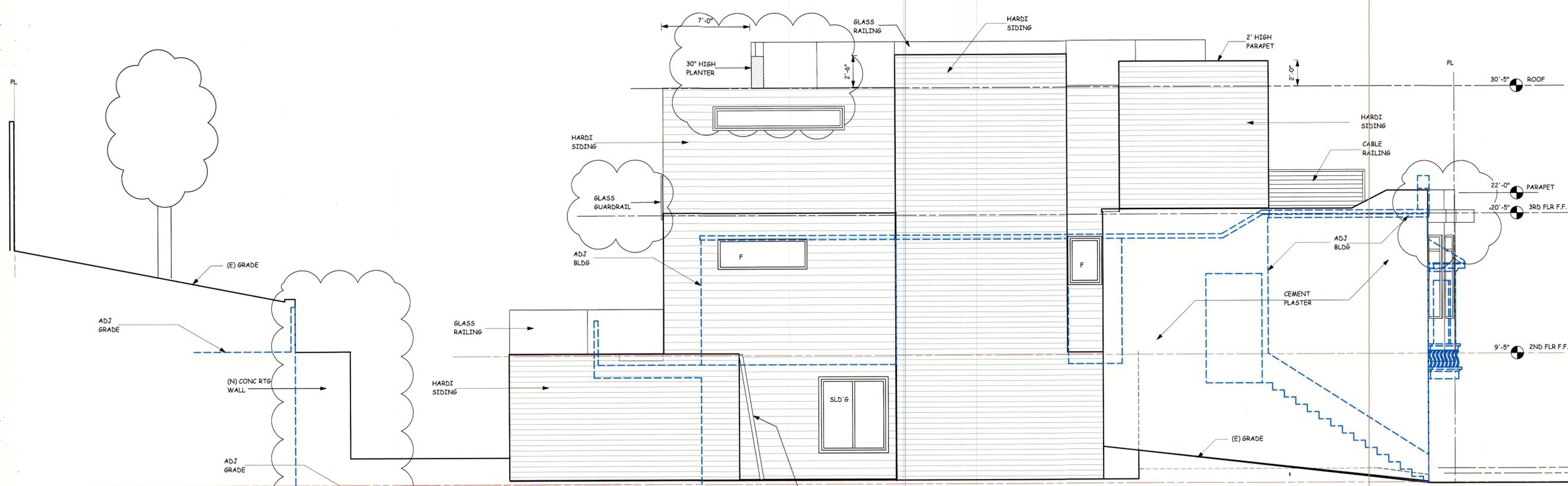
Jeffrey Barnes, DBI
 FEB 21 2023

APPROVED BY SYLVIA JIMENEZ
 SEP 22 2022
 PLANNING DEPARTMENT

PROJECT NO. 2020.13
 SHEET

ADDITION AND ALTERATIONS

485-A
 485 DAY STREET
 SAN FRANCISCO, CA.



EAST ELEVATION (N)
 1/4"=1'-0"

NOTE: ALL DOORS AND WINDOWS TO BE MARVIN ALUM CLAD MARVIN INFINITY SERIES

APPROVED
 Dept. of Building Insp.
 - San Francisco -
 APR 13 2023

Patricia Jordan
 PATRICIA JORDAN
 DIRECTOR
 DEPT. OF BUILDING INSPECTION
 LICENSED ARCHITECT
 WILLIAM PASHELINSKY
 C-11020
 RENEWAL DATE
 STATE OF CALIFORNIA

