

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
NORTH BEACH TENANTS COMMITTEE,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **26-019**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on March 31, 2026, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on March 27, 2026 to Powell Partners LLC, of a Demolition Permit (demolish three story, Type 5, Mixed-Use Building) at 659 Union Street.

APPLICATION NO. 2026/0327/8418

FOR HEARING ON April 22, 2026

Address of Appellant(s):

Address of Other Parties:

North Beach Tenants Committee, Appellant(s) c/o Theresa Flandrich, Agent for Appellant(s)	Powell Partners LLC, Permit Holder(s) c/o John Kevlin, Attorney for Permit Holder(s) Reuben, Junius & Rose, LLP One Bush Street, Suite 600 San Francisco, CA 94104
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Date Filed: March 31, 2026

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 26-019

I / We, **North Beach Tenants Committee**, hereby appeal the following departmental action: **ISSUANCE** of **Demolition Permit No. 2026/0327/8418** by the **Department of Building Inspection** which was issued or became effective on: **March 27, 2026**, to: **Powell Partners LLC**, for the property located at: **659 Union Street**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **May 7, 2026, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.lamarre@sfgov.org, corey.teague@sfgov.org, andrew.perry@sfgov.org; carey.mcelroy@sfgov.org and info@shore-cal.com

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **May 21, 2026, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.lamarre@sfgov.org, corey.teague@sfgov.org, andrew.perry@sfgov.org; carey.mcelroy@sfgov.org and tflandrich@yahoo.com

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, May 27, 2026, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the Preliminary Statement of Appeal.

Appellant or Agent:

Signature: Via Email

Print Name: Theresa Flandrich, agent for appellant

March 31, 2026

Board of Appeals

boardofappeals@sfgov.org

cc: julie.lamarre@sfgov.org

RE: Appeal of Permit No. 26039399 issued 27 March 2026
Application No: 202603278418
Address: 659 Union Street
“DEMO 3-STORY, TYPE 5, MIXED USE BUILDING”

In consultation with Deputy Director Rich Sucre and Zoning Administrator Corey Teague, this permit authorized the demolition of an approximately 50' section of brick wall at the rear (south) of the building. Rich Sucre signed off on this demolition permit/emergency order on March 27, 2026.

In conflict with this approval, the demolition permit was issued to demolish the entire building on the same date, March 27, 2026 and the demolition is currently in progress.

Sincerely,

Theresa Flandrich
North Beach Tenants Committee


tflandrich@yahoo.com


Permit Details Report

Report Date: 3/31/2026 1:04:50 PM
Application Number: 202603278418
Form Number: 6
Address(es): 0117 /016 /0 659 UNION ST
Description: DEMO 3-STORY, TYPE 5, MIXED USE BUILDING.
Cost: \$210,000.00
Occupancy Code:
Building Use: -

Disposition / Stage:

Action Date	Stage	Comments
3/27/2026	TRIAGE	
3/27/2026	FILING	
3/27/2026	FILED	
3/27/2026	APPROVED	
3/27/2026	ISSUED	

License Number: 1146593
Name: ERWIN JEREMIAH O'TOOLE
Company Name: SHORECAL ENGINEERING INC
Address: 1663 MISSION ST * SAN FRANCISCO CA 94103-0000
Phone:

Addenda Details:

Description:

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
CPB		3/27/26	3/27/26			3/27/26	CHENG ANITA	Administrative	EMERGENCY ORDER - OK TO PROCESS OTC PER M.WALLS -AWC
CES		3/27/26	3/27/26			3/27/26	LAM GILBERT	Approved	OK to process. -GL
CP-ZOC		3/27/26	3/27/26			3/27/26	WONG WESLEY	Issued Comments	Advised by Planning Managers to check in with Rich Sucre for this project. wesley.a.wong@sfgov.org.
CP-ZOC	1	3/27/26	3/27/26			3/27/26	WONG WESLEY	Approved	Approved OTC. In consultation with Deputy Director Rich Sucre and Zoning Administrator Corey Teague, this permit authorizes the demolition of of an approximately 50' section of brick wall at the rear (south) of the building. Rich Sucre signed off on this demolition permit/emergency order on March 24, 2026. The interior spaces have been destroyed by a fire in 2013 and 2018. The

									Planning Code, Sections 317(i) (4) and 311(c)(4), in this instance defers authority to the Department of Building Inspection from the Planning Department in the case of an emergency demolition after consultation with the Zoning Administrator, which has been completed. wesley.a.wong@sfgov.org.
BLDG		3/27/26	3/27/26			3/27/26	CHEUNG JIMMY	Approved	Approved OTC
SFFD		3/27/26	3/27/26			3/27/26	LAU DEE	Approved	APPROVED OTC PAPER. INSP FEE. BACK TO CPB.
DPW-BSM		3/27/26	3/27/26			3/27/26	CHAN CALVIN F	Approved	Pre-construction site meeting required by PW Street Inspection. Call (628) 271-2000 or PublicWorksInspections@sfdpw.org to schedule.
PPC		3/27/26	3/27/26			3/27/26	WU TIFFANY	Administrative	3/27/26: To CPB. TW
CPB		3/27/26	3/27/26			3/27/26	CHENG ANITA	Administrative	03/27/2026: ISSUED EMERGENCY DEMO, PER J.CHEUNG OK TO PROVIDED PRELIMINARY ASBESTOS REPORT AT LATER TIME. -AWC

BRIEF SUBMITTED BY THE APPELLANT(S)

April 9, 2026

John Trasvina, President
Board of Appeals
City and County of San Francisco
San Francisco, CA 94102

RE: 659 Union Street Demolition Permit
Permit No. 2026/03/27/8418
Appeal No.: 26-019

Dear President Trasvina and Board of Appeals Members:

The North Beach Tenants Committee (Appellant) requests that the Board of Appeals grant this appeal, revoke the demolition permit for 659 Union Street/1636 Powell Street (the Property) and require the Project Sponsor to preserve the iconic, historic building facade at this critical intersection on Washington Square in the heart of the renowned North Beach Neighborhood in accordance with the Project Sponsor's 2023 plans on file with the Planning Department.

Appellant is a tenant advocacy organization that has assisted tenants in North Beach for over a decade, opposing evictions and providing technical assistance to residential tenants in the North Beach community. Appellant has worked with many of the tenants of 659 Union/1636 Powell Street since they were originally displaced by a fire at the Property in 2013 and has assisted these tenants in understanding and advocating for their rights to return to the Property for over a decade. In this regard, Appellant worked closely with 14 of the displaced tenants who provided declarations to Claire Feeney, the Department's Senior Project Planner, in 2023. A sample email from displaced tenant, Pete Epstein, to Ms. Feeney is attached as **Exhibit A**. The North Beach Tenants Committee has long advocated for the preservation of rent controlled property and strongly opposes the

demolition of the exterior walls of the Property and insists that the City require the Project Sponsor to adhere to his 2023 plans currently on file with the Planning Department (**See Exhibit B, attached**) to retain the historic, exterior walls and to finally replace the units lost, allowing displaced tenants to return to their former home. In the aftermath of the 2018 fire, the Department of Building Inspection (DBI) approved the shoring and bracing system that has supported the exterior walls of the Property and deemed the Property safe. Nothing has changed since DBI's approval that justifies the complete demolition of the building.

As a threshold matter, Appellant hereby strongly objects to the Board of Appeals having rescheduled this hearing from May 27 to April 22. Upon filing this appeal on March 31, 2026, the Board of Appeals originally scheduled the appeal hearing for May 27, 2026. Subsequently, over Appellant's written objection, the Board of Appeals rescheduled the hearing for April 22, 2026, depriving Appellant of sufficient time to obtain an independent third-party engineering assessment of the condition of the Property and other expert testimony. The City's action truncating Appellant's time to adequately prepare for the appeal -- especially given the fact that the City hid the pending demolition from the community until the issuance of the demolition permit -- is manifestly unfair and is indicative of the City's inherent bias in favor of the Project Sponsor.

Why wasn't the community notified until after the demolition permit was issued? San Francisco Ethics Department records show that the Project Sponsor's registered lobbyist, former Planning Department employee Kate McGee, had numerous contacts with DBI,

the Planning staff, and Supervisor Danny Sauter for months prior to the issuance of the demolition permit (**See, Exhibit C-1 through C-3, attached**), yet there was no outreach of any kind by any City department or the Supervisor’s office to the North Beach community, not to existing neighborhood organizations, not to San Francisco Heritage, nor to any of the former residential tenants. Essentially, instead of working to forge a solution that would provide a better outcome than leaving an empty hole in the ground in the heart of North Beach or attempting to address the rights of the former tenants, every City agency from the Planning Department to DBI and the District Supervisor were complicit in hiding the Project Sponsor’s plans to demolish the building.

Appellant asserts that the public and Appellant have been purposely misled by the City and the Project Sponsor:

- The Planning Department’s Property Information Map (PIM) on April 2, 2026, clearly states that the Planning Department had approved a proposed demolition for *only a 50 feet section* on the southern wall (**See Exhibit D, attached**).

Contrary to the public notice, DBI and the Planning Department later confirmed that the demolition permit is for the entire structure. The public records and notice were so misleading that even SFYimby believed it to be a “*partial demolition*” writing: “*The application states that 50 feet of brick wall at the rear of the building will be removed.*” And further “*The city’s deputy director of historic preservation signed off on the demolition permit and emergency order, describing the scope of work as “an approximately 50’ section of brick wall at the rear (south) of the building.”*” See YIMBY.com article dated April 1, 2026, (**Exhibit E**,

attached), later updated, which confirmed the common understanding of the public that the permit was only for a limited partial demolition and not the entire structure.

- Even more outrageous and misleading, a public notification sent to all owners within a 300-foot radius was not sent until March 30, 2026, after the demolition permit was issued on March 27, and after demolition was already proceeding (**See Exhibit F, attached**). The notice sent by US Mail was not received until April 2, 2026, and unbelievably states that “*The application is currently under review. A permit has not been issued as of the above date [3/30/2026].*” It further states that *the public will be noticed if and when the permit is issued.* This is either unparalleled incompetence or serious malfeasance. Note that the demolition permit was issued in one day over the counter on March 27 and demolition work began immediately thereafter. For those members of the public who bothered to look at DBI’s website, they were misled into believing that only a 50-foot section of the rear wall was being removed. For this reason alone, the demolition permit should be revoked.
- The CEQA Notice of Exemption (**see Exhibit G, attached**) issued by the Planning Department on March 27, 2026, the same date the demolition permit was issued, defined the project as the demolition of only 50 feet of the southern wall which is in fact consistent with the 2023 plans submitted by the Project Sponsor and currently on file with the Planning Department, which preserved the

existing 3 exterior brick walls facing Columbus, Union and Powell Streets. In addition, the CEQA Notice of Exemption states that the building is a “Known Historical Resource.” The Historic Resource Evaluation Report dated March 1, 2022, prepared for the “City of San Francisco Planning and Development,” concludes at page 58 that the Property is eligible for inclusion on the National Register of Historic Places even after the 2018 fire, as follows:

“VERDI APARTMENTS – 659 UNION/1565 POWELL STREET

In summary, the subject property, the Verdi Apartments, at 659 Union Street/1656 Powell Street displays a level of historical significance or integrity. When categorized as a site, it qualifies for listing as a historic resource on the National Register of Historic Places and on the California Register of Historical Places. The Verdi Apartments is eligible on a local level of significance under criterion C/3 for its design as a distinctive type of architecture in the Washington Square neighborhood.

The Verdi Apartments retains many aspects of historic integrity. The site has retained its integrity of location and setting. Some of the materials and workmanship have been lost due to the 2018 fire. The ground floor commercial spaces had been significantly altered over the years and did not have integrity of workmanship, design and materials prior to the fire. Overall, the site conveys its historicity sufficient to possess both significance and integrity.

As a result, CEQA analysis is required prior to the demolition of the structure.

- The Plan Set states clearly that demolition would only be of a 50-foot section of the southern wall, but that was thereafter scratched out by hand on the Plan Set. Note: DBI has these plans which were reviewed by representatives for Appellant. However, DBI would not release copies of the Plan Set claiming that they are privileged information. The Board of Appeals should request to see these plans wherein the 50-foot section provision was scratched out by hand after review by Planning Department staff and the issuance of the CEQA Notice of Exemption.

The Property is subject to clean up orders from the State Water Resources Control Board and is on the Maher list as the site has unremediated hazardous materials (See email to Matthew Greene at DBI attached as **Exhibit H**). Matthew Greene was not even aware of the hazardous materials on the site, and no provision was incorporated into the demolition plans to protect the public from the potential release of these hazardous materials during the demolition process. Appellant is further concerned with the lack of a plan to protect the public from release of asbestos material during demolition.

CONCLUSION:

The misuse of the Emergency Order and Demolition Permit allows the Project Sponsor to demolish the building without finalizing plans for a replacement structure. The previously proposed project plans for the site, submitted to Planning in 2023, have not been pursued even though they were widely supported by the community. Moreover, the misuse of the Emergency Order without an approved residential replacement project appears to be intended to avoid providing the displaced tenants with replacement housing. The Project

Sponsor's failure to proceed with the proposed project plans appears purposeful with the intent to leave the building unprotected to decay to justify demolition. Appellant also notes that the Project Sponsor had listed the Property for sale in January 2024 (**See Exhibit I, attached**) which could indicate an intent by the Project Sponsor to market the Property as a vacant parcel, delaying further the long-awaited replacement housing and commercial spaces on this critical intersection located on Washington Square in the heart of North Beach.

For all the reasons set forth above, Appellant is respectfully asking the Board of Appeals to grant this appeal and revoke the misleading demolition permit.

Sincerely,

Theresa Flandrich

North Beach Tenants Committee

EXHIBIT A - EMAIL FROM DISPLACED TENANT TO PLANNING

From: pete@weinberg-hoffman.com
To: claire.feeney@sfgov.org
Cc: T Flandrich tmvonflandrich@gmail.com
Date: Mon, Apr 10, 2023 at 2:44 PM

Dear Ms. Feeney:

I have been a tenant at Verdi Apartments (1656 Powell St. #210) since 1989. I was displaced from my tenancy as a result of the fire on December 15, 2013. At the time we were told it would be six months to a year for repairs and that we would be allowed back into our units. I have been living at a friend's house where I have remained since the fire. I have not moved back in because there is no unit I can occupy.

I am informed that the building owners are moving forward with reconstruction plans. It is also my understanding that the plans do not include provisions for the displaced rent controlled tenants to occupy any of the units in the building. I want to make clear my intention to reoccupy a unit in the building if/when it is rebuilt.

Immediately after the fire I notified the building manager, Adil Shaikh, and the then building owners' representatives, Hanford Freund & Co., of my intention to reoccupy, and have confirmation of that from Mr. Shaikh, but no one representing the building owner has asked me if I wanted to come back. See the attached declaration I provided in the insurance litigation. I have never received any communication from the building owners since December 2013 and never notified of any eviction proceeding against me. I have never been offered and never received relocation payments. My rent deposit has not been returned.

Please let me know what I must do to preserve my right to tenancy at the building.

Very truly yours,

Pete Epstein
[448 Ignacio Blvd. #117](#)
[Novato, CA 94949](#)

415-385-9936
pete@weinberg-hoffman.com

EXHIBIT B - 2023 PLANS -1656 POWELL STREET/ 659 UNION STREET



multistudio

RENDERING - VIEW FROM NEAR SIDE OF WASHINGTON SQUARE PARK
STATE DENSITY BONUS PROJECT

659 UNION STREET, SAN FRANCISCO
JUNE 23, 2023



multistudio

RENDERING - VIEW FROM UNION ST AND COLUMBUS AVE
STATE DENSITY BONUS PROJECT

659 UNION STREET, SAN FRANCISCO
JUNE 23, 2023



multistudio

RENDERING - VIEW FROM UNION ST & POWELL ST
STATE DENSITY BONUS PROJECT

659 UNION STREET, SAN FRANCISCO
JUNE 23, 2023



multistudio

RENDERING - VIEW FROM UNION ST AND POWELL ST
STATE DENSITY BONUS PROJECT

659 UNION STREET, SAN FRANCISCO
JUNE 23, 2023



multistudio

RENDERING - VIEW FROM POWELL ST
STATE DENSITY BONUS PROJECT

659 UNION STREET, SAN FRANCISCO
JUNE 23, 2023



multistudio

RENDERING - HISTORIC MASONRY + NEW ADDITION DETAIL
STATE DENSITY BONUS PROJECT

659 UNION STREET, SAN FRANCISCO
JUNE 23, 2023



multistudio

RENDERING - VIEW OF HISTORIC LOBBY ENTRANCE
STATE DENSITY BONUS PROJECT

659 UNION STREET, SAN FRANCISCO
JUNE 23, 2023

EXHIBIT C-1 - KATE MCGEE LOBBYING JANUARY 2026

City & County of San Francisco
Ethics Commission

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Registration Status: Registered

McGee, Kate

Current Firm or Employer: [EBO Strategy](#)

[View Firm History](#)

[← Previous Month](#)
January 2026
[Next Month →](#)

Client List 10

Client	Address	Phone	Periods
Jeff Jurow	100 Green Street San Francisco, CA, 94111	(415) 515-9367	01/15/2025 - Present
Marci Glazer	655 Alvarado Street San Francisco, CA, 94114	(415) 601-3549	02/03/2025 - Present

Departments List

Department	Periods
No Registered Departments	

Activity for January 2026

Activity Expenses \$0.00 0 Total for January 5

Date	Amount	Payee	Description	Salary
No Activity Expenses reported for this period.				

Political Contributions \$0.00 0 Total for January 5

Date	Amount	Committee	Candidate	Source of Funds
No Political Contributions reported for this period.				

Contacts of Public Officials 3 Reported Contacts for January 5

Date	Public Official	Client	SubjectArea	Issue
01/27/2026	Andrews, Michelle	Jeff Jurow	Planning and Building Permits	permit clarification
01/21/2026	Sucre, Richard	Jeff Jurow	Planning and Building Permits	permit requirement clarification
01/21/2026	Bell, Tita	Jeff Jurow	Planning and Building Permits	permit process clarification

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- [Lobbyist Clients](#)
- [Lobbying Firms and Employers](#)
- [Contacted Public Officials](#)
- [Lobbying Subject Areas](#)
- [All Lobbyist Filings](#)
- [Transactions](#)
- [Activity Expenses](#)
- [Political Contributions](#)
- [Contacts of Public Officials](#)
- [Payments Promised by Clients](#)
- [Employment of City Officers or Employees](#)
- [View Expenditure Lobbyist Public Site](#)

Payments Promised by Clients	\$4,000.00	1 Total for January	<input type="text" value="5"/>
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Date	Amount	Client
<u>01/01/2026</u>	\$4,000.00	Jeff Jurow

EXHIBIT C-2 - KATE MCGEE LOBBYING FEBRUARY 2026



Registration Status: Registered

McGee, Kate

Current Firm or Employer: [EBO Strategy](#)

[View Firm History](#)

[< Previous Month](#)
February 2026
[Next Month >](#)

Client List 10

Client	Address	Phone	Periods
Jeff Jurow	100 Green Street San Francisco, CA, 94111	(415) 515-9367	01/15/2025 - Present
Marci Glazer	655 Alvarado Street San Francisco, CA, 94114	(415) 601-3549	02/03/2025 - Present

Departments List

Department	Periods
No Registered Departments	

Activity for February 2026

Activity Expenses \$0.00 0 Total for February 5

Date	Amount	Payee	Description	Salary
No Activity Expenses reported for this period.				

Political Contributions \$0.00 0 Total for February 5

Date	Amount	Committee	Candidate	Source of Funds
No Political Contributions reported for this period.				

Contacts of Public Officials 8 Reported Contacts for February 5 >

Date	Public Official	Client	SubjectArea	Issue
02/26/2026	Sauter, Danny	Jeff Jurow	Planning and Building Permits	demo permit
02/26/2026	Bell, Tita	Jeff Jurow	Planning and Building Permits	demo permit
02/26/2026	ORiordan, Patrick	Jeff Jurow	Planning and Building Permits	demo permit
02/26/2026	Kane, David	Jeff Jurow	Planning and Building Permits	demo permit
02/26/2026	Gonzalez, Ken	Jeff Jurow	Planning and Building Permits	demo permit

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- [Lobbyist Clients](#)
- [Lobbying Firms and Employers](#)
- [Contacted Public Officials](#)
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- [Activity Expenses](#)
- [Political Contributions](#)
- [Contacts of Public Officials](#)
- [Payments Promised by Clients](#)
- [Employment of City Officers or Employees](#)
- [View Expenditure Lobbyist Public Site](#)

Payments Promised by Clients	\$5,818.00	1 Total for February	5
Date	Amount	Client	
02/28/2026	\$5,818.00	Jeff Jurow	

EXHIBIT C-3 - KATE MCGEE LOBBYING MARCH 2026

City & County of San Francisco
Ethics Commission

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Registration Status: Registered

McGee, Kate

Current Firm or Employer: [EBO Strategy](#)

[View Firm History](#)

[< Previous Month](#)
March 2026
[Next Month >](#)

Client List 10

Client	Address	Phone	Periods
Jeff Jurow	100 Green Street San Francisco, CA, 94111	(415) 515-9367	01/15/2025 - Present
Marci Glazer	655 Alvarado Street San Francisco, CA, 94114	(415) 601-3549	02/03/2025 - Present

Departments List

Department	Periods
No Registered Departments	

Activity for March 2026

Activity Expenses \$0.00 0 Total for March 5

Date	Amount	Payee	Description	Salary
No Activity Expenses reported for this period.				

Political Contributions \$0.00 0 Total for March 5

Date	Amount	Committee	Candidate	Source of Funds
No Political Contributions reported for this period.				