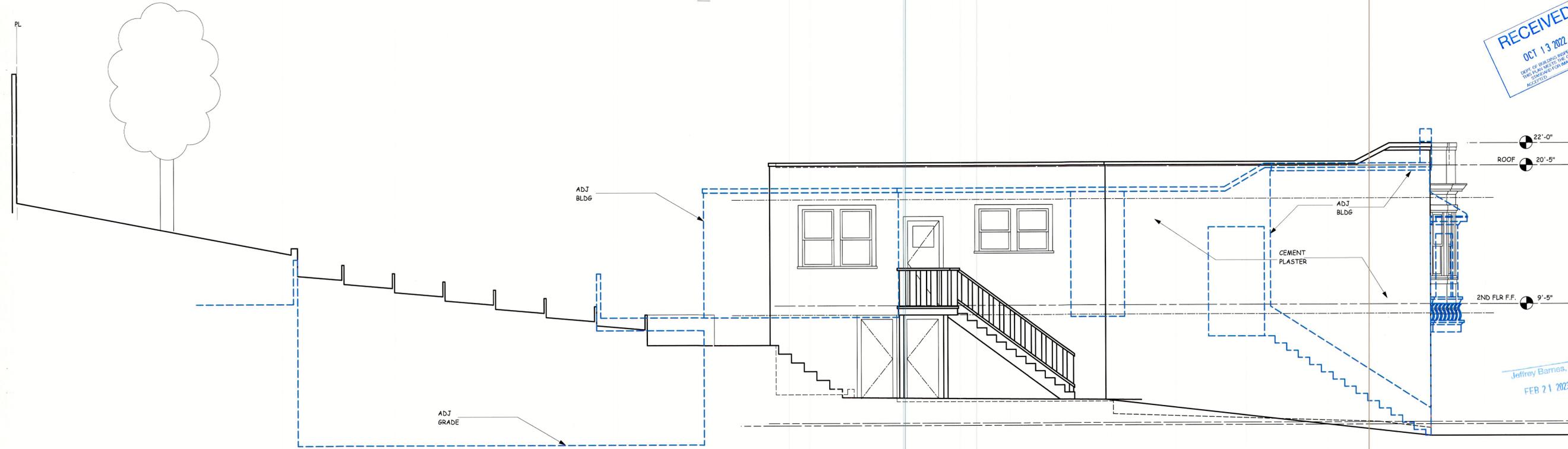
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 THE PLAN MEETS THE QUALITY
 STANDARDS FOR MANAGER'S
 ACCEPTANCE

AGREEMENT DRAWINGS
 9.6.22

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NO.	DATE	DESCRIPTION