Contacts of Public Officials 14 Reported Contacts for March 5 [>](#)

Date	Public Official	Client	SubjectArea	Issue
03/31/2026	Sucre, Richard	Jeff Jurow	Planning and Building Permits	demo permit
03/31/2026	Cheung, Jimmy	Jeff Jurow	Planning and Building Permits	demo permit
03/31/2026	Andrews, Michelle	Jeff Jurow	Planning and Building Permits	demo permit
03/25/2026	True, Judson	Jeff Jurow	Planning and Building Permits	demo permit
03/23/2026	Hanna, Tate	Jeff Jurow	Planning and Building Permits	demo permit

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EXHIBIT D - PLANNING DEPARTMENT'S PIM ON APRIL 2, 2026

PLANNING DEPARTMENT'S PROPERTY INFORMATION MAP (PIM) ON APRIL 2, 2026

2026-002687PRL Project Light (PRL) 659 Union Street

Opened: 3/27/2026 **Status:** Closed 3/27/2026

Contact: Wesley Wong wesley.a.wong@sfgov.org 628-652-7466

In consultation with Deputy Director Rich Sucre and Zoning Administrator Corey Teague, this permit authorizes the demolition of an approximately 50' section of brick wall at the rear (south) of the building. Rich Sucre signed off on this demolition permit/emergency order on March 24, 2026. The interior spaces have been destroyed by a fire in 2013 and 2018. The Planning Code, Sections 317(i) (4) and 311, in this instance defers authority to the Department of Building Inspection in the case of an emergency demolition after consultation with the Zoning Administrator, which has been completed.

Address: 585 COLUMBUS AVE 94133

Further Info:

Related Records:

Related Documents

Project Features

[Accela Citizen Access](#)

[202603278418](#)

EXHIBIT E – FROM SF YIMBY 4.1.2026

Partial Demolition Permits Filed For Verdi Building, San Francisco

BY: ANDREW NELSON 5:30 AM ON APRIL 1, 2026

Update: Representatives for the property owner have shared with YIMBY that the team is now planning a full demolition of the existing brick structure.

Emergency demolition permits have been filed for a portion of the Verdi Building, located across from Washington Square in **North Beach, San Francisco**. The brick structure standing at **659 Union Street** has been left vacant after being ravaged by fire in 2013 and 2018. The application states that 50 feet of brick wall at the rear of the building will be removed.



659 Union Street aerial image, circa 2021

The partial demolition permit is not related to redevelopment plans. The city’s deputy director of historic preservation signed off on the demolition permit and emergency order, describing the scope of work as “an approximately 50’ section of brick wall at the rear (south) of the building.”

Last October, the **San Francisco Standard** reported that **Red Bridge Partners**, led by Jeff Jurow, planned to submit preliminary permits for an eight-story development at 659 Union Street, with 89 apartments, a rooftop restaurant, and 5,700 square feet of ground-level retail. This would include 15 affordable housing units. SFYIMBY has not been able to independently verify the pre-application.

Red Bridge Partners purchased the property in 2017 for over \$2 million. The latest permit is not for full demolition of the damaged brick structure, and there does not appear to be any planning progress for a potential eight-story replacement at the corner lot. The developer has yet to reply to a request for comment.



Partial Demolition Permits Filed For Verdi Building, San Francisco



659 Union Street aerial image, circa 2021

BY: [ANDREW NELSON](#) 5:30 AM ON APRIL 1, 2026

Update: Representatives for the property owner have shared with YIMBY that the team is now planning a full demolition of the existing brick structure.

Emergency demolition permits have been filed for a portion of the Verdi Building, located across from Washington Square in [North Beach, San Francisco](#). The brick structure standing at [659 Union Street](#) has been left vacant after being ravaged by fire in 2013 and 2018. The application states that 50 feet of brick wall at the rear of the building will be removed.

The partial demolition permit is not related to redevelopment plans. The city's deputy director of historic preservation signed off on the demolition permit and emergency order, describing the scope of work as "an approximately 50' section of brick wall at the rear (south) of the building."

Last October, the [San Francisco Standard](#) reported that [Red Bridge Partners](#), led by Jeff Jurow, planned to submit preliminary permits for an eight-story development at 659 Union Street, with 89 apartments, a rooftop restaurant, and 5,700 square feet of ground-level retail. This would include 15 affordable housing units. SFYIMBY has not been able to independently verify the pre-application.

Red Bridge Partners purchased the property in 2017 for over \$2 million. The latest permit is not for full demolition of the damaged brick structure, and there does not appear to be any planning progress for a potential eight-story replacement at the corner lot. The developer has yet to reply to a request for comment.

EXHIBIT F - MARCH 30, 2026 PUBLIC NOTIFICATION



Notification of Application for a Demolition Permit
Application No: 202603278418

Date: 03/30/2026

THE RESIDENT
740 UNION ST
SAN FRANCISCO, CA 94133

Pursuant to ordinance #32-84, you are hereby notified that an application has been filed on 03/27/2026
for a permit to demolish a building located at:

Address: 659 UNION ST
Block/Lot: 0117 / 016

Description: DEMO 3-STORY, TYPE 5, MIXED USE BUILDING.

This ordinance requires that all owners of property within a 300 ft. radius of the building or structure and any interested organization or group, as provided in section 106.3.2.3, be given written notification.

The application is currently under review. A permit has not been issued as of the above date. You will receive written notification if and when a permit is issued per section 106.4.6.3 of the San Francisco Building Code and of your right to appeal the permit, except post-entitlement permits in conjunction with the creation and/or legalization of one or more housing units.

Owner/Permit Holder

Name: POWELL PARTNERS LLC

Address: 3727 BUCHANAN ST FL 4

SAN FRANCISCO CA US 94123

Very truly yours,
PERMIT SERVICES
CENTRAL PERMIT BUREAU
(628) 652 - 3240

Contractor License

Name: NOT AVAILABLE

EXHIBIT G - CEQA EXEMPTION DETERMINATION 3/27/26



CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
659 Union Street		0117016
Case No.		Permit No.
2026-002687PRL		202603278418
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>In consultation with Deputy Director Rich Sucre and Zoning Administrator Corey Teague, this permit authorizes the demolition of an approximately 50' section of brick wall at the rear (south) of the building. Rich Sucre signed off on this demolition permit/emergency order on March 24, 2026. The interior spaces have been destroyed by a fire in 2013 and 2018. The Planning Code, Sections 317(i) (4) and 311, in this instance defers authority to the Department of Building Inspection in the case of an emergency demolition after consultation with the Zoning Administrator, which has been completed.</p>		

EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input type="checkbox"/>	Class 1 - Existing Facilities. (CEQA Guidelines section 15301) Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. (CEQA Guidelines section 15303) Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. (CEQA Guidelines section 15332) New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p>
<input checked="" type="checkbox"/>	Other _____ Statutorily Exempt from CEQA per Section 15269
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment.

ENVIRONMENTAL SCREENING ASSESSMENT

Comments:

Planner Signature: Wesley Wong

PROPERTY STATUS - HISTORIC RESOURCE

PROPERTY IS ONE OF THE FOLLOWING:

<input checked="" type="checkbox"/>	Category A: Known Historical Resource.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age).
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age).

PROPOSED WORK CHECKLIST

Check all that apply to the project.

<input type="checkbox"/>	Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	Addition(s) not visible from any immediately adjacent public right-of-way for 150 feet in each direction; or does not extend vertically beyond the floor level of the top story of the structure, or does not cause the removal of architectural significant roofing features.
<input type="checkbox"/>	Façade or storefront alterations that do not remove, alter, or obscure character -defining features.
<input type="checkbox"/>	Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed.
<input checked="" type="checkbox"/>	Project involves scope of work listed above.

ADVANCED HISTORICAL REVIEW

Check all that apply to the project.

<input type="checkbox"/>	<p>Reclassification of property status. (<i>Attach HRRER Part I relevant analysis; requires Principal Preservation Planner approval</i>)</p> <p><input type="checkbox"/> Reclassify to Category A</p> <p style="text-align: right;"><input type="checkbox"/> Reclassify to Category C</p> <p style="text-align: right;"><input type="checkbox"/> Lacks Historic Integrity</p> <p style="text-align: right;"><input type="checkbox"/> Lacks Historic Significance</p>
<input type="checkbox"/>	Project involves a known historical resource (CEQA Category A)
<input type="checkbox"/>	Project does not substantially impact character-defining features of a historic resource (see Comments)
<input type="checkbox"/>	Project is compatible, yet differentiated, with a historic resource.
<input type="checkbox"/>	Project consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties
Note: If ANY box above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with EXEMPTION REVIEW. The project has been reviewed by the Preservation Planner and can proceed with exemption review.
Comments by Preservation Planner:	
Preservation Planner Signature:	

EXEMPTION DETERMINATION

<input checked="" type="checkbox"/>	No further environmental review is required. The project is exempt under CEQA.	
	<p>Project Approval Action: Building Permit</p>	<p>Signature: Wesley Wong 03/27/2026</p>
	<p>If discretionary review before the planning commission is requested, the discretionary review hearing is the approval action for the project.</p>	
	<p>Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at https://sfplanninggis.org/pim/. Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link.</p> <p>Once signed and dated, this document constitutes an exemption pursuant to CEQA Guidelines and chapter 31 of the San Francisco Administrative Code. Per chapter 31, an appeal of an exemption determination to the Board of Supervisors shall be filed within 30 days after the approval action occurs at a noticed public hearing, or within 30 days after posting on the planning department's website (https://sfplanning.org/resource/ceqa-exemptions) a written decision or written notice of the approval action, if the approval is not made at a noticed public hearing.</p>	

EXHIBIT H - 4.1.26 EMAIL TO M. GREENE

From: Aaron Peskin <aaron.peskin@earthlink.net>
Date: Wednesday, April 1, 2026 at 4:37 PM
To: "Greene, Matthew (DBI)" <matthew.greene@sfgov.org>
Cc: Elizabeth Watty <elizabeth.watty@sfgov.org>, "Sucre, Richard (CPC)" <richard.sucre@sfgov.org>, "don.lewis@sfgov.org" <don.lewis@sfgov.org>, "lisa.gibson@sfgov.org" <lisa.gibson@sfgov.org>, Corey Teague <corey.teague@sfgov.org>
Subject: 1636 & 1656 Powell St/659 Union St - Existence of Hazardous Substances

Dear Mr. Greene,

As we discussed yesterday in connection with the demolition permit that was issued on this site, the project site has a history of hazardous substances in the soil and ground water as evidenced by the records of the San Francisco Bay Regional Water Quality Control Board, and is subject to San Francisco's Health Code Article 22A, the "Maher Ordinance."

On the current Water Quality Control Board site, 1656 Powell Street is listed as ID No. T10000013791 and is identified as an Open "Cleanup Program Site" (CPS). In addition, 1636 Powell Street is listed as ID No. T0607500509 as a LUST Cleanup Site. Attached are the following letters from the Water Quality Control Board evidencing the site's record of hazardous substances in the soil and ground water, including:

- (1) Evidence that residual dry-cleaning chemicals such as tetrachloroethylene (PCE) and trichloroethylene (TCE) were detected under the space formerly occupied by a drapery cleaner business in the Verdi Apartment Building (see September 30, 2019, letter from the San Francisco Bay Regional Water Quality Control Board to Responsible Parties).
- (2) Known soil vapor and groundwater contamination consisting of volatile organic compounds (VOC) and petroleum hydrocarbons is present from historical leaks from underground storage tanks at the adjacent 1636 Powell Street garage (see January 14, 2020, letter from the San Francisco Bay Regional Water Quality Control Board).
- (3) The most recent available email from the Regional Water Quality Control Board, dated December 2, 2025 (see attached), shows that these hazardous substances have yet to be remediated. Measurements of these substances are sufficiently high that the Bay Area Air District requires a formal health risk assessment of the remediation. Moreover, the demolition activities themselves could release these and other toxic compounds into the air.

A Phase 1 ESA Report dated June 10, 2020, concludes that:

"Subsurface impacts from former gasoline USTs and VOCs from a former dry cleaners will require mitigation and/or remediation prior to future residential occupancy." (p. 26)

Given this evidence of contamination of the project site, it is our understanding that the Maher Ordinance requires the developer to submit to the Department of Public Health a site mitigation plan, including a schedule for hazardous materials removal and remediation, and describing the handling, management, and mitigation of the contamination, followed by a final project report describing the implementation of the site mitigation plan and documentation of material disposal. Once the contamination is removed from the site, the Director provides a notification that the applicant has completed and complied with Article 22A.

We urge you to consider the outstanding hazardous substances conditions in connection with the further demolition or other work on the site.

Sincerely,

Aaron Peskin

cc: Elizabeth Watty elizabeth.watty@sfgov.org
Richard Sucre richard.sucre@sfgov.org
Don Lewis, Senior Planner don.lewis@sfgov.org
Lisa Gibson lisa.gibson@sfgov.org
Corey Teague corey.teague@sfgov.org

EXHIBIT I - 659 UNION FOR SALE

659 UNION

NORTH BEACH | SAN FRANCISCO

Marquee San Francisco Development Opportunity on Washington Square Park



EXECUTIVE
SUMMARY



659 UNION

RUSSIAN HILL

A MARQUEE SAN FRANCISCO CORNER



**659
UNION**



POWELL

UNION



COLUMBUS

GREEN

SAN FRANCISCO BAY

NORTH BEACH

ST. PETER & PAUL CHURCH

FILBERT

WASHINGTON SQUARE PARK

STOCKTON



THE OFFERING

Colliers, as Exclusive Advisor to the Seller, is pleased to present the opportunity to acquire 659 Union Street (the “Project” or “Property”), an 18,800 square foot trophy corner development parcel at the epicenter of San Francisco’s historic North Beach neighborhood. Today, the single parcel consists of the partially constructed front façade of a historic apartment building originally constructed in 1914 along Columbus and Union, as well as an occupied and functioning 2-level parking garage along Powell.

With over 282 feet of prized frontage on Union, Columbus, and Powell Streets, the Property sits across from and overlooks tree-lined Washington Square Park and is surrounded by the City’s most popular and vibrant eateries, bars, theaters, clubs, and nightlife. Available for the first time for purchase, 659 Union presents the development community the incredibly rare opportunity to acquire one of the largest parcels in North Beach on one of San Francisco’s marquee and irreplaceable corners. Flexible zoning permits a wide variety of uses: residential, retail, hotel, entertainment, student housing, EV charging, and more.

POSSIBLE DEVELOPMENT USES

RESIDENTIAL | RETAIL | HOTEL | STUDENT HOUSING | EV CHARGING



PROPERTY & SITE OVERVIEW

ADDRESS	659 Union Street, San Francisco, CA 94133
APN	0117-016
YEAR BUILT	1914
DESCRIPTION	Partially Demolished Historic Apartment Building, plus a Functioning 2-Level Parking Garage
TOTAL SITE AREA SQ. FT.	18,800
EXISTING GARAGE SQ. FT.	+/- 14,688
ZONING	NCD - North Beach Neighborhood Commercial
SPECIAL-USE-DISTRICTS	North Beach SUD; Group Housing SUD
HEIGHT & BULK DISTRICT	40-X
PERMITTED USES	Residential, Retail, Hotel, Entertainment, Student Housing, Electric Fleet Charging & more



SAN FRANCISCO BAY

COIT TOWER

FRONT DOOR ACCESS TO THE CITY'S HOTTEST AMENITIES



NORTH BEACH

STOCKTON

WASHINGTON SQUARE PARK

ST. PETER & PAUL CHURCH



FILBERT

UNION



COLUMBUS



FERRY BUILDING

 6 MIN.
 20 MIN.

FINANCIAL DISTRICT

 3 MIN.  8 MIN.

JACKSON SQUARE

OPPORTUNITY HIGHLIGHTS

- Marquee San Francisco Development Opportunity Overlooking Washington Square Park & St. Peter & Paul Church
- Situated in the Epicenter of North Beach, San Francisco's Most Lively & Sought-After Neighborhood with the City's Hottest Restaurants, Bars, Retail & Nightlife
- Irreplaceable Corner Location with 3-Sides of Frontage (Union, Columbus & Powell) – One of North Beach's Largest Privately Owned Parcels
- Flexible Zoning Permitting a Wide Variety of Uses: Residential Up to 107 Units, Retail, Hotel, Entertainment, Student Housing, Electric Fleet Charging & more
- Front-Door Access to Citywide Transit, Parks & Landmarks; Immediate Walking Distance to Downtown San Francisco & the Embarcadero Waterfront
- Generational Acquisition Opportunity Representing the First & Only Time the Parcel Has Ever Been Available for Purchase

GREEN

659
UNION



POWELL

659 UNION

NORTH BEACH | SAN FRANCISCO

EXCLUSIVE ADVISORS

WILL CLIFF

Vice President
415.686.6844
will.cliff@colliers.com
Lic. 01976818

TONY CROSSLEY

Executive Vice President
415.288.7807
tony.crossley@colliers.com
Lic. 00900574

TIM MAAS

Executive Vice President
415.288.7863
tim.maas@colliers.com
Lic. 00956740

DARREN KUIPER

Senior Vice President
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darren.kuiper@colliers.com
Lic. 01958824

ANDREW CHOUMAS

Financial Analyst
415.288.7870
andrew.choumas@colliers.com
Lic. 02177252



101 2nd St. | Ste. 1100
San Francisco, CA 94105
T: 415.788.3100 | colliers.com

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

REUBEN, JUNIUS & ROSE, LLP

April 16, 2026

President John Trasvina
San Francisco Board of Appeals
49 South Van Ness Ave., Suite 1475
San Francisco, CA 94103

Re: Respondent’s Response in Opposition of Appeal
Subject Property: 659 Union Street
Appeal No.: 26-019
Hearing Date: April 22, 2026

Dear President Trasvina and Commissioners:

Our office represents Powell Partners, LLC, the owner of a project at the property located at 659 Union Street (aka 1638-1658 Powell Street) and the respondent in this matter (the “**Respondent**” and the “**Property**,” respectively). The Property is located at the corner of Union Street and Columbus Avenue in the North Beach neighborhood, and the Respondent has been issued a demolition permit (BPA No. 2026.03.27.8418) to remove the entire existing structure at the Property in response to DBI Emergency Order 111280-E. This is a response to the Appeal of the demo permit filed on March 31, 2026 by Ms. Theresa Flandrich. (the “**Appellant**”). We request that the Board of Appeals deny the appeal. Our basis for this request follows:

I. Appellant’s Justification for Overturning Emergency Demo Permit is Based on Clerical Error

The approved demolition permit plans very clearly include an updated project description that references a “complete demolition.” (See attached as Exhibit A.) Further, the Planning Department’s signature on the back of the demolition permit makes no reference to a limited

demolition. (See attached as **Exhibit B.**) The conflicting note entered into the system by the planner was a clerical error and does not change the approved scope of work shown in the plans.

II. The Demolition Permit Was Properly Issued Based on Imminent Hazard Conditions

DBI issued the demolition permit pursuant to its authority to address unsafe structures posing an imminent threat to public safety. That determination is supported by multiple independent engineering evaluations and confirmed through site inspections. See **Exhibit C** for overview of expert opinion justifying the emergency demolition order (several of such letters and reports are referred to in this brief).

DBI conducted site visits on February 26, 2026, and March 18, 2026 (with participation from DPW), during which the condition of the structure was directly observed. These observations confirmed the continued deterioration of the remaining unreinforced masonry structure and the associated public safety risks.

III. Independent Engineering Reports Confirm a Serious and Imminent Hazard

Multiple independent engineers have concluded that the structure presents a life-safety hazard requiring immediate action. The February 26, 2026, memorandum by ShoreCal Engineering (Erwin O'Toole, P.E.) concludes that the building “remains in a critically unsafe condition” and poses a “serious life-safety hazard to the public and adjacent properties,” with an ongoing risk of partial wall collapse or progressive failure.

Similarly, the March 2, 2026, report by Dolmen Consulting Engineers identifies an “imminent seismic hazard,” noting that the remaining walls are unsupported, deteriorated, and susceptible to collapse, even under minor seismic loading conditions. Both reports emphasize:

- loss of roof and floor diaphragms
- reliance on expired temporary shoring

- ongoing masonry deterioration
- risk of out-of-plane wall failure.

These conclusions are consistent across independent evaluations and provide substantial evidence supporting DBI's determination.

IV. Temporary Shoring Was Not Intended as a Permanent Solution and Has Expired

Following the 2018 fire, temporary shoring was installed under emergency permits, with a maximum duration extending to April 12, 2019. As documented in the Dolmen report, these measures were explicitly temporary and not designed to meet current seismic or long-term structural performance standards. The continued reliance on expired temporary stabilization further supports the conclusion that the structure cannot be safely maintained. The northeast corner of the structure is of particular concern with an operational bus stop beneath three floors of unreinforced masonry braced by a wholly inadequate system.

V. Environmental Remediation Necessitates Demolition

The site is subject to environmental remediation requirements, including excavation to depths of approximately 12 to 15 feet below grade. As documented in the February 20, 2026, letter prepared by Frey Environmental, remediation will require full-depth excavation across the building footprint. Frey explains that this excavation will remove supporting soils beneath and adjacent to the existing walls, eliminating the lateral and vertical support that currently contributes to their stability. Under these conditions, retaining the existing unreinforced masonry walls is not feasible.

The required remediation work would further destabilize an already compromised structure, significantly increasing the risk of collapse during construction activities. Accordingly, demolition is not only appropriate but necessary to safely implement required environmental

remediation. Permanent mitigation of the Environmental hazard will include removal and disposal of contaminated material and the addition of a vapor barrier below the new concrete mat foundation.

VI. The Property Has Not Functioned as Housing for Over a Decade

Residential tenants vacated following the 2013 fire, and commercial tenants vacated after the 2018 fire. Since that time, the building has remained a fire-damaged shell with no habitable units. Accordingly, the demolition does not involve the removal of existing housing units and does not trigger replacement housing requirements.

VII. Planning Department Review Was Proper and Defers to DBI on Emergency Conditions

The Planning Department reviewed the permit and deferred to DBI's authority with respect to emergency demolition. The permit reflects appropriate interagency coordination. Any prior references to partial demolition are superseded by the final permit issued based on updated engineering and safety findings.

VIII. CEQA Does Not Apply to Emergency Demolition

The demolition permit is exempt from CEQA as an emergency action undertaken to address an imminent threat to public safety. The presence of a potential historic resource does not override the city's obligation to act to mitigate hazardous conditions.

IX. Conclusion

The record demonstrates that:

- Independent engineers have determined the structure poses an imminent life-safety hazard;
- Site inspections by DBI and DPW confirm the deteriorated condition.

- Temporary stabilization measures have expired and are inadequate.
- Required environmental remediation will further destabilize the structure;
- No housing units are being removed; and
- The demolition permit application and plans were approved for a complete demolition that comprised the entire structure, not just a wall.

For these reasons, DBI's issuance of the demolition permit was proper and should be upheld.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP

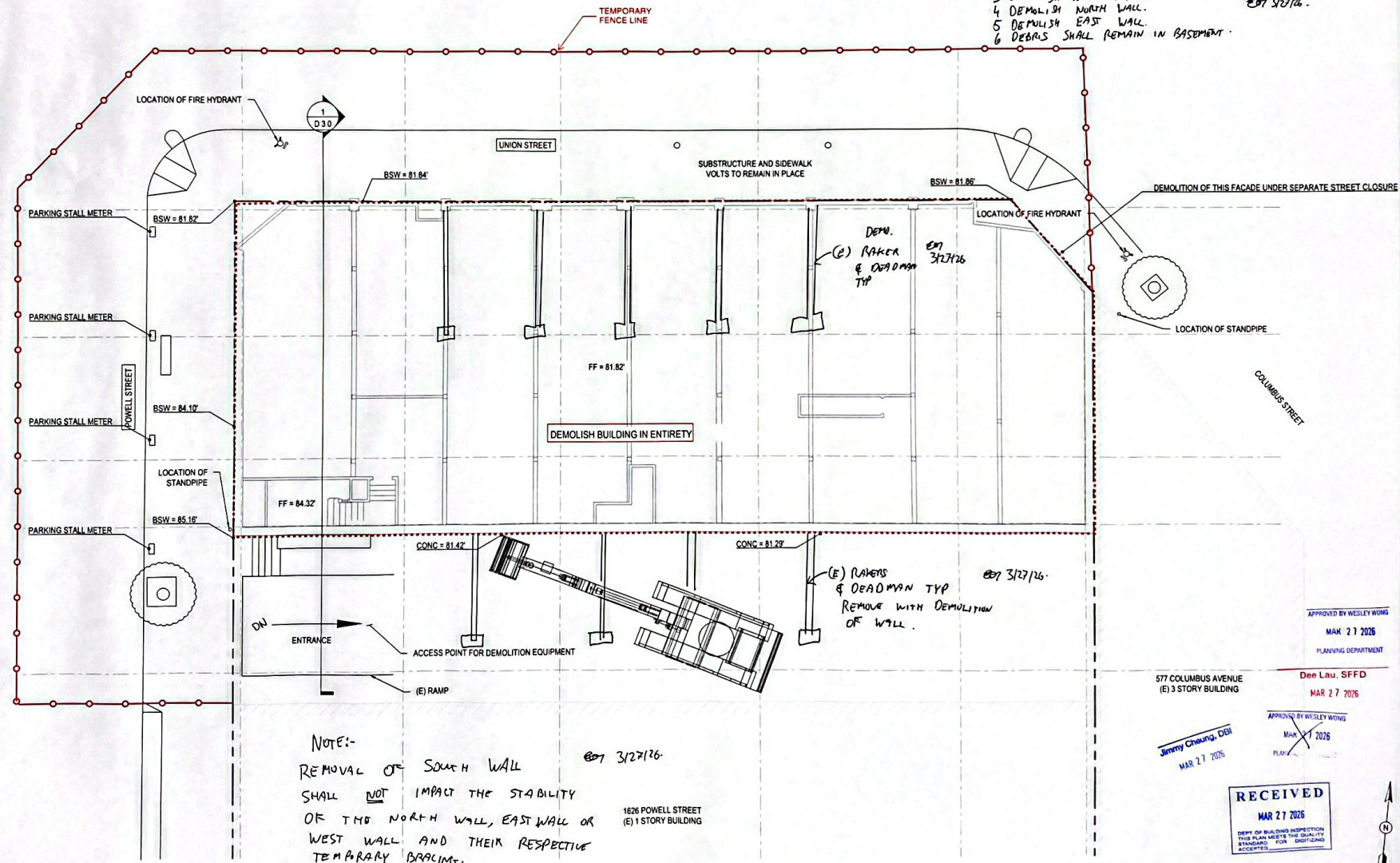


John Kevlin

cc: Rebecca Saroyan, Vice-President
Robin Abad Ocubillo, Commissioner
Jose Lopez, Commissioner
Lily Wong, Commissioner
Julie Lamarre, Executive Director

EXHIBIT A

- DEMOLITION SEQUENCE:
 SOUTH WALL
1. BEGIN DEMOLITION FROM REAR CONCRETE YARD LOCATED AT THE SOUTH OF THE BUILDING. MOVE DEMOLITION EQUIPMENT INTO CONCRETE YARD USING THE EXISTING RAMP AS SHOWN ON THE PLAN.
 2. USING TRACK MOUNTED EXCAVATOR WITH A HOE RAM AND / OR BUCKET & THUMB ATTACHMENT DEMOLISH THE SECTION OF BRICK WALL AS SHOWN ON THE PLAN.
 3. DEMOLISH WEST WALL. *EM 3/27/26*
 4. DEMOLISH NORTH WALL.
 5. DEMOLISH EAST WALL.
 6. DEBRIS SHALL REMAIN IN BASEMENT.



NOTE:-
 REMOVAL OF SOUTH WALL *EM 3/27/26*
 SHALL NOT IMPACT THE STABILITY
 OF THE NORTH WALL, EAST WALL OR
 WEST WALL AND THEIR RESPECTIVE
 TEMPORARY BRACING.
 1626 POWELL STREET
 (E) 1 STORY BUILDING

1 DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

REVISIONS	NO.	DATE	DESC.
 SHORECAL Engineering Inc. 1663 MISSION STREET, SUITE 501 SAN FRANCISCO, CA 94110 PHONE: 415-531-1009 EMAIL: erwin@shore-cal.com			
SHORING ENGINEER: ERWIN O'TOOLE, PE 1663 MISSION STREET, SUITE 501 SAN FRANCISCO, CA 94110 PHONE: 415-531-1009 EMAIL: info@shore-cal.com			
 Erwin O'Toole			
DEMOLITION AT 659 UNION STREET 659 UNION STREET SAN FRANCISCO, CALIFORNIA 94133 BLOCK 0817 LOT 016			
 MAR 27 2026			
PROJECT NUMBER		SCALE	
DRAWN BY		AS NOTED	
CHECKED BY		EOT	
RECEIVED MAR 27 2026 <small>DEPT. OF BUILDING INSPECTION THIS PLAN MEETS THE QUALITY STANDARDS FOR DIGITIZING ACCEPTED</small>			
DEMOLITION PLAN			
D 2.0			

USA NORTH
 CALL BEFORE YOU DIG
 DIAL 811 48 Hrs PRIOR TO
 1. DRILLING SOLDIER BEAMS
 2. EXCAVATION

REVISIONS NO.	DATE	DESC.

SHORECAL
 Engineering Inc.
 1663 MISSION STREET, SUITE 501
 SAN FRANCISCO, CA 94103
 PHONE: 415-531-1009
 EMAIL: enr@shore-cal.com

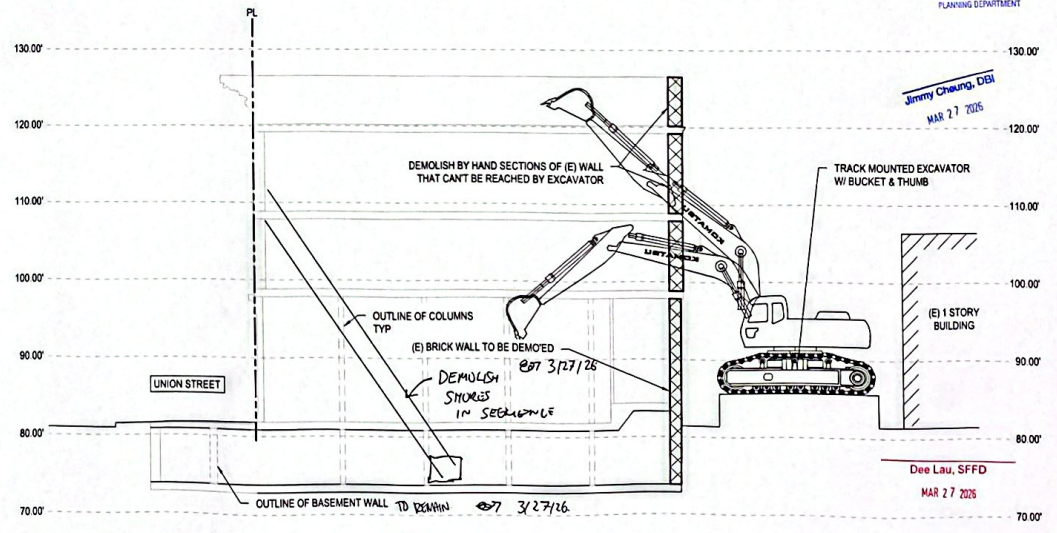
SHORING ENGINEER:
 ERWIN O'TOOLE, PE
 1663 MISSION STREET, SUITE 501
 SAN FRANCISCO, CA 94110
 PHONE: 415-531-1009
 EMAIL: info@shore-cal.com



Erwin O'Toole

APPROVED BY WESLEY WONG
 MAR 27 2026
 PLANNING DEPARTMENT

Jimmy Cheung, DBI
 MAR 27 2026



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

DEMOLITION AT 659 UNION STREET
 659 UNION STREET
 SAN FRANCISCO, CALIFORNIA 94133
 BLOCK: 0117 LOT: 016

 MAR 27 2026

PROJECT NUMBER SCALE AS NOTED
 DRAWN BY CHECKED BY
 JD EOT

ELEVATIONS

D 3.0

EXHIBIT B

JOB ADDRESS: 659 PARTNERS
OWNERS NAME: POWELL PARTNERS
EMPLOYMENT OF SPECIAL INSPECTOR
AS THE OWNER'S REPRESENTATIVE
ACTING AS THE OWNER'S REPRESENTATIVE
INSPECTOR REQUIRED. STAFF

London N. Breed, Mayor
Patrick O'Riordan, Interim Director

CONDITIONS AND STIPULATIONS

APPROVED: OTL, in consultation with Director Rich

HISTORIC LANDMARK? YES NO

success. DBI has granted emergency demo. PC defers to DBI.

APPROVED BY Wesley Wong

MAR 27 2026

PLANNING DEPARTMENT

CITY PLANNING

APPROVED: _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

DATE: _____

REASON: _____

NOTIFIED MR. _____

EXHIBIT C

REUBEN, JUNIUS & ROSE, LLP

John Kevlin
jkevin@reubenlaw.com

March 5, 2026

Submitted Via Email (Patrick.oriordan@sfgov.org)

Patrick O’Riordan, Director
Department of Building Inspection
49 South Van Ness Avenue
San Francisco, CA 94103

**Re: Emergency Order for Serious and Imminent Hazards
1638 Powell Street (Block/Lot: 0117/016)
Our File No.: 8763.06**

Dear Director O’Riordan:

Our office represents Redbridge Partners SF, LLC (the “**Owner**”) in connection with the property located at 1638-1656 Powell Street in San Francisco (Block/Lot: 0117/016; the “**Property**”). In 1916 the Verdi building was constructed at the Property: a three-story building with 28 units on the upper two floors and retail on the ground floor. Two fires, one in 2013 and a second in 2018, caused substantial damage to the building at the Property. The purpose of this letter is to summarize the expert analysis regarding the dangerous condition of the remaining severely fire-damaged structure at the site and to request the Building Official issue an Emergency Order to demolish the existing structure at the Property pursuant to Section 102A.16 of the San Francisco Building Inspection Commission Codes (“**Building Code**”).

A. Background

On January 15, 2020, KCE Matrix Consulting Engineers – a structural engineering firm which specializes in assessing structural integrity and hazards – submitted a request for the Department of Building Inspection (“**DBI**”) to evaluate whether the building at the Property was in imminent hazard of collapse, and whether an emergency demolition permit should therefore be granted. In response to the request, DBI staff performed a site visit and summarized its structural observations in Report No. 20200124, dated January 24, 2020 (the “**Report**”); attached as **Exhibit A**). In relevant part, the Report noted the following:

[s]ignificant fire damage was observed in elements of the floor gravity support system and the interior cross walls inside the building. The entire roof and third floor diaphragm framing has been removed, half of the diaphragm framing is remained at second floor and approximately three-quarter of diaphragm is remain at first

floor. Temporary shoring supporting the existing masonry walls was observed, and no failure or fallen masonry was observed at the time of our site visit.

The Report concluded that there was no obvious indication the building structure was in imminent hazard of collapse. In the Report, DBI recommended the project consulting team “re-evaluate the existing temporary shoring system and to provide temporary bracing to correct the existing open front condition.” DBI’s recommended actions in the Report included that the project owner “get another structural engineer on board to provide an additional evaluation report for the existing building condition” with DBI to approve the selection of the new structural engineer.

The following month, on February 18, 2020, KCE Matrix wrote a letter after reviewing the Report (the “**2020 Letter**”; attached as **Exhibit B**). According to the 2020 Letter, the basis of DBI’s demolition request denial was to remedy the perilous and unsafe condition with permanent shoring in lieu of the existing temporary bracing. In the 2020 Letter, KCE Matrix considered, almost 2 years after the temporary shoring was in place, a permanent bracing design integral to building floors and roof restoration and remedying the front façade elevation for perilous weak conditions. KCE Matrix explained that to “engineer a permanent bracing system integrating new floors, roof and front façade frames, with piles and shotcrete would require a finalized architectural design of the building interiors with unit configurations design and common area amenities design.” To implement and process approvals of the plans and amenities, a licensed architect would need to be engaged, and the process of design development, preparing construction documents, and obtaining city approval would take at least 12 months.

KCE Matrix explained in the 2020 Letter that integrating final design as permanent shoring would delay rectifying unsafe conditions of the current structure another year. Further, if KCE Matrix remedied the soft story façade for temporary shoring, the repairs would be cost over \$200,000 and would ultimately be discarded for permanent shoring. Alternatively, permanent shoring for the walls would cost approximately \$3,000,000, excluding the floors and roofs. In the 2020 Letter, KCE Matrix explained that permanent shoring “would result in economic infeasibility as the retrofit of the front façade will easily exhaust productive project funds of over 3 million dollars or more, and produce a design of shoring that will encroach on the already restricted interior spaces of the normal development.” Additionally, interior bracing would further intrude into interior space plans and cost several hundred thousand dollars. KCE Matrix found it would “cost several million dollars to just stabilize this structure for seismic safety.”

In several more recent memorandums prepared in early 2025 by a second structural engineering firm, ShoreCal Engineering Inc., further highlighted the imminent hazard to the public health and safety posed by the existing structure.

First, a February 3, 2025, report provided a second, independent assessment of the structural integrity of the structure (the “**2025 Structural Report**,” attached as **Exhibit C**). The 2025 Structural Report highlighted the structure’s inconsistency with current seismic standards, which was exacerbated by the two fires. The report then concluded the following:

- Immediate Collapse Hazard: The weakened structure poses a risk of sudden collapse, especially during aftershocks and **strong winds**. (Emphasis added.)
- Falling Debris Risk: Loose bricks, failed mortar joints, and unstable floors create dangers for pedestrians and adjacent properties.
- **The risk of structural collapse poses an immediate danger to public safety and adjacent buildings.** (Emphasis added.)

A March 7, 2025, memorandum addressed to DBI to bring immediate attention to a serious structural hazard at the Property (the “**2025 Memo**”; attached as **Exhibit D**). The memo explained that, at the Property, “there are brick walls that are out of plane on Powell St” and the brick walls appear “to be getting more out of plane.” The 2025 Memo also notes severe foundation cracks and compromised load-bearing walls, which together “indicate that the building is at risk of **COLLAPSE** particularly during a **MINOR SEISMIC EVENT**.” The author of the 2025 Structural Report and Memo, a licensed civil engineer with 25 years of experience in structural engineering, determined the structure at the Property “**poses an imminent threat to the safety of its occupants and the public.**”

In a February 19, 2026, letter, Frey Environmental, Inc., the owner’s environmental consultant, provides a summary of the ongoing soil remediation cases with the Regional Water Quality Control Board and the fact that remediation will require excavation of soils at the site 12 to 15 feet below ground surface level (attached as **Exhibit E**). The letter makes the plain conclusion that the existing shoring and remaining walls at the site will need to be removed in order to achieve this required remediation.

Importantly, the Owner has had architectural plans prepared for a new, 85-foot tall residential building at the Property and filed an SB 423 application in the fall of 2025. Due to the Property’s inclusion on the Cortese List, the Planning Department will not accept this application until the environmental remediation is complete – which cannot occur until the existing structure at the Property is demolished. (See architectural plan set, attached as **Exhibit E**.)

In February 2026, ShoreCal Engineering prepared an update to their previous 2025 Report and Memo (attached as **Exhibit G**), summarizing current conditions based on a recent visit to the site. In particular, ShoreCal found:

Visual observations indicate ongoing deterioration of the masonry walls, including cracking, out-of-plane displacement, and weakened mortar. In several locations, masonry units appear poorly bonded and susceptible to dislodgement under relatively minor loading. These conditions significantly reduce the walls’ ability to resist lateral forces, including those associated with wind or seismic events.

The report then concludes:

Based on the cumulative effects of multiple fire events, the near-total loss of roof and floor diaphragms, prolonged environmental exposure, ongoing masonry deterioration, and the continued reliance on expired temporary stabilization measures, the structure remains in a critically unsafe condition.

Finally, a third independent structural engineer, Dolmen Consulting Engineers, was hired by the Owner to prepare yet another report in March of 2026 on the structure condition of the structure at the Property (attached as **Exhibit H**). The report concludes the existing structure does not meet multiple seismic standards under the California Existing Building Code, in particular, the walls exceeding the max height to thickness ratio, parapets exceeding maximum heights, and the lack of wall anchorage (and inability to even construct anchorage). This report concludes by highlighting the following:

[We] found that prolonged exposure to weather, both fires, and the subsequent fire-fighting efforts have weakened the mortar in the walls. It was easy for [us] to remove individual bricks with our bare hands from two separate locations.

Three structural engineering firms have now identified critical deficiencies that necessitate urgent intervention in their assessments of the Property. In addition to the 2025 Memo, detailed assessment reports were included with both ShoreCal Engineering Inc.'s and KCE Matrix's evaluations with in-depth documentation of a demolition permit application and the risk abatement. The 2025 Memo requested DBI issue an emergency demolition permit in accordance with Building Code Section 102A.16 regarding Serious and Imminent Hazards – Emergency Orders due to the gravity of both engineers' findings. ShoreCal Engineering Inc. and Dolmen Consulting Engineers have provided updated reports within the last month emphasizing the deteriorating condition of the structure.

B. Serious and Imminent Hazards – Emergency Orders

As described above, the structure at the Property presents a serious and imminent hazard unless demolished. Pursuant to San Francisco Building Code Section 102A.16, the Building Official must ensure structures in the City do not constitute “an imminent and substantial hazard to the life, health or safety of the occupants or other persons.” Expert analysis has been provided by two independent professional engineering firms regarding the hazardous status of the structure at the Property. The 2025 Report and Memo expressly conclude the existing structure poses an imminent threat to public health and safety.

Given the current status of the structure at the Property, expert analysis regarding the structure, we are requesting the Building Official issue an emergency order to demolish the existing structure at the Property.

The ongoing presence of the fire-damaged structure at the Property is an imminent threat to public safety. At this juncture, the Owner has no other feasible remedy to pursue to protect the public other than this formal request for an emergency demolition permit.

C. **Conclusion**

We respectfully request the Building Official issue an Emergency Order pursuant to Section 102A.16 of the Building Code to demolish the remaining structure at the Property.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP

A handwritten signature in blue ink, appearing to read "John Kevlin". The signature is fluid and cursive, with the first name "John" being more prominent than the last name "Kevlin".

John Kevlin

cc: Matthew Greene (matthew.greene@sfgov.org)
David Kane (david.kane@sfgov.org)
Ken Gonzalez (ken.gonzalez@sfgov.org)
Tate Hanna (tate.hanna@sfgov.org)



DEPARTMENT OF BUILDING INSPECTION

City & County of San Francisco
1660 Mission Street, 2nd Floor, San Francisco, California 94103-2414
(415) 558-6001/558-6133 Fax (415) 558-6041

FIELD REPORT

January 24, 2020

Street Address: 1656 Powell Street / 659 Union Street
Report No.: 20200124

Block / Lot: 0117 / 016

Date/Time of Visit: January 15, 2020 / 11:00 am

Site Visit: Gary Ho, Plan Review Services Manager
Richard Tam, DBI Engineer
Cyril Yu, DBI Engineer
Bernie Curran, DBI Building Inspector

Type of Construction: 3B
Occupancy Classification: R-2,B,M
No. of Stories: 3-Story over Basement

Background

DBI Building Inspector Bernie Curran, DBI Plan Review Services Manager Gary Ho, DBI engineers Richard Tam and Cyril Yu responded to a request from KCE Matrix Consulting Engineers on January 15, 2020 at 11:00 am to evaluate whether the building at its existing condition will be considered as an IMMEDIATE HAZARD OF COLLAPSE and shall be GRANTED with an emergency demolition permit.

Structural Observations

The building at the above referenced site is a rectangular 3-story wood framed timber floor with exterior brick masonry walls over 1-story of basement. This building is classified as an Unreinforced Masonry Load Bearing Wall Building (UMB) as per our San Francisco Existing Building Code. The building is located at corner of Powell Street and Columbus Street. This building has been seismic strengthened in 2004 under the San Francisco UMB Retrofit Program.

Significant fire damage was observed in elements of the floor gravity support system and the interior cross walls inside the building. The entire roof and third floor diaphragm framing has been removed, half of the diaphragm framing is remained at second floor and approximately three-quarter of diaphragm is remain at first floor. Temporary shoring supporting the existing masonry walls was observed, and no failure or fallen masonry was observed at the time of our site visit. There is no obvious indication that this building structure is an IMMEDIATE HAZARD OF COLLAPSE and be GRANTED an emergency demolition permit at the present time, provide that the shoring system was properly designed for the duration of period prior to retrofit.