1	5.11.21	PLANNING REV
2	9.6.22	PLANNING REV
3	9.16.22	PLANNING REV

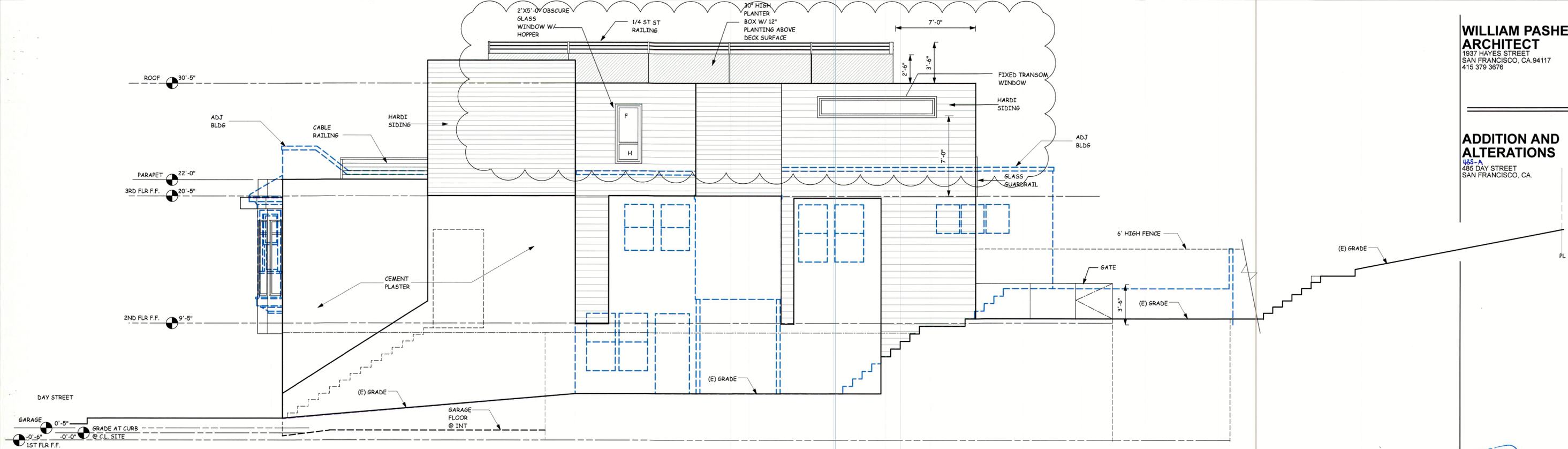
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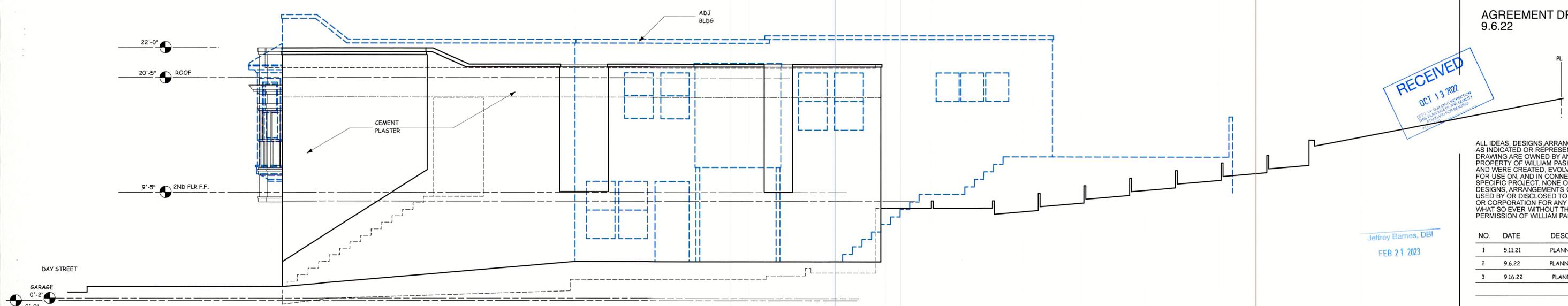
EAST ELEVATION (E)
 1/4"=1'-0"