Follow up Meeting with the Project Consulting Team

A follow up meeting with the project consulting team was took place on January 23, 2020 at DBI office. Attendees are as follow:

- Daniel Lowrey, DBI Deputy Director
- Gary Ho, DBI Plan Review Services manager
- Richard Tam, DBI Engineer
- Patrick O’Riordan, DBI Chief Building Inspector
- Jeff Jurow, Property Owner
- Vahe Kardjian, KCE Matrix Consulting Engineer
- Ahmad Larizadeh, Owner’s Permit Consultant

The owner’s consulting engineer, Vahe Kardjian, has most concern in regarding the existing masonry wall facing Union Street where very limited structural integrity, very limited shear capacity and is considered as a soft story condition under the seismic circumstance. DBI recommend the project consulting team to re-evaluate the existing temporary shoring system and to provide temporary bracing to correct the existing open front condition.

Recommended Actions

DBI agreed with the project owner for him to get another structural engineer on board to provide an additional evaluation report for the existing building condition, the selection of the new structural engineer will be upon approval by DBI. DBI has expressed our concern in regarding the temporary shoring system which was already expired for the one year period, and DBI has not received any retrofit plan from the Project Consulting Team. DBI will require the Project Consulting Team to submit permit for the re-evaluation of the existing shoring system for a longer duration of time base on the estimated date of the retrofit and bring the building up to the building code requirement.

Report prepared by:



Richard Tam, S.E., Building Plans Engineer, PRS Division

Report reviewed & approved by:



Daniel Lowrey, Deputy Director, DBI Permit Services

February 18, 2020

Alexis Pelosi
Pelosi Law Group
12 Geary Street, Suite 802
San Francisco, CA 94108

Subject: 1656 Powell Street: Unreinforced Masonry Walls

Dear Ms. Pelosi,

At your request, I have reviewed the Letter of Denial from San Francisco DBI for demolition of URM walls, in peril. The basis of demolition request denial is a decision by DBI to remedy the perilous and unsafe condition be engineered for permanent shoring (bracing) in lieu of currently temporary bracing.

You also raised the alternate solution for permanent shoring (bracing) by designing floor and roof diaphragms of the charred structure to permanently restore the floor and roof structure to act as permanent shoring mechanisms, coupled with additional necessary structural lateral load resisting elements/mechanisms to restore the front façade along Union Street to be permanently braced. This alternative is more desirable in the hopes that permanent shoring can be integral to future building design within these walls.

At this juncture, almost 2 years after the temporary shoring being in place, KCE Matrix is being asked to consider permanent bracing design integral to building floors and roof restoration and remedying the front façade elevation for perilous weak conditions.

To engineer a permanent bracing system integrating new floors, roof and front façade frames, with piles and shotcrete would require a finalized architectural design of the building interiors with unit configurations design and common area amenities design.

A licensed architect has to be engaged by owners to plan, design, and implement and process approvals of these plans and amenities. This process of design development and construction documents preparation and city approvals will undoubtedly take 12 months, if not more. So, this concept of integrating final design as permanent shoring will delay rectifying unsafe conditions of current structure, another year. If KCE remedies the current soft story façade for temporary shoring, the repairs will waste over \$200,000 because this repair will be discarded for permanent shoring.

Alternatively, if KCE Matrix can provide structural design of permanent shoring for the walls, the design will incorporate piles, some shotcrete, and moment frames, explained in previous communication, which will cost approximately 3 million dollars, excluding the floors and roofs.

If San Francisco DBI would consider extending the period of temporary shoring by perhaps another 18 months, it would be technically feasible to implement the idea of permanent shoring with the redesign of the overall structure; however, this would result in economic infeasibility as the retrofit of the front facade will easily exhaust productive project funds of over 3 million dollars or more, and produce a design of shoring that will encroach on the already restricted interior spaces of the normal development.

Not forgetting an additional interior bracing system of lateral load resisting mechanism with piled foundation would be required for transverse direction stability, which would further intrude into interior space plans of the normal development and cost another several hundred thousand dollars, I doubt the architect can make good use of available space in this building with such an intricate plan.

No matter what the intent of the community and city is, it will cost several million dollars to just stabilize this structure for seismic safety.

Let me know how you wish to proceed so I could be discussing such plans with your architectural consultants.

Sincerely,

Vahe Kardjian, P.E.
KCE Matrix Inc.



REFERENCE DOCUMENTS:

1. ARCHITECTURAL PLANS BY GOULD EVANS, LAST DATED JANUARY 31st, 2022
2. SITE PLAN BY LUK & ASSOCIATES, DATED JANUARY 31st, 2022

PROJECT DESCRIPTION AND SCOPE OF WORK

THE SUBJECT PROPERTY IS A 3 STORY BRICK BUILD NG WITH A BELOW GRADE BASEMENT. ALL INTERIOR SPACES WERE DESTROYED BY FIRES N 2013 AND AGA N 2018. THE WORK SCOPE REQUIRES DEMOLITION OF AN APPROXIMATELY 50' SECTION OF BRICK WALL AT THE REAR (SOUTH) OF THE BUILD NG. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH DEMOLITION PERMIT ISSUED BY THE CITY OF SAN FRANCISCO AND WITH CITY'S CONSTRUCTION AND DEMOLITION WASTE RECYCLING PROGRAM AND OTHER APPLICABLE JURISDICTIONAL REGULATIONS.

DEMOLITION ACTIVIT ES ARE ESTIMATED TO COMPLETE WITHIN 45 WORK NG DAYS FROM THE START INCLUDING ALL PRE-DEMOLITION WORK AND REMOVAL OF ALL DEMOLITION DEBRIS FROM THE PROJECT SITE.

THE EXISTING IMPROVEMENTS HAVE BEEN DETERMINED TO BE IN EXCESS OF 25 FEET N HEIGHT AND THEREFORE ARE SUBJECT TO COMPLIANCE WITH SECTION 3303.1 OF THE S.F.B.C.

SHEET INDEX

- D 1.0 COVER SHEET
- D 1.1 DEMOLITION DETAILS
- D 2.0 DEMOLITION PLAN
- D 3.0 ELEVATIONS
- D 4.0 REPORT

S.F.B.C. SECTION 3303.1.2 NOTES

S.F.B.C. 3303.1.2 REQUIRES THE FOLLOWING INFORMATION TO BE INCLUDED ON DEMO PLANS:

1. SEQUENCE OF DEMOLITION: SEE SEQUENCE OF DEMOLITION NOTES THIS PAGE & NEXT PAGE.
2. LOCATION OF STANDPIPE: TWO STANDPIPES AND TWO FIRE HYDRANTS ARE PRESENT AT THE SUBJECT PROPERTY, AS NOTED ON D 2.0.
3. TRUCK CRANE EQUIPMENT: DEMOLITION OF THE STRUCTURE SHALL BE PERFORMED USING HYDRAULIC TRACK MOUNTED EXCAVATORS. THIS EQUIPMENT SHALL WORK WITHIN THE PROPERTY BOUNDARIES AND DOES NOT REMAIN STATIONARY DURING DEMOLITION OPERATIONS, AS SUCH NO POSITIONING OF A TRUCK CRANE IS NECESSARY.
4. FENCE OR BARRICADE WITH LIGHTS: ALL DEMOLITION OPERATIONS SHALL BE PLANNED AND SCHEDULED TO COMPLETE DURING DAYLIGHT HOURS AND PUBLIC FACILITIES SHALL BE RESTORED TO PUBLIC USE FROM ANY TEMPORARY CLOSURES DURING DAYLIGHT HOURS SUCH THAT NO LIGHTING IS REQUIRED TO SUPPLEMENT CITY STREET LIGHTS.
5. ANY FLOOR OR WALL LEFT STANDING: ALL DEMOLITION OPERATIONS SHALL BE PLANNED AND SCHEDULED SUCH THAT DAILY OPERATIONS SHALL RESULT IN COMPLETE DEMOLITION OF STRUCTURAL SYSTEMS. PARTIALLY DEMOLISHED STRUCTURAL SYSTEMS SHALL NOT BE LEFT UNATTENDED. ANY STRUCTURAL SYSTEMS LEFT STANDING SHALL BE SELF-SUPPORTING AND ABLE TO RESIST APPROPRIATE LATERAL LOADS. THE DEMOLITION ENGINEER SHALL REVIEW ALL SUCH STRUCTURES LEFT STANDING AND MAKE RECOMMENDATIONS ON ANY TEMPORARY SHORING NECESSARY OR EXTENSIONS OF WORK HOURS TO REMOVE ANY HAZARDOUS CONDITIONS FROM THE JOB SITE.

DAILY SCHEDULE: HOURS OF NORMAL OPERATIONS SHALL BE MONDAY THROUGH FRIDAY 7:00AM TO 5:00PM. HOURS OF OPERATIONS SHALL BE EXTENDED AS NEEDED TO COMPLETE DEMOLITION SEQUENCES SUCH THAT NO HAZARDOUS CONDITIONS ARE LEFT UNATTENDED DURING OFF HOURS.

GENERAL NOTES:

1. THE CONTRACTOR SHALL ERECT TEMPORARY FENCING ALONG THE PROJECT SITE AND THE SITE SHALL REMAIN ACCESSIBLE TO THE PUBLIC.
2. ALL ADJACENT PUBLIC AND PRIVATE PROPERTY, BUILDINGS, AND OTHER IMPROVEMENTS SHALL BE PROTECTED DURING DEMOLITION.
3. DURING DEMOLITION THE AREA BEING DEMOLISHED SHALL BE SPRAYED WITH WATER AS REQUIRED FOR DUST CONTROL.
4. ALL WORKERS SHALL WEAR HARD HATS AND SAFETY GOGGLES AT ALL TIMES AND SHALL OTHERWISE COMPLY WITH OSHA SAFETY ORDERS FOR APPLICABLE WORK.
5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND CAUSE SUCH UTILITIES TO BE DISCONNECTED AND/OR REMOVED TO BEYOND PROJECT LIMITS.
6. PROVIDE PROTECTION OF PEDESTRIANS PER S.F.B.C. SECTION 3306.
8. THE SAFETY OF PERSONNEL AND PROPERTY DURING DEMOLITION WORK AND DURING OFF HOURS BETWEEN DEMOLITION ACTIVITY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A 10.6, CURRENT EDITION, THE CITY AND COUNTY OF SAN FRANCISCO BUILDING CODE, AND ALL OTHER APPLICABLE STATE AND LOCAL AGENCIES HAVING JURISDICTION.
10. SEQUENCE OF DEMOLITION: CONTRACTOR SHALL FOLLOW THE SEQUENCE OF DEMOLITION AS DESIGNATED BY THE DEMO PLAN. ANY ALTERATIONS TO THE SEQUENCE OF DEMOLITION NECESSITATED BY SITE CONDITIONS SHALL BE AT THE DIRECTION OF THE ENGINEER. A SEQUENCE OF DEMOLITION FOR THE BUILDING OR FOR A STRUCTURALLY INTERDEPENDENT AREA OF THE BUILDING SHALL BE COMPLETED BEFORE CEASING OPERATIONS FOR THE DAY. WHERE IT IS UNFEASIBLE TO COMPLETE A SEQUENCE BEFORE CEASING OPERATIONS, CONTRACTOR SHALL PROVIDE SHORING, BACKFILL, AND/OR OTHER MEANS OF SUPPORT TO ELIMINATE ANY HAZARDOUS CONDITIONS DURING OFF HOURS. NO UNSUPPORTED WALLS, COLUMNS, OR ABOVE HEAD STRUCTURES SHALL BE LEFT UNATTENDED BY CONTRACTOR.
11. SPECIAL INSPECTIONS SHALL BE PROVIDED PER S.F.B.C. SECTION 3303.7 SEE S.F.D.B.I. SPECIAL INSPECTION REQUIREMENTS ATTACHED TO PERMIT PLANS.

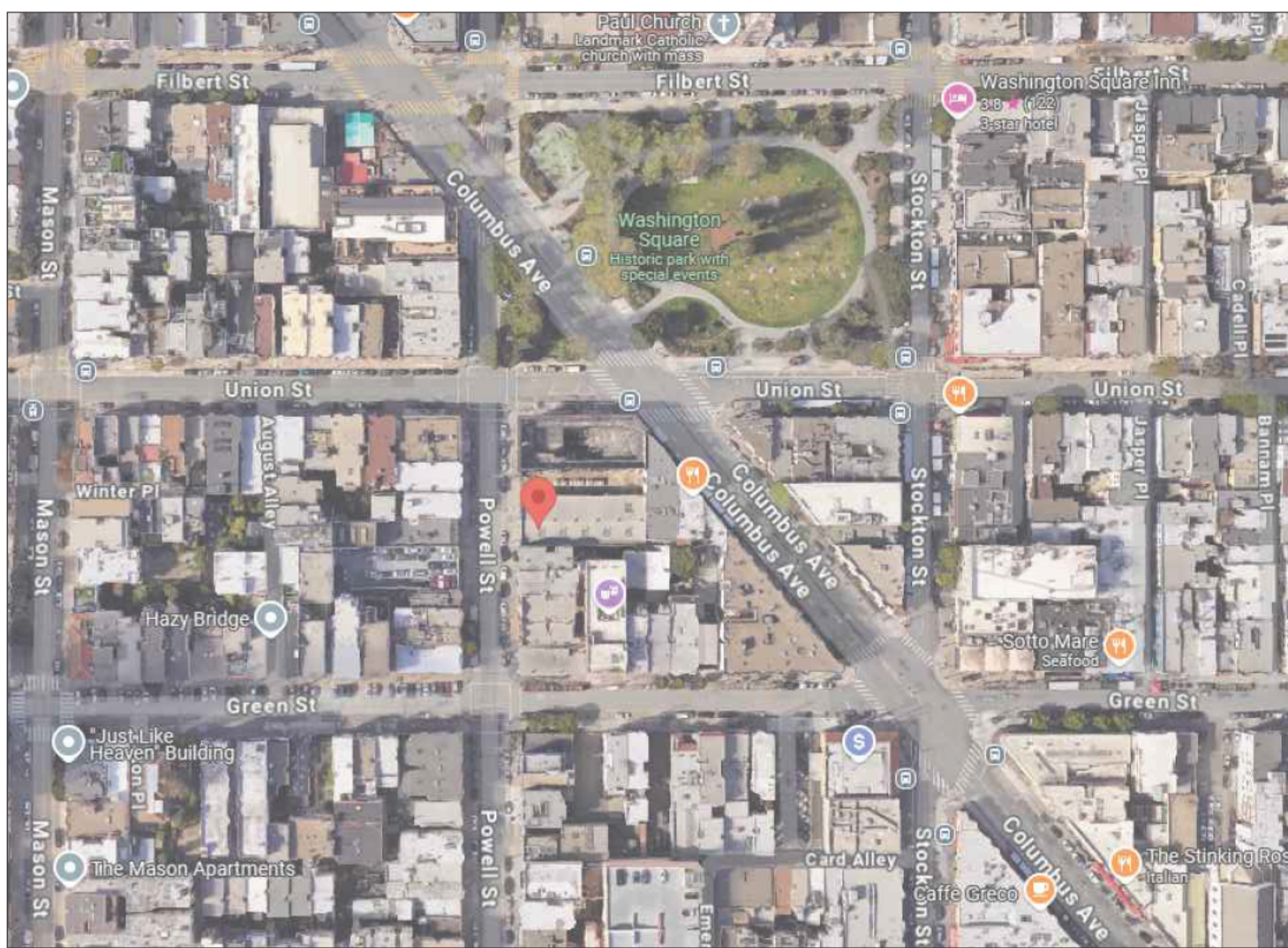
SEQUENCE OF DEMOLITION NOTES

PRE-DEMOLITION

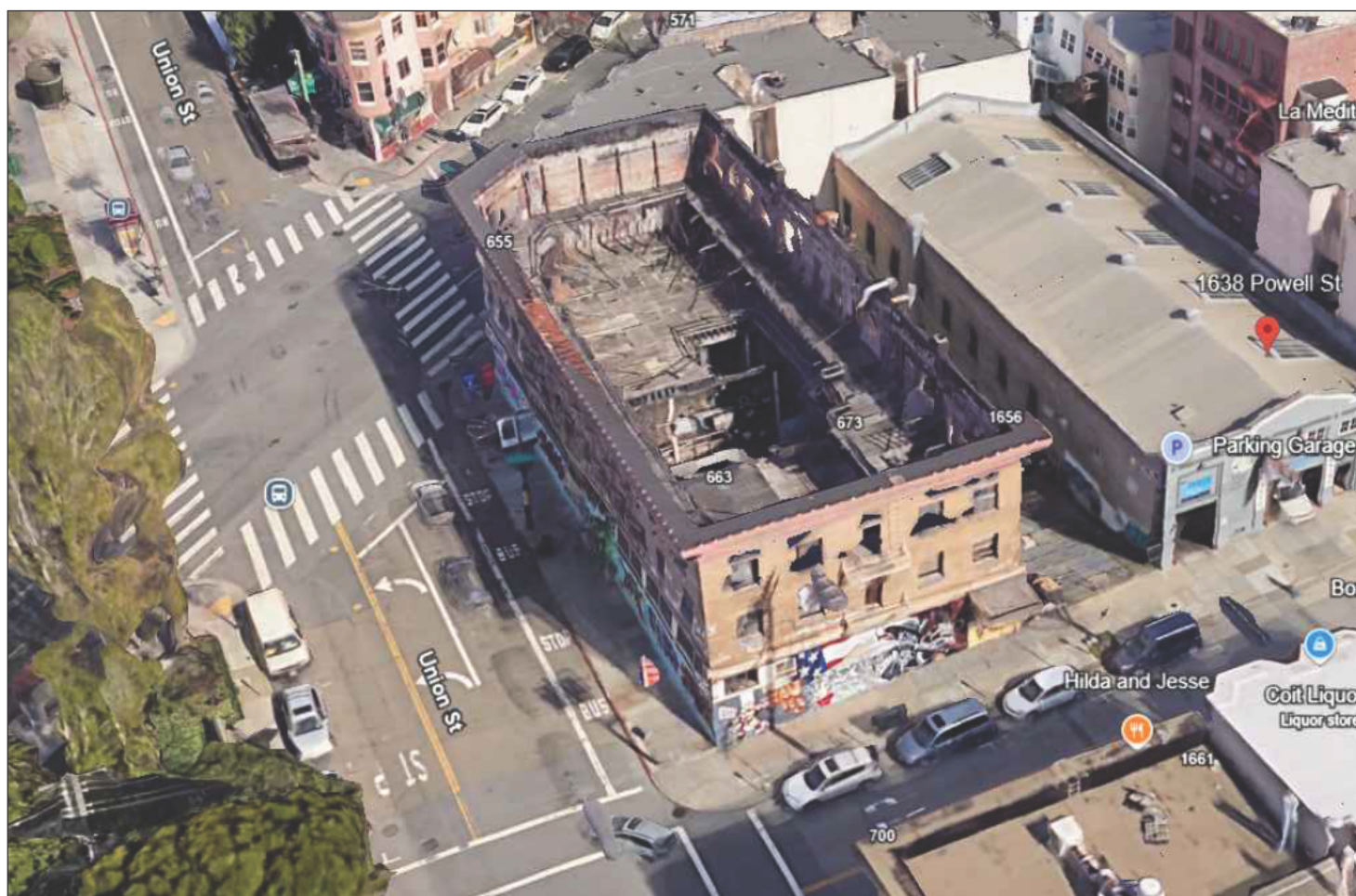
1. ALL HAZARDOUS MATERIALS SHALL BE REMOVED FROM THE BUILDING AND THE BUILDING SHALL BE CERTIFIED HAZARD FREE BEFORE PROCEEDING.
2. VERIFY ALL UTILITIES HAVE BEEN DE-COMMISSIONED, DE-ENERGIZED, AND/OR CAPPED AT THE PROPERTY LINE PRIOR TO PROCEEDING. NOTE THAT THE SITE IS FREE OF OVERHEAD UTILITIES. NO COORDINATION OF DEMOLITION ACTIVITIES WITH OVERHEAD UTILITIES IS THEREFORE REQUIRED.
3. SECURE THE SITE WITH FENCING, BARRICADES, TRAFFIC CONTROLS, AND OTHER FACILITIES AS REQUIRED TO PROTECT NEIGHBORING AND PUBLIC PROPERTY AND AS REQUIRED TO PROTECT THE PUBLIC AS ALSO INDICATED IN THE GENERAL NOTES.
 - a. PROVIDE SIGNAGE AND FLAGMEN AS REQUIRED BY B.S.M. FOR SIDEWALK CLOSURE. SIGNAGE SHOULD STATE: "SIDEWALK CLOSED" - LOCATE SIGNS AT OPPOSITE ENDS OF SIDEWALKS AND AT OPPOSITE ENDS OF SIDEWALK WITHIN THE BLOCK DURING SIDEWALK CLOSURES.
 - b. OBTAIN STREET SPACE PERMITS FROM S.F.D.P.W. FOR THE DURATION OF DEMOLITION WORK. NOTE THAT HOURS SHALL FURTHER BE LIMITED BY S.F. BUREAU OF STREET USE AND MAPNG PERMITS FOR STREET SPACE USE OF SIDEWALK OR LANE CLOSURES AS REQUIRED FOR CERTAIN DEMO ACTIVITIES.
4. REMOVE ALL EQUIPMENT, FURNISHINGS, SALVAGEABLE INTERIOR FINISHES AND FIXTURES PRIOR TO STRUCTURAL DEMOLITION.

STRUCTURAL DEMOLITION SEQUENCE

5. DEMOLISH ROOF AND SECONDARY LOAD CARRYING MEMBERS IN ENTIRETY. PRIMARY MEMBERS ARE TO REMAIN IN PLACE.
6. SEE DEMOLITION NOTES ON NEXT PAGE FOR SEQUENCING DEMOLITION.
7. REMOVE GROUND FLOOR SLAB AND SLAB ON GRADE PORTIONS OF AREA OF BUILDING DOWN TO SUBGRADE WHERE SUBGRADE EXCEEDS A DEPTH OF 6" FROM TOP OF ADJACENT CITY SIDEWALK. PROVIDE BACKFILL MATERIAL AGAINST EDGE OF SIDEWALK SUCH THAT THE TOP OF COMPACTED FILL IS NO LOWER THAN 4" FROM TOP OF ADJACENT SIDEWALK.
8. REMOVE FOUNDATION SYSTEMS AND ROUGH GRADE SITE. PROVIDE COMPLETE CONTAINMENT OF POTENTIAL STORM WATER ON SITE AND TO CREATE A CHANGE OF ELEVATIONS BELOW BACK OF SIDEWALK NO GREATER THAN 6". WHERE REMOVAL OF FOUNDATION AND/OR GROUND FLOOR WALLS WOULD UNDERMINE CITY SIDEWALK, THOSE PORTIONS OF FOUNDATION SHALL BE LEFT IN PLACE AND REMOVED TO AN ELEVATION NO GREATER THAN 6" BELOW BACK OF SIDEWALK.
9. PRIOR TO COMPLETING WORK REMOVE ALL DEBRIS AND DELETERIOUS MATERIALS FROM SITE AND COORDINATE POST-DEMOLITION SITE SECURITY WITH PROPERTY OWNER.
10. ENSURE ADEQUATE SHORING OF SIDEWALK VAULTS BEFORE PLACEMENT OF HEAVY EQUIPMENT.



1 VICINITY MAP
SCALE: NA



City and County of San Francisco
Department of Building Inspection

London N. Breed, Mayor
Patrick O'Riordan, Interim Director

NOTICE

SPECIAL INSPECTION REQUIREMENTS

PLEASE NOTE THAT THE SPECIAL INSPECTIONS SHOWN ON THE APPROVED PLANS AND CHECKED ON THE SPECIAL INSPECTIONS FORM ISSUED WITH THE PERMIT ARE REQUIRED FOR THIS PROJECT. THE EMPLOYMENT OF SPECIAL INSPECTORS IS THE DIRECT RESPONSIBILITY OF THE OWNER OR THE ENGINEER/ARCHITECT OF RECORD ACTING AS THE OWNER'S REPRESENTATIVE.

THESE SPECIAL INSPECTIONS ARE REQUIRED IN ADDITION TO THE CALLED INSPECTIONS PERFORMED BY THE DEPARTMENT OF BUILDING INSPECTION. THE NAME OF THE SPECIAL INSPECTOR SHALL BE FURNISHED TO THE DISTRICT PRIOR TO START OF WORK FOR WHICH SPECIAL INSPECTION IS REQUIRED.

FOR QUESTIONS REGARDING THE DETAILS OF EXTENT OF REQUIRED INSPECTIONS OR TESTS, PLEASE CALL THE PLAN CHECKER ASSIGNED TO THIS PROJECT OR 628-652-3407. IF THERE ARE ANY FIELD PROBLEMS REGARDING SPECIAL INSPECTION, PLEASE CALL YOUR DISTRICT BUILDING INSPECTOR OR 628-652-3400.

BEFORE FINAL BUILDING INSPECTION IS SCHEDULED, DOCUMENTATION OF SPECIAL INSPECTION COMPLIANCE MUST BE SUBMITTED TO AND APPROVED BY THE SPECIAL INSPECTION SERVICES STAFF. TO AVOID DELAYS IN THE PROCESS, THE PROJECT OWNER SHOULD REQUEST FINAL COMPLIANCE REPORTS FROM THE ARCHITECT OR ENGINEER OR RECORD AND/OR SPECIAL INSPECTION AGENCY SOON AFTER THE CONCLUSION OF WORK REQUIRING SPECIAL INSPECTION. THE PERMIT WILL NOT BE FINALIZED WITHOUT COMPLIANCE WITH THE SPECIAL INSPECTION REQUIREMENTS.

STRUCTURAL OBSERVATIONS REQUIREMENTS

STRUCTURAL OBSERVATION SHALL BE PROVIDED AS REQUIRED PER SECTION 1704.6. THE BUILDING PERMIT WILL NOT BE FINALIZED WITHOUT COMPLIANCE WITH THE STRUCTURAL OBSERVATION REQUIREMENTS.

SPECIAL INSPECTION SERVICES CONTACT INFORMATION

1. TELEPHONE: (628) 652-3407
2. EMAIL: dbi.specialinspections@sfgov.org
3. IN PERSON: 49 SOUTH VAN NESS AVE - SUITE 400

NOTE: WE ARE MOVING TOWARDS A PAPERLESS MODE OF OPERATION. ALL SPECIAL INSPECTION SUBMITTALS, INCLUDING FINAL LETTERS, MAY BE EMAILED (PREFERRED) OR FAXED. WE WILL ALSO BE SHIFTING TO A PAPERLESS FAX RECEIPT MODE.

SPECIAL INSPECTION SERVICES
49 SOUTH VAN NESS AVE - SUITE 400 - SAN FRANCISCO CA 94103
OFFICE (628) 652-3407 - www.sdbi.org

UPDATED 10/05/2020

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS: 1638 POWELL STREET APPLICATION NO. _____ ADDENDUM NO. _____
OWNER NAME: POWELL PARTNERS, LLC OWNER PHONE NO. _____

EMPLOYMENT OF SPECIAL INSPECTION IS THE DIRECT RESPONSIBILITY OF THE OWNER, OR THE ENGINEER/ARCHITECT OF RECORD ACTING AS THE OWNER'S REPRESENTATIVE. SPECIAL INSPECTOR SHALL BE ONE OF THOSE AS PRESCRIBED IN SECTION 1704. NAME OF SPECIAL INSPECTOR SHALL BE FURNISHED TO DISTRICT INSPECTOR PRIOR TO START OF THE WORK FOR WHICH THE SPECIAL INSPECTION IS REQUIRED. STRUCTURAL OBSERVATION SHALL BE PERFORMED AS PROVIDED BY SECTION 1704.6. A PRE-CONSTRUCTION CONFERENCE IS RECOMMENDED FOR OWNER/BUILDER OR DESIGNER/BUILDER PROJECTS, COMPLEX AND HIGHRISE PROJECTS, AND FOR PROJECTS UTILIZING NEW PROCESSES OR MATERIALS.

IN ACCORDANCE WITH SEC. 1701, 1703, 1704, 1705, SPECIAL INSPECTION AND/OR TESTING IS REQUIRED FOR THE FOLLOWING WORK:

- | | | |
|---|--|--|
| 1. [] Concrete (placement & sampling) | 6. [] High-strength bolting | 18. Bolts installed in existing concrete masonry: |
| 2. [] Bolts installed in concrete | 7. [] Structural masonry | [] Concrete [] Masonry |
| 3. [] Special moment-resisting concrete frame | 8. [] Reinforced gypsum concrete | [] Pullout tests per SFBEC Sec. 507C & 515C |
| 4. [] Reinforcing steel and prestressing tendons | 9. [] Insulating concrete fill | 19. [] Shear walls and floor systems used as shear diaphragms |
| 5. Structural welding: | 10. [] Spray on fireproofing | 20. [] Holdowns |
| A. Periodic visual inspection | 11. [] Piling, drilled piers and caissons | 21. Special cases: |
| [] Single pass inlet welds < 5/16" or smaller | 12. [] Shotcrete | [] Shoring [] Underpinning |
| [] Steel deck | 13. [] Special grading, excavation | [] Not affecting adjacent property |
| [] Welded studs | 14. [] And filing (Geo. Engineered) | [] Affecting adjacent property, PA |
| [] Cold formed studs and joists | 15. [X] Smoke-control system | [] Others |
| [] Star and railing systems | 16. [] Exterior Facing | 22. [] Crane safety (Apply to the operation of tower cranes on highrise building) (Section 1705.22) |
| [] Reinforcing steel | 17. Retrofit of unreinforced masonry buildings: | |
| B. Continuous visual inspection and NDT (Section 1704) | [] Testing of mortar quality and shear tests | 23. [] Others: *As recommended by professional of record*. |
| [] All other welding (NDT exception: Fillet weld) | [] Inspection of repointing operations | |
| [] Reinforcing steel, and [] NDT required | [] Installation inspection of new shear bolts | |
| [] Moment-resisting frames | [] Pre-installation inspection for embedded bolts | |
| [] Others | [] Pullout test per SFBEC Sec. 1607C & 1615C | |

24. Structural observation per Sec. 1704.6 for the following: [] Foundations [] Steel framing [] Concrete construction [] Masonry construction [] Wood framing [] Other: _____

25. Certification is required for [] Glu-lam components

Prepared by: Erwin O'Toole PE Phone: (415) 531-1009
Engineer/Architect of Record

Required Information: _____ Email: erwin.otoole@gmail.com
Fax: _____

Review by: _____ Phone: (628) 652-_____
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

DATE: _____ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO: Special Inspection Services (628) 652-3407, or, dbi.specialinspections@sfgov.org

UPDATED 10/05/2020

City and County of San Francisco
Department of Building Inspection

London N. Breed, Mayor
Patrick O'Riordan, Interim Director

Attachment A

SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST

A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

JOB ADDRESS: 1638 POWELL STREET APPLICATION NO. _____ ADDENDUM NO. _____
OWNER NAME: POWELL PARTNERS, LLC OWNER PHONE NO. () _____

1: PROPERTY LOCATION		3: PROPOSED CONSTRUCTION	
EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2000	YES	CONSTRUCTION OF NEW BUILDING OR STRUCTURE HAVING OVER 1000 SQFT OF NEW PROJECTED ROOF AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
	NO <input checked="" type="checkbox"/>	HORIZONTAL OR VERTICAL ADDITIONS HAVING OVER 500 SQFT OF NEW PROJECTED ROOF AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
2: AVERAGE SLOPE OF PROPERTY	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	SHORING	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
		UNDERPINNING	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE <i>(APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)</i>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	GRADING, INCLUDING EXCAVATION OR FILL OF OVER 50 CUBIC YARDS OF EARTH MATERIAL	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
		CONSTRUCTION ACTIVITY LISTED BELOW DETERMINED BY THE BUILDING OFFICIAL THAT MAY HAVE A SUBSTANTIAL IMPACT ON THE SLOPE STABILITY:	
		RETAINING WALL	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
		OTHERS: _____	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

SECTION 4: LICENSED DESIGN PROFESSIONAL VERIFICATION AND SIGNATURES

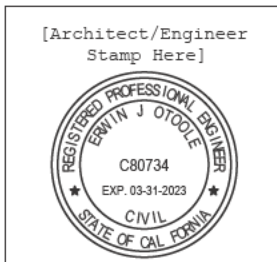
Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.

Prepared by: ERWIN O'TOOLE P.E.
Engineer/Architect of Record

(415) 531-1009 ERWIN.OTOOLE@GMAIL.COM

Telephone: _____ Email: _____

Signature: *Erwin O'Toole* Date: 02/15/2023



Technical Services Division
1600 Mission Street - San Francisco CA 94103
Office (415) 558-6205 - FAX (415) 558-6401 - www.sdbi.org

INFORMATION SHEET S-19 ATTACHMENT A

Slope Protection Checklist

FOR DBI USE ONLY

ASSIGNMENT OF REVIEW TIER

EXEMPTED: Reports per Section E and Third Party Peer Review Not Required

If the box in Section 1 "Property Location" AND the box in Section 2 "Average Slope of Property" are marked "No" OR if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.

TIER I: Reports per Section E Required but Third Party Peer Review Not Required

If the box in Section 2 "Average Slope of Property" AND any boxes in Section 3 "Proposed Construction" are marked "Yes" AND the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.

TIER II: Reports per Section E and Third Party Peer Review Required

If the box in Section 2 "Average Slope of Property" AND any boxes in Section 3 "Proposed Construction" are marked "Yes" AND the property lies in the vicinity of mapped landslides, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.

If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.

TIER III: Structural Advisory Committee (SAC) Review

If the box in Section 1 "Property Location" AND any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBEC Section 105A.6.

Tier assigned by: _____ Phone: (628) _____
DBI Plan Review Engineer

Comment: _____

REVISIONS
NO. DATE DESC.



1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94103
PHONE: 415-531-1009
EMAIL: erwin@shore-cal.com

SHORING ENGINEER:

ERWIN O'TOOLE, PE
1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94110
PHONE: 415-531-1009
EMAIL: info@shore-cal.com



Erwin O'Toole

DEMOLITION AT 1638 POWELL STREET

1638 POWELL STREET
SAN FRANCISCO
CALIFORNIA 94133
BLOCK: 0117
LOT: 016

PROJECT NUMBER SCALE

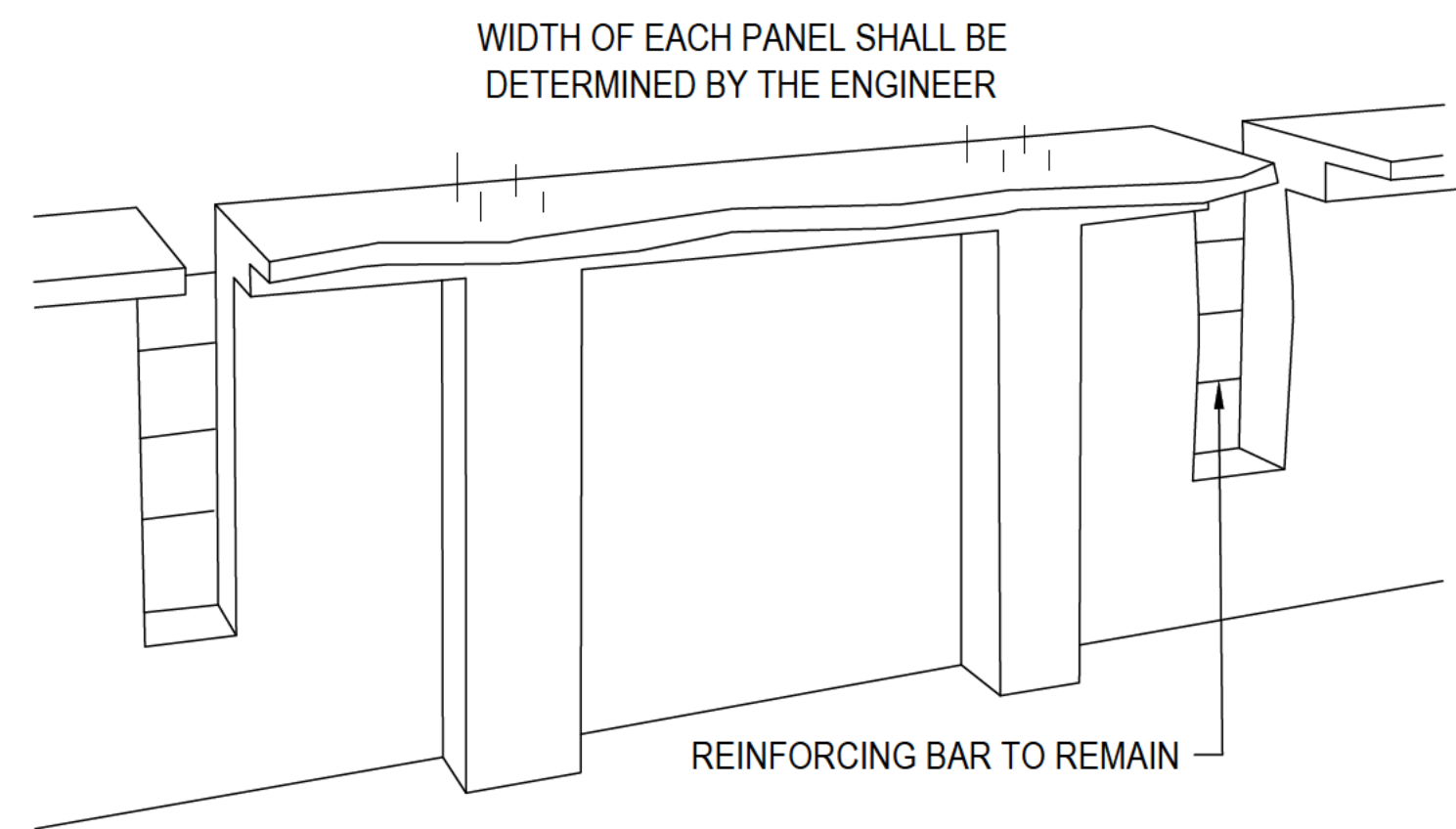
AS NOTED

DRAWN BY CHECKED BY

JD EOT

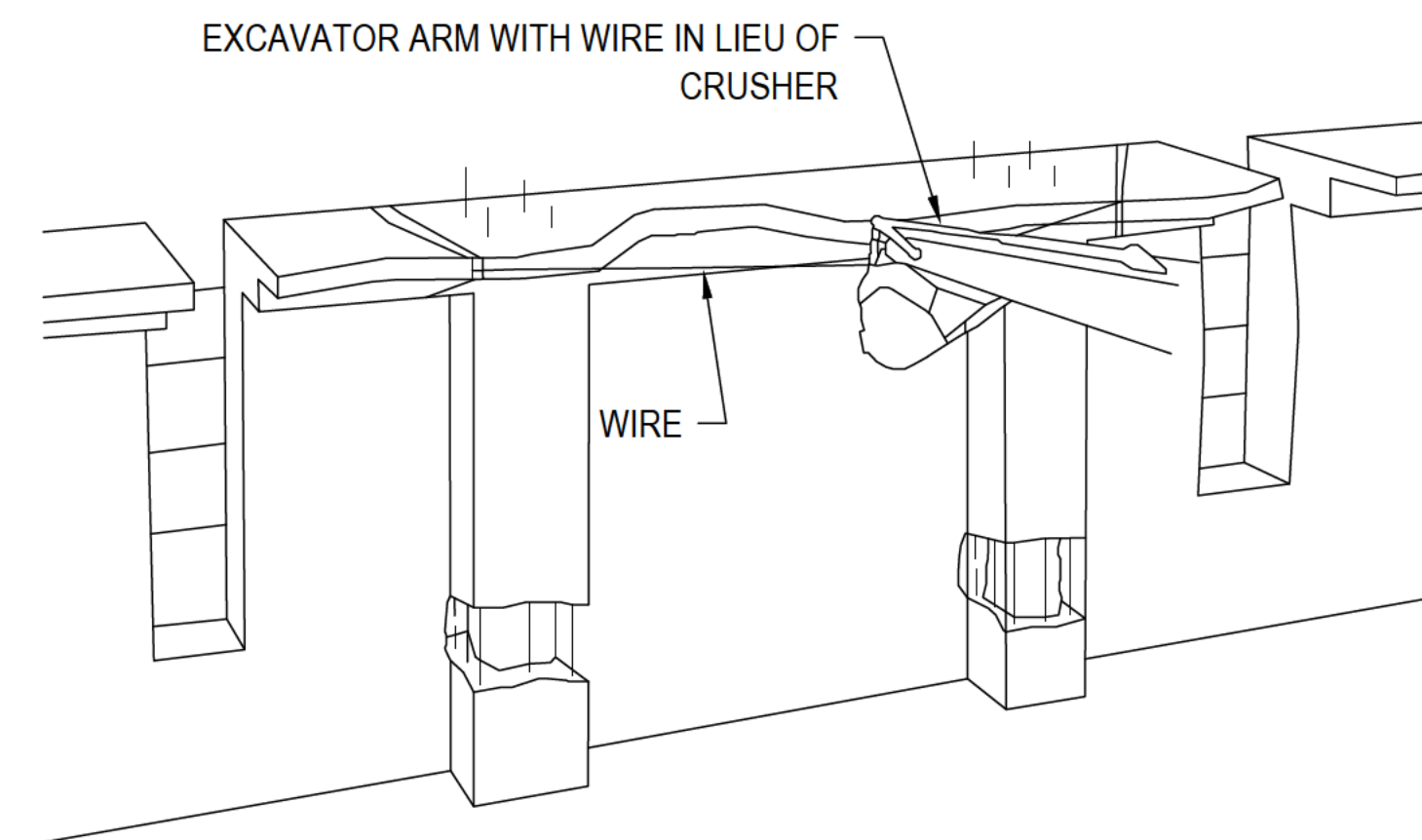
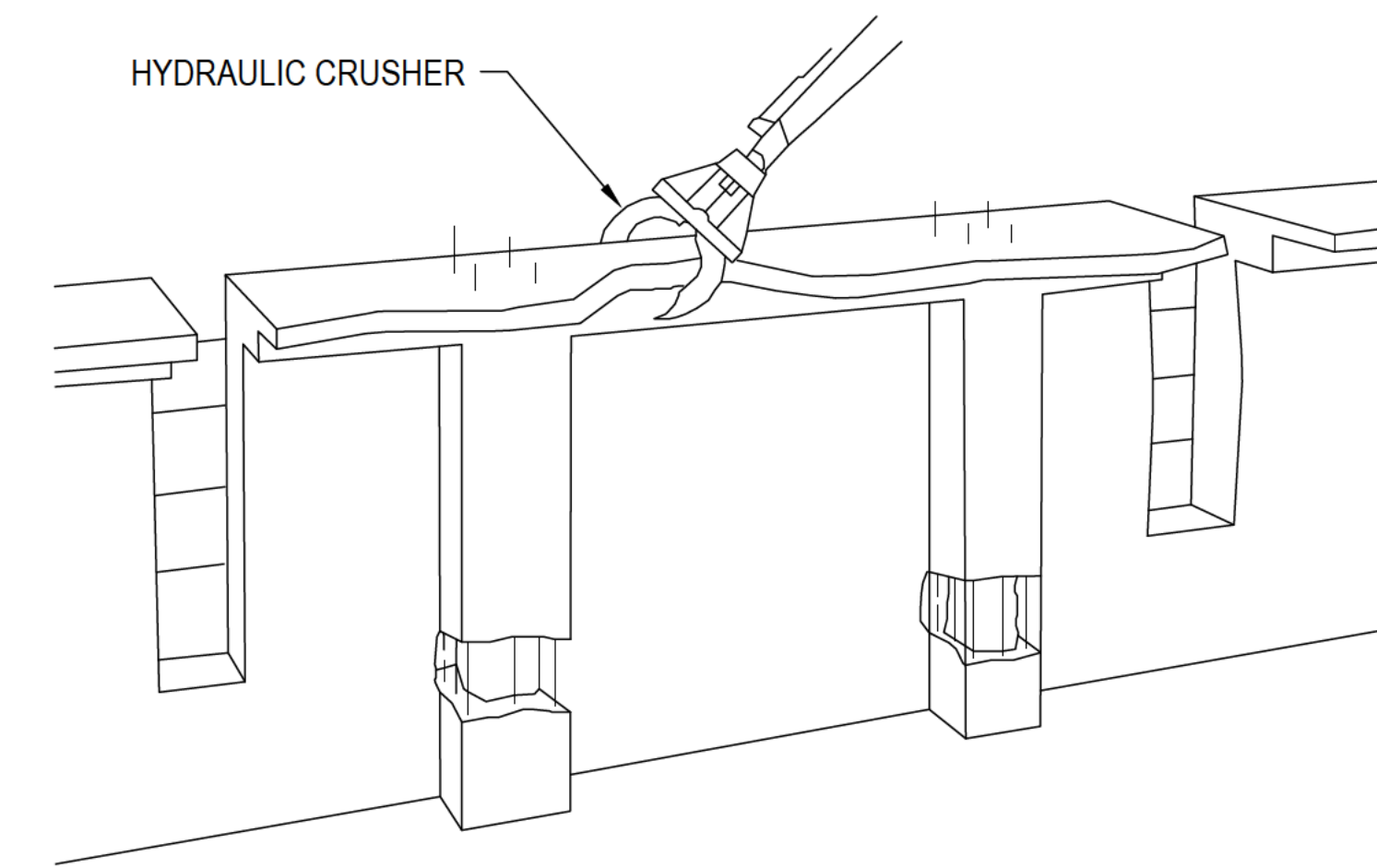
COVER SHEET