APPROVED BY SYLVIA JIMENEZ
 SEP 22 2022
 PLANNING DEPARTMENT

PROJECT NO. 2020.13
 SHEET



WEST ELEVATION (N)
 1/4"=1'-0"



WEST ELEVATION (E)
 1/4"=1'-0"

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 Dept. of Building Insp.
 - San Francisco -
 APR 13 2023

Patricia Jordan
 PATRICIA JORDAN
 DIRECTOR
 DEPT. OF BUILDING INSPECTION



AGREEMENT DRAWINGS
 9.6.22

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 1735 MARKET STREET, 10TH FLOOR
 SAN FRANCISCO, CA 94102

Jeffrey Barnes, DBI
 FEB 21 2023

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 PLANNING DEPARTMENT

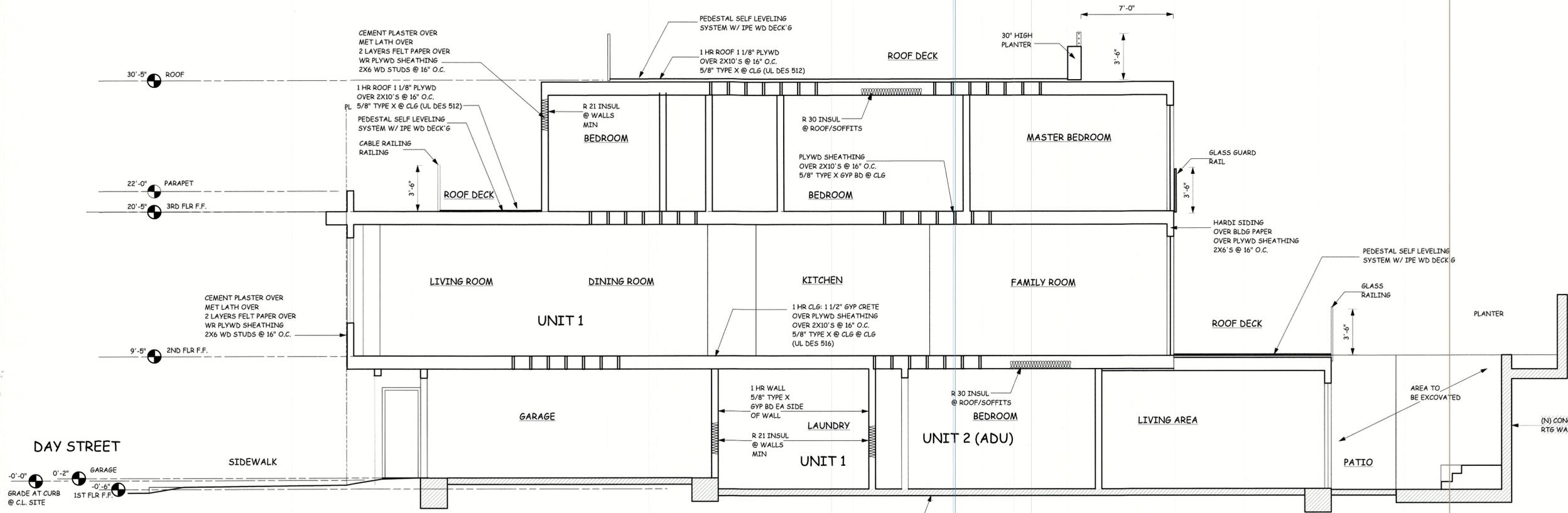
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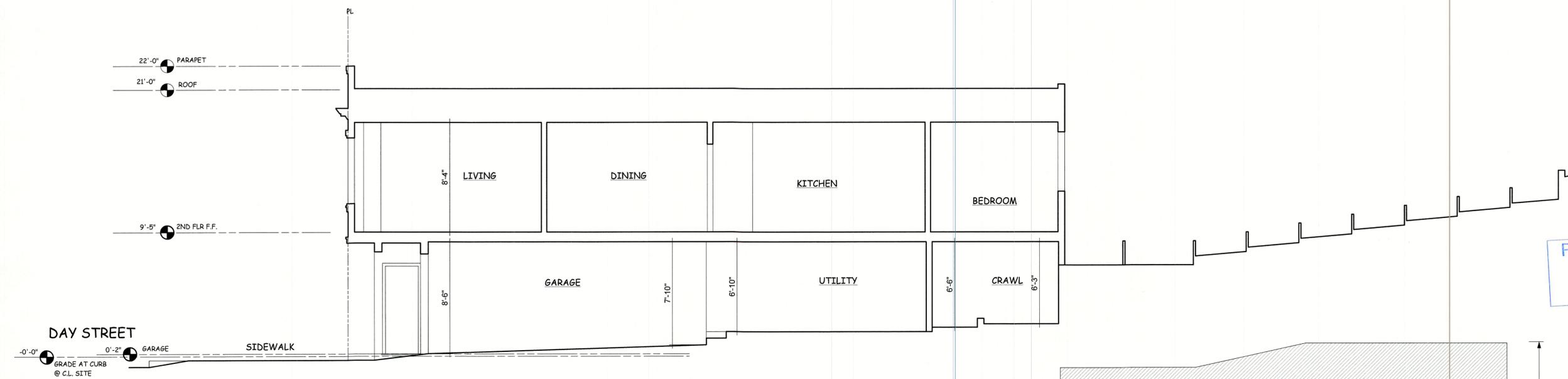
PROJECT NO. 2020.13
 SHEET

ADDITION AND ALTERATIONS

485-A
 485 DAY STREET
 SAN FRANCISCO, CA.



SECTION A-A (N)
 1/4"=1'-0"



SECTION A-A (E)
 1/4"=1'-0"

EXCAVATION ANALYSIS 297 CU YD

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AGREEMENT DRAWINGS
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NO.	DATE	DESCRIPTION
1	5.11.21	PLANNING REV
2	9.6.22	PLANNING REV
3	9.16.22	PLANNING REV
5	07.8.22	DBI REV