D 1.0



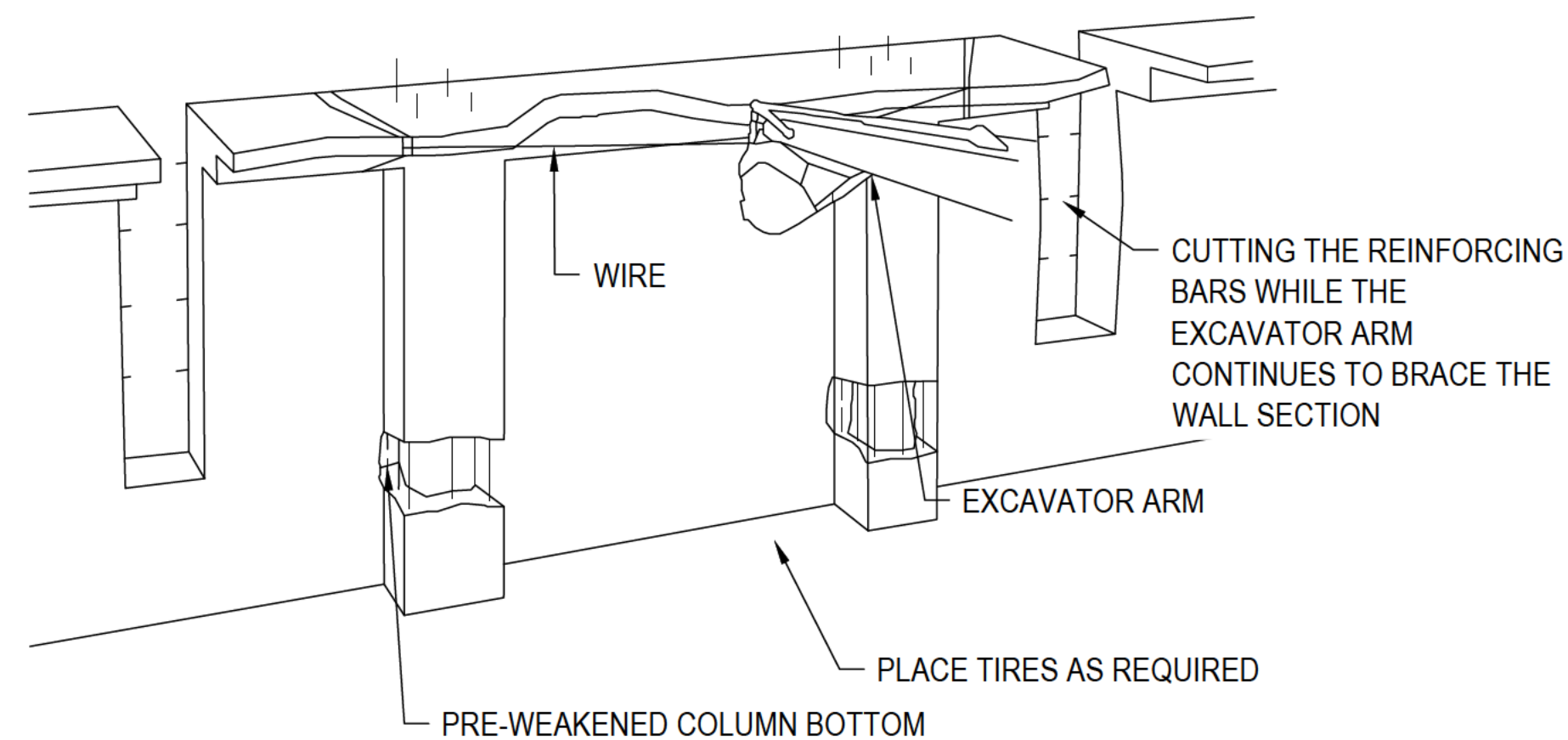
1. BREAKING AWAY THE CONCRETE ALONG VERTICAL SLOTS TO SEPARATE THE WALL SECTION. WIDTH OF WALL SECTION SHALL BE DETERMINED BY THE ENGINEER. REINFORCING BARS SHALL BE LEFT TO STABILIZE THE SECTION. BREAKING OF CONCRETE SHALL BE DONE CAUTIOUSLY TO MINIMIZE DEBRIS FALLING OUTSIDE THE BUILDING.

1 DEMOLITION OF CONCRETE WALLS STAGE 1
SCALE: NA



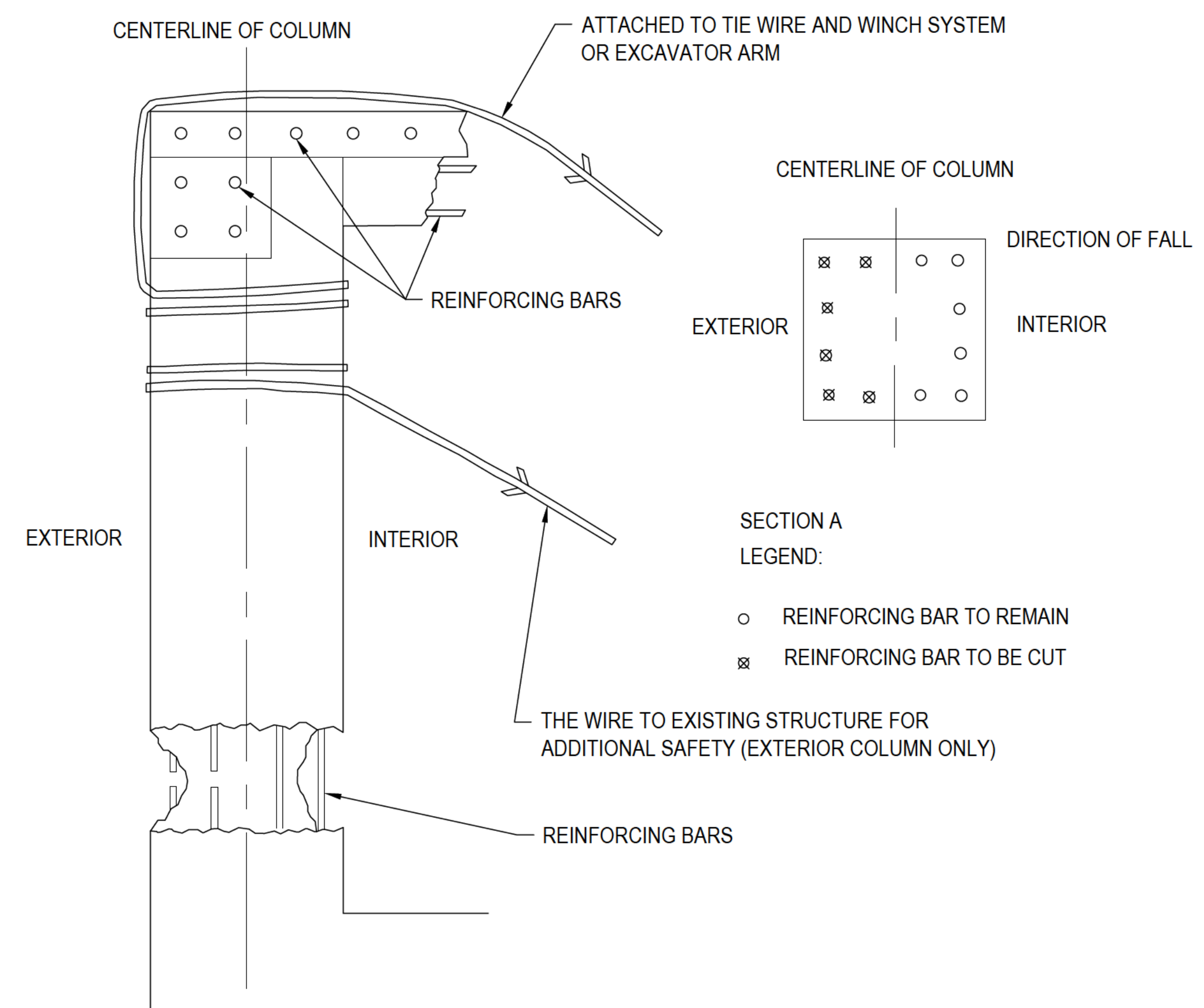
2. EXCAVATOR ARM WITH WIRE TO BRACE THE WALL SECTION WHILE PRE-WEAKENING AT THE BOTTOM OF COLUMNS. (SEE FIGURE 4 BELOW)

2 DEMOLITION OF CONCRETE WALLS STAGE 2
SCALE: NA



3. MACHINE CONTINUES TO BRACE THE WALL SECTION WHILE CUTTING THE REINFORCING BARS. REINFORCING BAR AT THE BOTTOM TO REMAIN. AFTER CUTTING OFF REINFORCEMENTS, EXCAVATOR ARM PULLS THE WALL DOWN IN A CONTROLLED MOTION.

3 DEMOLITION OF CONCRETE WALLS STAGE 3
SCALE: NA



4 DEMOLITION OF CONCRETE WALLS STAGE 4
SCALE: NA

REVISIONS NO.	DATE	DESC.

SHORECAL
Engineering Inc.

1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94103
PHONE: 415-531-1009
EMAIL: erwin@shore-cal.com

SHORING ENGINEER:
ERWIN O'TOOLE, PE
1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94110
PHONE: 415-531-1009
EMAIL: info@shore-cal.com



Erwin O'Toole

DEMOLITION AT 1638 POWELL STREET

1638 POWELL STREET
SAN FRANCISCO
CALIFORNIA 94133
BLOCK: 0117
LOT: 016

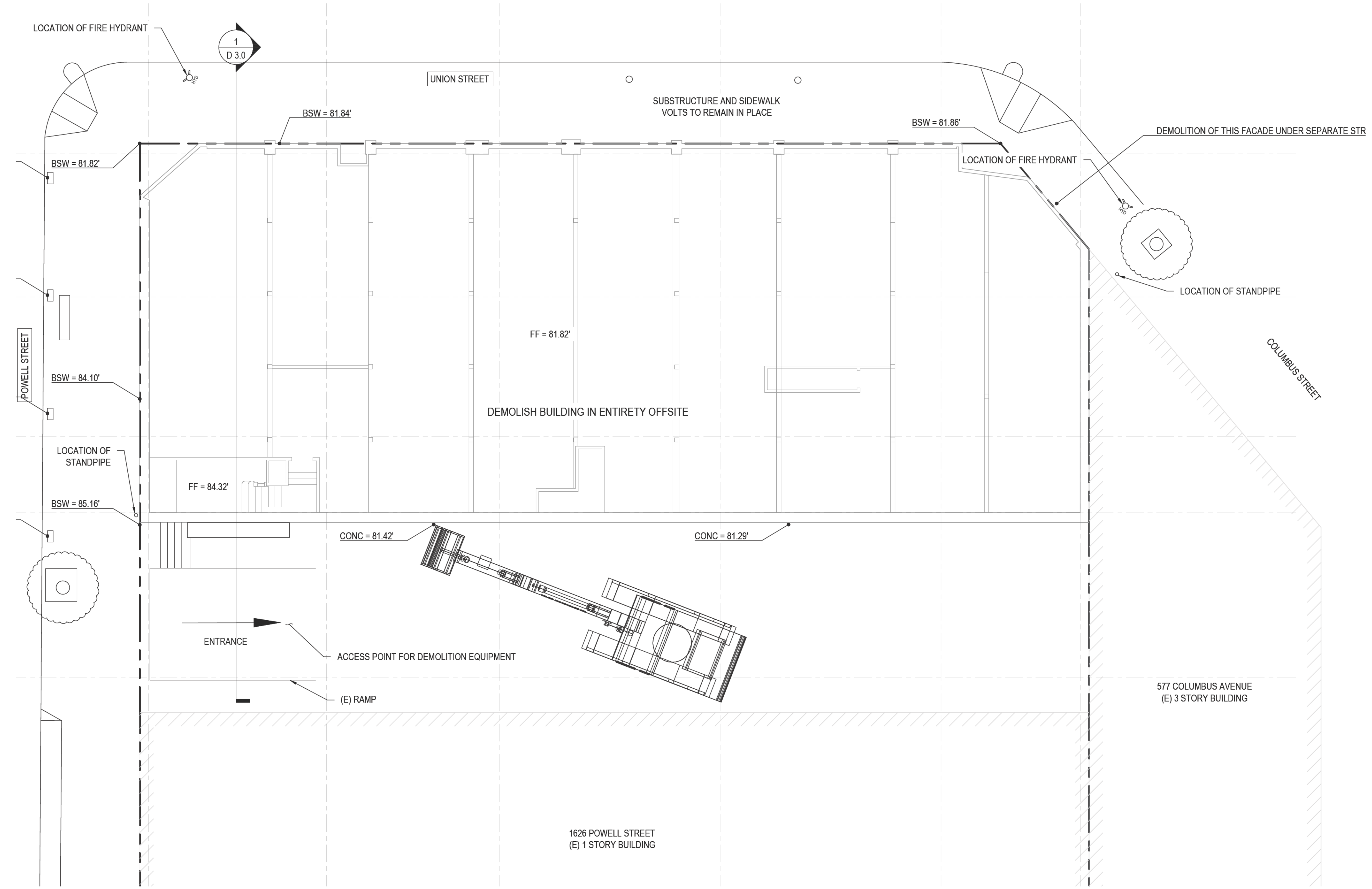
PROJECT NUMBER	SCALE AS NOTED
DRAWN BY JD	CHECKED BY EOT

DEMOLITION DETAILS

REVISIONS NO.	DATE	DESC.

DEMOLITION SEQUENCE:

1. ABATEMENT
2. SOFT DEMOLITION OF BUILDING INTERIOR
3. BEGIN DEMOLITION FROM REAR CONCRETE YARD LOCATED AT THE SOUTH OF THE BUILDING. MOVE DEMOLITION EQUIPMENT INTO CONCRETE YARD USING THE EXISTING RAMP AS SHOWN ON THE PLAN.
4. USING TRACK MOUNTED EXCAVATOR WITH A HOE RAM AND / OR BUCKET & THUMB ATTACHMENT DEMOLISH THE SECTION OF BRICK WALL AS SHOWN ON THE PLAN.



SHORECAL
 Engineering Inc.
 1663 MISSION STREET, SUITE 501
 SAN FRANCISCO, CA 94103
 PHONE: 415-531-1009
 EMAIL: erwin@shore-cal.com

SHORING ENGINEER:
 ERWIN O'TOOLE, PE
 1663 MISSION STREET, SUITE 501
 SAN FRANCISCO, CA 94110
 PHONE: 415-531-1009
 EMAIL: info@shore-cal.com



Erwin O'Toole

DEMOLITION AT 1638 POWELL STREET

1638 POWELL STREET
 SAN FRANCISCO
 CALIFORNIA 94133
 BLOCK: 0117
 LOT: 016

PROJECT NUMBER: SCALE: AS NOTED
 DRAWN BY: JD CHECKED BY: EOT

DEMOLITION PLAN

D 2.0

1 DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

USA NORTH 811
 CALL BEFORE YOU DIG
 DIAL 811 48 Hrs PRIOR TO
 1. DRILLING SOLDIER BEAMS
 2. EXCAVATION

REVISIONS
 NO. DATE

DESC.



SHORECAL
 Engineering Inc.

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 SAN FRANCISCO, CA 94110
 PHONE: 415-531-1009
 EMAIL: info@shore-cal.com



Erwin O'Toole

DEMOLITION AT 1638 POWELL STREET

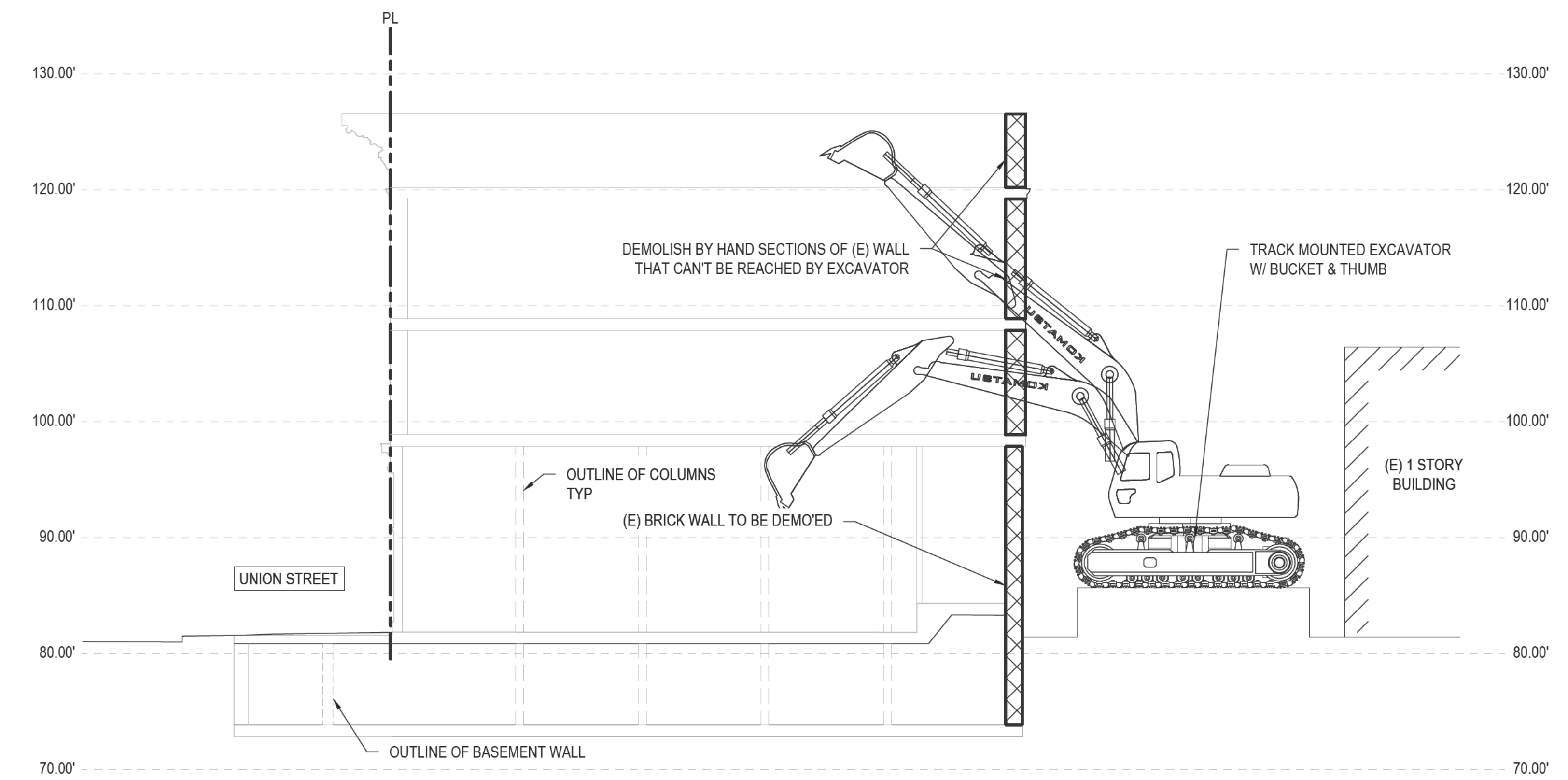
1638 POWELL STREET
 SAN FRANCISCO
 CALIFORNIA 94133
 BLOCK: 0117
 LOT: 016

PROJECT NUMBER SCALE
 AS NOTED

DRAWN BY CHECKED BY
 JD EOT

ELEVATIONS

D 3.0



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

February 18, 2020

Alexis Pelosi
Pelosi Law Group
12 Geary Street, Suite 802
San Francisco, CA 94108

Subject: 1656 Powell Street: Unreinforced Masonry Walls

Dear Ms. Pelosi,

At your request, I have reviewed the Letter of Denial from San Francisco DBI for demolition of URM walls, in peril. The basis of demolition request denial is a decision by DBI to remedy the perilous and unsafe condition by engineering for permanent shoring (bracing) in lieu of currently temporary bracing.

You also raised the alternate solution for permanent shoring (bracing) by designing floor and roof diaphragms of the charred structure to permanently restore the floor and roof structure to act as permanent shoring mechanisms, coupled with additional necessary structural lateral load resisting elements/mechanisms to restore the front facade along Union Street to be permanently braced. This alternative is more desirable in the hopes that permanent shoring can be integral to future building design within these walls.

At this juncture, almost 2 years after the temporary shoring being in place, KCE Matrix is being asked to consider permanent bracing design integral to building floors and roof restoration and remedying the front facade elevation for perilous weak conditions.

To engineer a permanent bracing system integrating new floors, roof and front facade frames, with piles and shotcrete would require a finalized architectural design of the building interiors with unit configurations design and common area amenities design.

A licensed architect has to be engaged by owners to plan, design, and implement and process approvals of these plans and amenities. This process of design development and construction documents preparation and city approvals will undoubtedly take 12 months, if not more. So, this concept of integrating final design as permanent shoring will delay rectifying unsafe conditions of current structure, another year. If KCE remedies the current soft story facade for temporary shoring, the repairs will waste over \$200,000 because this repair will be discarded for permanent shoring.

Alternatively, if KCE Matrix can provide structural design of permanent shoring for the walls, the design will incorporate piles, some shotcrete, and moment frames, explained in previous communication, which will cost approximately 3 million dollars, excluding the floors and roofs.

If San Francisco DBI would consider extending the period of temporary shoring by perhaps another 18 months, it would be technically feasible to implement the idea of permanent shoring with the redesign of the overall structure; however, this would result in economic infeasibility as the retrofit of the front facade will easily exhaust productive project funds of over 3 million dollars or more, and produce a design of shoring that will encroach on the already restricted interior spaces of the normal development.

Barbank, CA | Alameda, CA
1112 W. Barbours Blvd., Suite 303 • Barbank, CA 91706 | 3851 Hudson Bay Drive, Suite 1310 • Alameda, CA 94501

Not forgetting an additional interior bracing system of lateral load resisting mechanism with piled foundation would be required for transverse direction stability, which would further intrude into interior space plans of the normal development and cost another several hundred thousand dollars, I doubt the architect can make good use of available space in this building with such an intricate plan.

No matter what the intent of the community and city is, it will cost several million dollars to just stabilize this structure for seismic safety.

Let me know how you wish to proceed so I could be discussing such plans with your architectural consultants.

Sincerely,

Vabe Kardjian, P.E.
KCE Matrix Inc.



Engineering Report: Structural Assessment and Demolition Recommendation

Fire-Damaged Three-Story Brick Building, 1656 Powell St, San Francisco, CA

Prepared by: Erwin O'Toole PE

Date: 2.3.25

To: SF DBI

1. Introduction

The purpose of this report is to assess the structural integrity of the fire-damaged three-story brick building located at 1656 Powell St, San Francisco, California, and to provide a recommendation regarding its future viability. Given the extensive damage from fire and the inherent risks associated with unreinforced masonry (URM) structures in a high-seismic region, this report evaluates the potential hazards and justifies the need for demolition.

2. Structural Assessment

2.1 Building Description

- Construction Type: Unreinforced masonry (URM) with wood floor framing
- Number of Stories: Three plus basement
- Location: 1656 Powell St, San Francisco, a high-seismic risk zone (Seismic Zone 4, per CBC)
- Year Built: Estimated 1926 - before modern seismic codes

2.2 Fire Damage Overview

- The fire caused significant structural damage to multiple components:
- Brick Masonry Walls: Severe thermal stress leading to cracking, spalling, and possible loss of bond between bricks and mortar.
 - Wood Structural Elements: Extensive charring of floor joists, roof trusses, and load-bearing wood framing, compromising structural capacity.
 - Steel Components: High temperatures may have caused warping and loss of yield strength in any embedded steel elements.
 - Foundation System: Potential thermal expansion and contraction leading to fractures in the masonry or concrete foundation.

3. Structural Instability and Seismic Risk

3.1 Existing Structural Weaknesses

- Loss of Load-Bearing Capacity: The fire has weakened both the masonry walls and internal framing, increasing the risk of sudden collapse.
- Wall Separation and Out-of-Plane Failure: Fire has likely exacerbated pre-existing vulnerabilities in the unreinforced brick walls, leading to a high probability of out-of-plane failure in an earthquake.

1663 Mission St, Suite 501, San Francisco, CA 94103 Phone: (415) 531-1009 info@shore-cal.com

- Compromised Lateral Load Resistance: The building was not designed to modern seismic standards, and the loss of material integrity further reduces its ability to withstand lateral forces from an earthquake.
- Foundation Instability: If cracks or heat-induced expansion occurred, the foundation may no longer provide a stable base.

3.2 Seismic Hazards and Code Compliance

- San Francisco is within Seismic Zone 4, one of the highest-risk areas in the country.
- California Building Code (CBC) and ASCE 7-16 require structures to meet strict lateral force-resisting system standards.
- URM buildings without seismic retrofitting are particularly vulnerable to collapse, and the fire damage further exacerbates these risks.
- Retrofit vs. Demolition: Retrofitting a severely damaged URM structure is often infeasible and cost-prohibitive compared to new construction that meets modern seismic requirements.

4. Public Safety and Liability Concerns

- Immediate Collapse Hazard: The weakened structure poses a risk of sudden collapse, especially during aftershocks or strong winds.
- Falling Debris Risk: Loose bricks, failed mortar joints, and unstable floors create dangers for pedestrians and adjacent properties.
- Fire Damage to Adjacent Buildings: The fire may have compromised the integrity of neighboring structures, increasing the overall risk in the area.
- Legal Liability: The City of San Francisco has stringent regulations for addressing hazardous structures. Delayed action could expose owners and local authorities to legal and financial liabilities.

5. Conclusion and Recommendation

- Based on the structural assessment, the following conclusions are drawn:
1. The fire has significantly compromised the load-bearing capacity of the brick walls, wood framing, and foundation.
 2. The building does not meet current seismic safety standards, and retrofitting is impractical due to extensive fire damage.
 3. The risk of structural collapse poses an immediate danger to public safety and adjacent buildings.
 4. Demolition is the most viable solution to eliminate hazards and allow for a safer, code-compliant redevelopment of the site.

Recommended Action:

Immediate demolition of the structure to prevent further risks and facilitate redevelopment in compliance with modern seismic and fire safety regulations.

6. Appendices
- Photographic Evidence of Damage
 - Previously prepared Demolition Drawing

1663 Mission St, Suite 501, San Francisco, CA 94103 Phone: (415) 531-1009 info@shore-cal.com

This report is submitted in support of a formal demolition order and should be reviewed by local authorities for expedited approval.

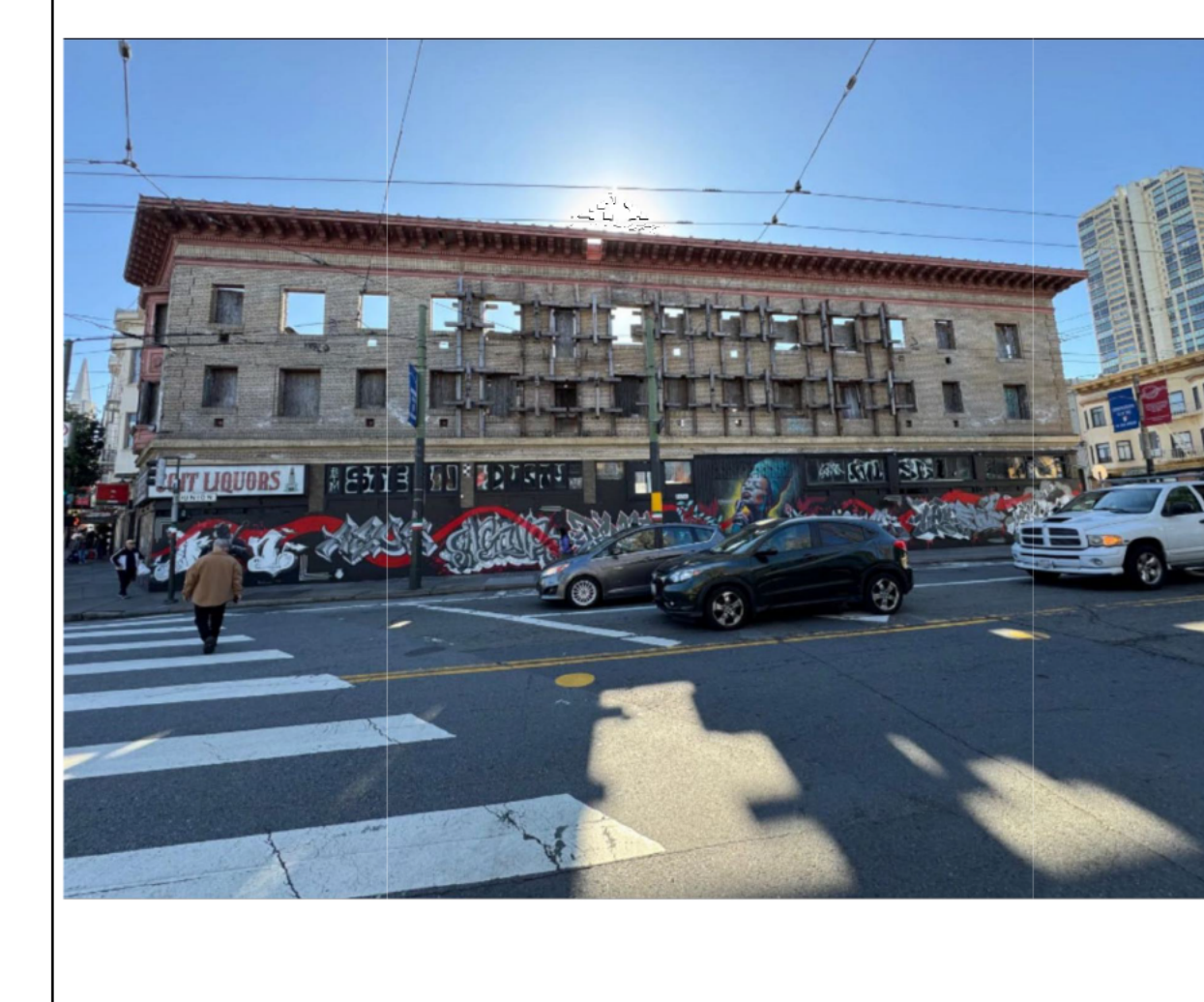
Sincerely,

Erwin O'Toole
Erwin O'Toole, PE
ShoreCal Engineering Inc.



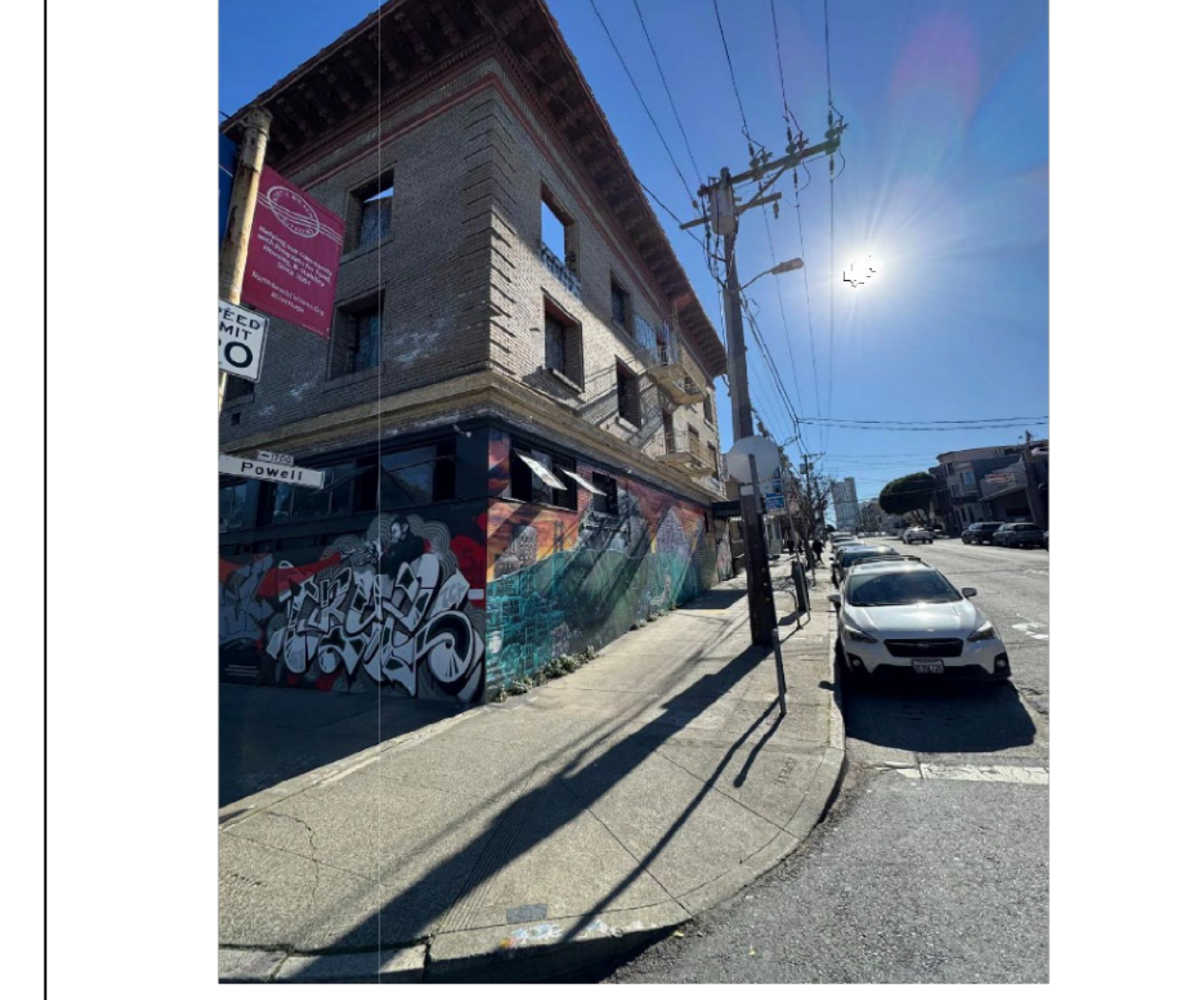
1663 Mission St, Suite 501, San Francisco, CA 94103 Phone: (415) 531-1009 info@shore-cal.com

Project Address: 1656 POWELL STREET	
Subject: INSPECTION DAILY REPORT	Date: 01/27/2025
Engineer: Erwin O'Toole P.E.	Time: 4hrs



1663 Mission Street, Suite 501, San Francisco, CA 94103 Phone: (415) 793-0091 info@shore-cal.com

Project Address: 1656 POWELL STREET	
Subject: INSPECTION DAILY REPORT	Date: 01/27/2025
Engineer: Erwin O'Toole P.E.	Time: 4hrs



1663 Mission Street, Suite 501, San Francisco, CA 94103 Phone: (415) 793-0091 info@shore-cal.com

Project Address: 1656 POWELL STREET	
Subject: INSPECTION DAILY REPORT	Date: 01/27/2025
Engineer: Erwin O'Toole P.E.	Time: 4hrs



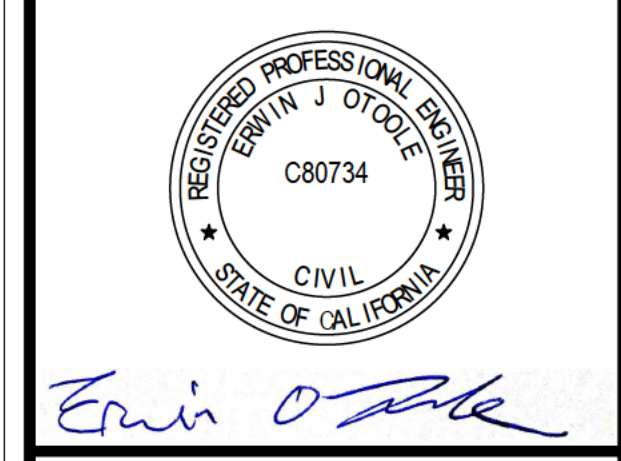
1663 Mission Street, Suite 501, San Francisco, CA 94103 Phone: (415) 793-0091 info@shore-cal.com

REVISIONS	NO.	DATE	DESC.

SHORECAL
Engineering Inc.

1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94103
PHONE: 415-531-1009
EMAIL: erwin@shore-cal.com

SHORING ENGINEER:
ERWIN O'TOOLE, PE
1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94110
PHONE: 415-531-1009
EMAIL: info@shore-cal.com



DEMOLITION AT 1638 POWELL STREET

1638 POWELL STREET
SAN FRANCISCO
CALIFORNIA 94133
BLOCK: 0117
LOT: 016

PROJECT NUMBER	SCALE
	AS NOTED
DRAWN BY	CHECKED BY
JD	EOT

REPORT

D 4.0

MEMORANDUM

To: Matthew Greene, Deputy Director Inspection Services, Department of Building Inspection, 49 South Van Ness San Francisco, CA 94103

From: Erwin O'Toole, P.E. – Shoring and Civil Engineer C80734

Date: March 7th, 2025

Subject: Imminent Hazard at 1656 Powell St (Block 0117/ Lot 016) AKA The Verdi Building

I am writing to bring to your immediate attention a serious structural hazard present in the building located at the above address. Specifically, there are brick walls that are out of plane on Powell St and appears to be getting more out of plane since my last observation. The eyebrow canopy that remains unsupported at the and 3 stories of unreinforced brick walls as well as severe foundation cracks and compromised load-bearing walls. These issues indicate that the building is at risk of **COLLAPSE** particularly during a **MINOR SEISMIC EVENT**.

On March 17, 2018, a four-alarm fire erupted in San Francisco's North Beach neighborhood at 659 Union Street, between Powell and Columbus Streets

The fire required a substantial response from the fire department due to its severity and size, resulting in a four-alarm designation.

As a licensed civil engineer with 25 years of experience in structural engineering, I have conducted a comprehensive assessment of the building and have determined that it poses an imminent threat to the safety of its occupants and the public. Numerous permit applications have been filed and executed for the building shoring (See below) These are all now expired and do not serve to protect the public

201804126159 Emergency shoring to reinforce fire damaged mix use 3 story plus basement urm bld. Shoring to be both ext and interor.

201805048295 Revision to 201804126159 change in site conditions per site inspection; add more shoring to the interior from 3rd floor braced to 2nd flr

201805159126 Revision #2 to pa #201804126159. Additional shoring to the rear walls of the building throughout 2nd & 3rd levels

201807205052 Rev to pa# 201804126159 & 201805048295; change timeline of completion of phase 1&2 to october 15,2018. Maximum duration of phase i & ii temporary shoring until april 12, 2019. No construction under this permit. Maximum duration of shoring: phas i & phase ii until 4/12/2019 - temporaru [sic] shoring.

My findings are corroborated by an independent evaluation performed by KCE Matrix, a structural engineering firm based in Los Angeles, which specializes in assessing structural integrity and hazards. Both assessments have identified critical deficiencies that necessitate urgent intervention.

Enclosed with this letter are the detailed assessment reports from both my evaluation and that of KCE Matrix. These reports provide in-depth documentation of the demolition permit application and the risk abatement.

Given the gravity of these findings, I earnestly request that the Department of Building Inspection issue an emergency demolition permit in accordance with the code section **102A.16 Serious and Imminent Hazards – Emergency Orders.**

I am available to provide any additional information or assistance required to address this matter promptly. Please feel free to contact me at 415 531 1009 or via email at erwin@shore-cal.com

Thank you for your prompt attention to this critical issue.

Respectfully Submitted,



Erwin O'Toole, PE
ShoreCal Engineering Inc.



2817A Lafayette Avenue
Newport Beach, CA 92663
(949) 723-1645
Fax (949) 723-1854
www.freyinc.com
Email: freyinc@freyinc.com

“Attorney Client Privilege”

February 19, 2026
1148-01

John Kelvin
Reuben, Junius & Rose, LLP
One Bush St, Suite 600
San Francisco, CA 94104
jkevin@reubenlaw.com

BUILDING DEMOLITION REQUEST LOT 16 OF ASSESSOR’S BLOCK 0117 SAN FRANCISCO, CALIFORNIA

Dear Mr. Kelvin,

FREY Environmental, Inc. (FREY) has prepared this Building Demolition Request letter on behalf of Powell Partners, LLC, (Powell Partners) the owner of Lot 16 of Assessor’s Block 0117 (Site). There are 17 addresses associated with the lot including: 585 Columbus; 1636, 1638, 1640, 1642, 1644, 1646, 1648, 1650, 1652, 1854, 1656 Powell Street; and 653, 655, 659, 663, 673 Union Street.

The northern portion of the Site, 1656 Powell Street, is currently occupied by a vacant area that fronts the south side of Union Street from Columbus Avenue to Powell Street. This is the location of the former Verdi Building that was destroyed by fires in 2013 and 2018. The outer brick walls are currently standing by way of supports. The southern portion of the Site, 1636 Powell Street, is a two-story parking garage that fronts Powell Street.

There are two open environmental cleanup cases associated with the Site. There is a Leaking Underground Storage Tank (LUST) case # 38-0584 (GID #T0607500509) and a Site Cleanup Program (SCP) case #38S0064 (GID #T10000013791). All environmental documents associated with these two cases are available on the State Water Quality Control Boards GeoTracker website.

GEOTRACKER LISTINGS:

1636 POWELL STREET (LUFT Case #38-0584)
1656 POWELL STREET (SCP Case #38S0064)
(GID #T0607500509 & GID #T10000013791)

The San Francisco Bay Regional Water Quality Control Board (RWQCB) has determined that the concentrations of contaminants identified at 1656 Powell Street pose a potential threat to future occupants, and remediation is needed prior to redevelopment activities. FREY recommends that

shallow soil excavation be conducted to remove contaminated soil within the current burnt building footprint. The remediation will require soil to be excavated to depths ranging from approximately 12 to 15 feet below ground surface (bgs) as measured at the front of the lot (Union Street).

To conduct the environmental remediation, Powell Partners seeks to demolish and remove the fire-damaged remnants on the vacant portion of the Site including three brick walls and temporary shoring to allow for the remediation excavation to be conducted.

Sincerely,
FREY Environmental, Inc.

Kent Tucker
Senior Project Geologist
PG# 7584

CC: EBO Strategy, Attn: Kate McGee, kate@ebo-strategy.com (via email)
Powell Partners, LLC: Attn: Jeff Jurow, jjurow@structureproperties.com (via email)



LARGE DEVELOPMENT PROJECT APPLICATION (PRJ)

FOR RESIDENTIAL PROJECTS CONSTRUCTING 7+ UNITS, OR ANY NEW CONSTRUCTION OF COMMERCIAL OR MIXED-USE BUILDINGS

A Project Application must be submitted for any project application that requires an intake/in-house for Planning Department review. A Project Application is also required for any project that seeks an entitlement from the Planning Department, such as a Conditional Use Authorization or Variance. For more, see the [Project Application Informational Packet](#).

This Project Application (PRJ) is for residential projects constructing 7+ units, or any new construction of commercial or mixed-use buildings, or large development projects.

Cost for Time and Materials: Any time and materials exceeding initial fees charged for services provided are subject to billing.