PROJECT NO. 2020.13
 SHEET

Jeffrey Barnes, DBI
 FEB 21 2023
 APPROVED BY SYLVIA JIMENEZ
 MAR 07 2023
 PLANNING DEPARTMENT

A 4.01

DOOR SCHEDULE							WINDOW SCHEDULE						
NUMBER	LOCATION	SIZE (WXH)	GLAZING	MATERIAL/FINISH	TYPE	NOTES	NUMBER	LOCATION	SIZE (WXH)	SILL HEIGHT	MATERIAL/FINISH	TYPE	NOTES
1ST FLOOR							1ST FLOOR						
101	GARAGE	3'X7'	N	WD	SWING	EXTERIOR DR	101	BEDROOM	5'X6'	2'-0"	MET	SLD'G	EMERGENCY ESCAPE
102	GARAGE	3'X7'	N	WD	SWING	EXTERIOR DR	102	STAIRWELL	3'X6'	2'-0"	MET	FIXED	
103	GARAGE/STAIRWAY	2'8'X7'	N	SC WD	SWING	20 MIN FIRE RATED W/ CLOSER							
104	STORAGE RM	2'8'X8'	N	SC WD	SWING								
105	LAUNDRY	PR 2'6'X8'	N	WD	LOUVERED	BI-FOLD	2ND FLOOR						
106	BATH RM	2'6"X8'	N	SC WD	SWING		201	LIVING ROOM	2'X7'	2'-0"	MET	D.H.	
107	BEDROOM	2'8"X8'	N	SC WD	SWING		202	LIVING ROOM	2'X7'	2'-0"	MET	D.H.	
108	BEDROOM	PR 3'X8'	N	WD	SLD'G		203	LIVING ROOM	2'X7'	2'-0"	MET	D.H.	
109	KITCHEN	2'X8'	N	WD	SWING		204	LIVING ROOM	2'X7'	2'-0"	MET	D.H.	
110	LIVING RM	15'X8'	Y	MET	SLIDING BI PARTING		205	LIVING ROOM	2'X7'	2'-0"	MET	D.H.	
							206	DINING RM	2'X7'	3'-0"	MET	FIXED	
							207	FAMILY RM	7'X2'	6'-0"	MET	FIXED	
							208	VANITY	2'X5'	3'-0"	MET	CASEMENT	
							209	STAIRWELL	3'X6'	3'-0"	MET	FIXED	
2ND FLOOR							3RD FLOOR						
201	ENTRY	3'X8'	N	TBD	SWING		301	BED ROOM #2	5'X6'	2'-0"	MET	18" AWN'G/FIXED	
202	VANITY	2'4'X8'	N	SC WD	PK'T DR		302	BATH ROOM	2'X5'	3'-0"	MET	CASEMENT	OBSCURE GLASS
203	FAMILY RM 2'6"X8'	2'4"	N	SC WD	BARN DR		303	STAIRWELL	2'X5'	3'-0"	MET	FIXED	
204	LIVING RM	12'X8'	Y	MET	SLIDING BI PARTING		304	MASTER BEDROOM	7'X1'6"	7'-1'-0"	MET	FIXED	
							305	MASTER BEDROOM	7'X1'6"	7'-1'-0"	MET	FIXED	
							306	BATH ROOM	2'X4'6"	3'-6"	MET	CASEMENT	
							307	BED ROOM #1	1'6"X5'	3'-0"	MET	CASEMENT	
3RD FLOOR													
301	BEDROOM #1	5'X8'	Y	MET	SLIDING								
302	BEDROOM #2	2'6"X8'	Y	MET	SWING								
303	BEDROOM #2	PR 3'6"X8'	N	SC WD	SLD'G								
304	BEDROOM #2	2'8"X8'	N	SC WD	SWING								
305	BEDROOM #2	2'8"X8'	N	SC WD	SWING								
306	BATH RM	2'6"X8'	N	SC WD	SWING								
307	HALL CL	PR 1'9"X8'	N	WD	SWING								
308	MASTER BATH RM	2'6"X8'	N	SC WD	SWING								
309	MASTER BATH RM	2'4'X8'	N	SC WD	PK'T DR								
310	MASTER BEDROOM	2'8"X8'	N	SC WD	SWING								
311	MASTER BEDROOM	10'X8'	Y	MET	SLIDING BI PARTING								
307	MASTER BEDRM CL	PR 2'X8'	N	WD	SWING								

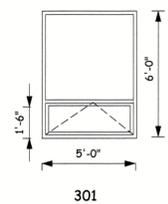
WILLIAM PASHELINSKY
 ARCHITECT
 109 BELVEDERE STREET
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 415 379 3676
 billpash@gmail.com

ADDITION AND ALTERATIONS
 485 DAY STREET
 SAN FRANCISCO, CA.

APPROVED
 Dept. of Building Insp.
 - San Francisco -
 APR 13 2023
 PATRICIA BORDAN
 DIRECTOR
 DEPT. OF BUILDING INSPECTION



WINDOW ELEVATIONS



- NOTES:**
- EMERGENCY ESCAPE WINDOW:
 5.7 SQ FT MIN
 20 NET WITH MIN
 24 NET HGT MIN
 SILL TO BE LESS THAN 42" FROM
 FIN FLOOR
 - ALL GLAZING TO BE TEMPERED
 - ALL WINDOWS AND DOORS U.O.N. TO BE
 ANDERSON ALUMINUM CLAD WOOD WINDOWS BRONZE FINISH
 SERIES E

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 FEB 21 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 CRITERIA FOR MARKING
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Jeffrey Barnes, DEB
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 MAR 13 2023
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A-6.01