For questions, you can call the Planning counter at 628.652.7300 or email pic@sfgov.org where planners are able to assist you.

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文: 如果您希望獲得使用中文填寫這份申請表的幫助，請致電628.652.7550。請注意，規劃部門需要至少一個工作日來回應。

Filipino: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

Tiếng Việt: Nếu quý vị muốn được hỗ trợ hoàn thành đơn này bằng tiếng Việt, vui lòng gọi 628.652.7550. Xin lưu ý rằng Sở Quy Hoạch cần ít nhất một ngày làm việc để phản hồi.

HOW TO SUBMIT:

Planning Department Approvals: To submit your Project Application (PRJ) materials for a Planning Approval Letter, you have two options:

1. [Accela Citizen Access](#) (ACA) Public Portal: No need to complete this entire PDF application. Instead, complete the PRJ application online through the public portal. Only complete the PRJ checklist within this application along with any other required documents identified within this PRJ application.
2. Email: Submit a completed PDF application and all required documents identified within this application to CPC.Intake@sfgov.org

Once you receive a Planning Approval Letter, you may submit an [application for a building permit](#).

Other: [Ministerial Projects](#), Unauthorized Dwelling Unit (UDU) Screenings, Project Review Meeting (PRV), Temporary Use Authorization (TUA), Preliminary Housing Development Application (PPS), and Modification to Previously Approved Project application submissions do not need to complete this Project Application. Submit the respective application and any supporting documents to CPC.Intake@sfgov.org.



LARGE DEVELOPMENT PROJECT APPLICATION (PRJ)

GENERAL INFORMATION

Property Information

Project Address: 659 Union/1656 Powell Streets

Block/Lot(s): 0117/016

Property Owner's Information

Name: Powell Partners, LLC

Address: 659 Union Street, SF, CA 94111

Email Address: jjurrow@rb-sf.com

Telephone: 415.515.9367

Applicant Information

Same as above

Name: Greg Johnson

Company/Organization: Multistudio

Address: 156 S. Park St., SF, CA 94107

Email Address: greg.johnson@multi.studio

Telephone: 415.844.2126

Please Select Billing Contact: Owner Applicant Other (see below for details)

Name: _____ Email: _____ Phone: _____

Please Select Primary Project Contact: Owner Applicant Billing

PROJECT INFORMATION

PROJECT DESCRIPTION:

Please provide a narrative project description that summarizes the project and its purpose. Please list any required approvals (e.g. Variance), changes to the Planning Code or Zoning Maps, or Inclusionary Rate Reduction Request, if applicable.

See attached project description.

PROJECT DETAILS:

- Change of Use New Construction Demolition Facade Alterations ROW Improvements
- Additions Legislative/Zoning Changes Lot Line Adjustment-Subdivision Other: _____

Non-Residential:

- Formula Retail Medical Cannabis Dispensary Massage Establishment Other: _____
- Financial Service Cannabis Retail Tobacco Paraphernalia Establishment Outdoor Activity Area

Residential:

- Accessory Dwelling Unit
 - State
 - Local
 - Hybrid
- Dwelling Unit Legalization Ord. 43-14
- Fourplex Density Bonus Exemption
- Automotive Housing Density Bonus
- Planning Code Section 317
 - Demolition
 - Conversion
 - Removal
- Housing Sustainability District
- State Density Bonus (Individually Requested)
- Density Bonus Affordable (Assembly Bill 1763)
- Senior Housing
- Intermediate Length Occupancy Units (ILOs)
- Inclusionary Housing Required
- Inclusionary Rate Reduction (with Physical Changes)
- 100% Affordable Housing
- Permanent Supportive Housing
- Housing Tenure
 - Rental
 - Ownership
 - Unknown
- HOME-SF
- Interim Use for Housing with Hotels and Motels (Planning Code Section 202.15)

Indicate whether a Preliminary Housing Development Application (SB-330) is or has been submitted: Yes No

Are you revising a previously approved project with physical changes: Yes No

If selected "Yes," please complete the following information:

- Planning Application No(s)/Motion No(s) of approved project to be modified: _____
- Is there a Preliminary Housing Application (SB 330) on file for the approved project? Yes No
- GFA of previously approved project: _____
- GFA proposed in modified project: _____
- % Change in GFA: _____

Estimated Construction Cost: \$40M _____

SB-1214 Authorization: [Senate Bill 1214](#) allows applications to limit the plans available to the public. You can find more information on our [website](#).

- Yes, all plans may be shared publicly.
- No, floor plans may not be shared publicly. A reduced plan set with only a massing diagram and site plan has been provided with this submittal for public distribution.

PROJECT AND LAND USE TABLES

All fields relevant to the project **must be completed** in order for this application to be accepted.

	Existing / As-Built	Proposed	
General Land Use	Parking GSF	approx. 14,298 square feet (50 spaces)	approx. 6,669 square feet (40 spaces)
	Residential GSF	0	approx. 95,220 square feet
	Retail/Commercial GSF	0	approx. 12,386 square feet
	Office GSF	0	0
	Industrial-PDR GSF	0	0
	Medical GSF	0	0
	Hotel GSF	0	0
	Laboratory GSF	0	0
	CIE (Cultural, Institutional, Educational) GSF	0	0

Project Features	Dwelling Units - Affordable	0	15
	Dwelling Units - Market Rate	0	74
	Dwelling Units - Total	0	89
	Hotel Rooms	0	0
	Number of Building(s)	1	1
	Number of Stories	0	8
	Parking Spaces	50	0
	Loading Spaces	0	1 (approx. 1,959 square feet)
	Bicycle Spaces	0	111
	Car Share Spaces	0	0
	Useable Open Space GSF	0	approx. 10,592 square feet
	Public Open Space GSF	0	approx. 455 square feet
	Roof Area GSF - Total	0	approx. 18,807 square feet
	Living Roof GSF	0	approx. 4,425 square feet
	Solar Ready Zone GSF	0	approx. 4,425 square feet
Other: _____			

Land Use - Residential	Studio Units	0	5
	One Bedroom Units	0	62
	Two Bedroom Units	0	13
	Three Bedroom (or +) Units	0	9
	Group Housing - Rooms	0	0
	Group Housing - Beds	0	0
	SRO Units	0	0
	Micro Units	0	0
	Accessory Dwelling Units For ADUs, list all ADUs and include unit type (e.g. studio, 1 bedroom, 2 bedroom, etc.) and the square footage area for each unit.	0	0

CHECKLISTS

In order for the Planning Department to consider a Project Application as accepted, the application must be accompanied by all required supporting materials and all relevant supplemental applications, as listed below.

Review and complete the checklist to determine if the materials are required as part of your Project Application submission.

PROJECT SUBMISSION CHECKLIST			
Documents <i>(completed and signed)</i>	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Project Application (PRJ)	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Letter of Authorization	When the property owner appoints an authorized agent to submit a project application on their behalf.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Pre-Application Meeting including: <ul style="list-style-type: none"> A copy of the invitation letter noting a phone number, video conferencing link, and an in-person meeting location A list of the neighborhood organizations and individuals invited to the meeting A copy of the sign-in sheet A summary of the discussion from the meeting The affidavit One reduced copy of the plans presented at Pre-App 	<p>Is the project subject to Planning Code Section 311 Notification?</p> <p>If yes, if the project involves any of the following scopes of work, a Pre-Application Meeting is required:</p> <ul style="list-style-type: none"> New Construction; Any vertical addition of 7 feet or more; Any horizontal addition of 10 feet or more; and Decks over 10 feet above grade or within the required rear yard. <p>The following project scopes require a Pre-Application Meeting regardless of location:</p> <ul style="list-style-type: none"> All Formula Retail uses subject to a Conditional Use Authorization; Projects in PDR-1-B Districts subject to Section 313; Local Program ADU(s) that will be constructed under a cantilevered room or deck in the rear yard; and Removal of a Residential or Unauthorized Unit, pursuant to Section 317(c)(2)(G). 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PROJECT SUBMISSION CHECKLIST

Documents <i>(completed and signed)</i>	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>	
Community Outreach Meeting including: <ul style="list-style-type: none"> • A copy of the invitation letter noting a phone number, video conferencing link, and an in-person meeting location • A list of the neighborhood organizations and individuals invited to the meeting • A copy of the sign-in sheet • A summary of the discussion from the meeting • The affidavit • One reduced copy of the plans presented at the meeting. 	Projects seeking to qualify for the Planning Code Section 317 (c) <p style="text-align: center;">OR</p> Project seeking approval pursuant to the Family and Senior Housing Opportunity Special Use District, Planning Code Section 249.94 (c)(12)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing <input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing	
	Electronic copy of the plans in pdf format, formatted to print at 11" x 17". Please see the Department's Plan Submittal Guidelines for more information about the required contents of plan submittals.	Required for paper building permit applications and entitlement only projects.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
	Supplemental Documents <i>(completed and signed)</i>	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
	Preliminary Housing Development (SB-330)	Optional to lock in Planning Code requirements.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
	SB-330 Unit Replacement Relocation Affidavit	Required for projects that will: <ul style="list-style-type: none"> • remove, • merge, • convert, or • demolish dwelling units. 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
	First Source Hiring Affidavit	Projects proposing 10 or more units or 25,000 sqft or more of gross commercial floor area.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PROJECT SUBMISSION CHECKLIST

Supplemental Documents <i>(completed and signed)</i>	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Reasonable Modification Application	For applicants with a disability that would like to seek a modification to their residence to accommodate their disability.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Better Streets Plan Checklist	<p>Project subject to Planning Code Section 138.1.</p> <p>The project is on a lot that is greater than one-half acre in total area; or includes more than 50,000 gross square feet of new construction; or contains 150 feet of total lot frontage on one or more publicly-accessible right-of-ways; or its frontage encompasses the entire block face between the nearest two intersections with any other publicly-accessible right-of-way;</p> <p>AND</p> <p>The project includes new construction of 10 or more Dwelling Units; or new construction of 10,000 gross square feet or greater of non-residential space; or an addition of 20% or more of Gross Floor Area to an existing building; or a Change of Use of 10,000 gross square feet or greater of a PDR use to a non-PDR use.</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Interim Use for Housing with Hotel & Motel Affidavit	Projects that will temporarily convert tourist hotels and motels as interim housing.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PROJECT SUBMISSION CHECKLIST

Entitlement Applications <i>(dependent on scope, consult Planning Information Counter if unsure)</i>	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Conditional Use Authorization	Projects that propose a use that is conditionally permitted.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Variance	Projects that seek an exception from Planning Code Standards (such as rear yard or front setback)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Commercial Projects	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Formula Retail Conditional Use Supplemental	For change of use projects with 11+ locations worldwide.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Formula Retail Affidavit	Alterations, new construction, tenant improvements, changes of use or signage to commercial businesses subject to Planning Code Section 303.1 .	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Flexible Retail Screening and Affidavit	Projects that propose a flexible retail use.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Institutional Master Plan Application	Projects that propose a medical institution or post-secondary educational institution.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Office Allocation Application	Projects that propose to add 25,000 gross sqft of net office space.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Wireless Telecommunications Facilities Supplemental	Projects that propose a new wireless facility or add antennas to an existing facility where wireless facilities are conditionally permitted.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Cannabis Uses Application	Projects that propose a cannabis use.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PROJECT SUBMISSION CHECKLIST

Residential Projects	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
317 Dwelling Unit Removal, Merger, Conversion or Demolition	Projects that will remove, merge, convert or demolish a residential or unauthorized unit.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
317 Exemption Affidavit	Projects that meet the eligibility criteria under Planning Code Section 317(c).	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
100% Affordable Housing Bonus Program (AHBP)	100% affordable projects that seek to use this program.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Downtown Residential Project Authorization	Projects greater than 50,000 sqft or 85 ft in height in the RH-DTR Zoning District.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Downtown Large Project Authorization	Most new construction and major alterations in C-3 Zoning.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Fourplex Density Bonus in RH Districts	Projects in RH Zoning Districts that seek to exceed the permitted density and elect to use this program.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
HOME-SF Supplemental Application	New construction projects providing at least 20% of units as affordable that elect to use this program.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Housing Sustainability District Application	Projects in the Central SoMa HSD that elect to use this program.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
In-Kind Agreement Supplemental	Projects in certain Area Plans that elect to satisfy their development impact fees this way.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
State Density Bonus Application (Individually Requested)	Projects on sites that principally permit 5 or more residential units and elect to use this program.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Large Project Authorization in Eastern Neighborhoods	Projects in Eastern Neighborhoods MUDs that will exceed 75 feet in height or involve a net addition or new construction of more than 25,000 gross square feet.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Inclusionary Affordable Housing Compliance Affidavit	Projects that propose 10 or more dwelling units.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Anti-Discrimination Housing Policy Affidavit	Projects that propose 10 or more dwelling units.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PROJECT SUBMISSION CHECKLIST

Commercial or Residential Projects	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Shadow Analysis Supplemental Application	Projects over 40 feet in height that will cast shadow on a property under the jurisdiction of the San Francisco Recreation and Parks Department.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Legislative Amendment	Projects that seek to reclassify a parcel, amend the Planning Code, or modify the General Plan.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Staff Initiated Discretionary Review	For removal of conditions of approval applied through a previous discretionary review.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Coastal Zone Authorization	Projects located in the Coastal Zone.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Transportation Demand Management Supplemental	Projects that propose an addition of : <ul style="list-style-type: none"> • 10 or more dwelling units; or • group housing bedrooms, or • new construction resulting in more than 10,000 sqft of non-residential use, or • change of use of more than 25,000 sqft. 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Projects Altering Historic Buildings (Marked as A*, Article 10 or 11 on PIM)	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Major Permit to Alter Application	Projects that seek to alter a building designated under Article 11 of the Planning Code.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Minor Permit to Alter Application	Projects that seek to alter a building designated under Article 11 of the Planning Code with a scope determined to be minor. Contact PIC to confirm Minor vs. Major.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Certificate of Transfer of Development Rights Application	Projects that seek to transfer development rights from a preservation lot to another lot.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Certificate of Appropriateness Application	Projects that seek to alter a building designated under Article 10 of the Planning Code.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PLAN SUBMITTAL CHECKLIST

To be reviewed and completed by a design professional

Title Page Requirement	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Written Project Description	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Address, Block, Lot	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Zoning District, Height and Bulk District, any Special Use District	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Number of Commercial Units and Residential Dwelling Units (Existing and Proposed)	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Building square footage and breakdown by units (existing and proposed) as defined by gross floor area in Planning Code Section 102	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Height of existing building/ structures and height of proposed building/structures	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Dwelling Unit Mix Breakdown (Number of Studio, One bedrooms etc.)	Residential Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Percentage and number of on-site affordable units	Required for projects with 10 or more units. Optional for others.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Number of vehicle parking spaces and car share spaces	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Number of bicycle parking spaces	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Square footage of useable open space	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Better roofs ordinance, including total roof area, living roof area, and solar ready zone area	Project subject to Planning Code Section 149	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Describe average slope of the projects site (%)	Projects with exterior expansions	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Licensed design professional stamp and signature- may be electronic	According to California State Licensing Board on Design Limitations for Professionals	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PLAN SUBMITTAL CHECKLIST

To be reviewed and completed by a design professional

Site Survey Requirement	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Signed by licensed surveyor, 1/8" or 1" scale, full width of all buildings on adjacent lots, front setback of all adjacent buildings, curb elevation in line with the mid-point of the subject building and adjacent lots, grade elevation at the mid-point of the front wall of adjacent buildings, roof elevations including elevation of eaves/peaks of pitched roofs, contour lines, utility lines, street trees, existing structure on site, north arrow.	New construction, Lot splits or mergers	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PLAN SUBMITTAL CHECKLIST

To be reviewed and completed by a design professional

Site Plans Requirement	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Scale: 1/8" = 1' (or 1" = 10' if project is too large).	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Separate existing and proposed site plans: showing all buildings on the lot.	Only if exterior changes proposed	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Adjacent lots showing full width outlines of all buildings on adjacent properties.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Direction of true north: show project north if it is different from true north.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Dimensions: show the distance from the existing building walls to property lines and other structures on the lot. Include width of sidewalk from front property line to curb.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Landscape and permeable surface: show/dimension the space to be landscaped/permeable within the required front setback (include permeability and landscape calculations).	Only if existing front setback	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Usable open space: show the dimensions of decks, terraces and yards.	Residential Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Curb cuts: existing and proposed curb cuts, curb lines, including both adjacent properties.	If removing or adding parking	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Dimensioned setback requirements: Front setback, rear yard and side yard of the subject and adjacent buildings.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Street Names	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Street tree: show the location of existing and proposed street trees or add a notation if you pay the in-lieu fee.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PLAN SUBMITTAL CHECKLIST

To be reviewed and completed by a design professional

Floor and Roof Plans Requirement	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Separate existing and proposed floor and roof plans: include adjacent structures	When changes are made to the floor or roof.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Scale: ¼" = 1' (unless project is too large in which case 1/8" = 1' is acceptable).	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
North Arrow	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
On all plan views: label the intended use of rooms and areas.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Toters: show location of dedicated space for trash, recycling and compost carts on private property and screened from public view. Visit www.recology.com/recology-san-francisco for more information.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Laundry and storage: show the locations.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Parking: show dimensions and outlines of all existing and proposed vehicle and bicycle parking.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Electrical Transformers: show the locations.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Roof: Total roof area, living roof area, and/or solar ready zone area in gross square feet (existing and proposed).	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Walls: Those to remain and those to be removed or added (with key). If substantial amounts of demolition are proposed, include demolition calculations pursuant to Planning Code Section 317.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Door and Windows: Existing and Proposed.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PLAN SUBMITTAL CHECKLIST

To be reviewed and completed by a design professional

Building Elevation Requirement	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Separate existing and proposed elevations: if exterior changes are proposed, provide separate existing and proposed elevations for only the building face(s) related to the work.	Only if exterior changes proposed.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Profiles of Adjacent Buildings: Show the full outline of each adjacent building/structure. Side elevations should show the full profile of adjacent buildings, window openings, and light wells that face the project. Show the grade plane and heights of buildings. Identify the height limit pursuant to Planning Code Section 260.	Only if exterior changes proposed.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Exterior materials: if exterior changes are proposed, include existing and proposed exterior materials for new or replacement doors, windows, and exterior finish material. If an elevation is not required, this information can go elsewhere in the plan set.	Only if exterior changes proposed.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Windows: include dimensions, operation, and material type. Provide plan section detail of new windows.	Only if exterior changes proposed.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Heights: (in feet and number of stories, calculated as defined in Planning Code Sections 102 and 260) and any difference in elevation due to pitched roofs or steps in building mass.	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PLAN SUBMITTAL CHECKLIST

To be reviewed and completed by a design professional

Sections Requirement	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
<p>At least two sections (longitudinal and latitudinal)</p> <p>Longitudinal: show relation between the street, front property line, subject building, rear yard, and rear property line</p> <p>Latitudinal: show relation between subject building and the outline of each adjacent building</p>	Expansions and projects with excavation.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Separate existing and proposed sections	If there is a change in floor to ceiling heights or if excavation is proposed.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Scale: 1/4"=1' (unless the project is too large)	For all sections.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Height datum point: Center line of the building, top of curb	For all sections.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Floor to Ceiling height dimensions	For all sections.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Existing and Proposed Grade	For all sections.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Key section location of floor plans and site plans	For all sections.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PLAN SUBMITTAL CHECKLIST

To be reviewed and completed by a design professional

Additional Requirement	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Renderings	New construction	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Photographs	Always	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
As Built Plans: In addition to the requirements above, as-built plans are required. This will demonstrate what the current conditions are as differentiated from the existing plans (last legal condition) and the proposed plans (future condition that legalizes unauthorized work and proposes code compliant work.	If permit is to abate an enforcement case (either DBI or PLN).	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Demolition Calculations: Pursuant to Planning Code Section 317.	If vertical addition and significant demolition of at least one additional wall OR If horizontal addition with significant demolition of two walls.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
San Francisco Design Standards	The San Francisco Design Standards are required for projects that are protected under the Housing Accountability Act.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Preservation Design Standards	Preservation Design Standards for additions and modifications to existing historic buildings are required for Category A and A* Properties projects that are protected under the Housing Accountability Act.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

PLAN SUBMITTAL CHECKLIST

To be reviewed and completed by a design professional

Additional Requirements for State Density Bonus Projects	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Base Density (in gross residential sqft and in number of units)	State Density Bonus Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Bonus Density (in gross residential sqft and in number of units)	State Density Bonus Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Density Bonus Percentage sought	State Density Bonus Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Required Inclusionary Percentage	State Density Bonus Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Percentage of onsite affordable units provided, and AMI levels provided at	State Density Bonus Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Tenure of project (rental or ownership)	State Density Bonus Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Unit mix table (number of units broken down by # of bedrooms for total project and for just on-site affordable units)	State Density Bonus Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Waivers Requested	State Density Bonus Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Incentives Requested	State Density Bonus Projects	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

ENVIRONMENTAL EVALUATION SCREENING FORM

All projects must complete this section.

Applications (completed and signed)	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Housing Development Statutory Exemption (AB 130) Supplemental Application	Optional. Please review the AB 130 Supplemental Application for details regarding tribal consultation, labor requirements, and other applicable conditions.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Provide foundation design type, if applicable (e.g., mat foundation, spread footings, drilled piers, etc.).	Select "N/A" if the information is not applicable.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A Foundation type: <u>Spread Footings</u>	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Provide <ol style="list-style-type: none"> 1. area on site to be excavated in square feet; 2. depth of excavation (including foundation work) in feet; and 3. volume of excavation/ disturbance below grade in cubic yards 	Projects proposing ground disturbance.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A Area (sq. ft): <u>18,832</u> Depth (ft): <u>5'-18'4"</u> Volume (yd3): <u>5,552</u>	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Provide section and plan showing area and depth of soil disturbance in feet (including foundation work).	Projects in Archeological Zone 1 (review in PIM) with more than 2 feet and 25 cubic yards of soil disturbance OR Project in Archeological Zone 2 with more than 5 feet and 50 cubic yards of soil disturbance.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Historic Resource Review	Projects that involve demolition of a building constructed 45 years ago or more, or a building contributing to a historic district. For demolitions, scope the report by contacting: CPC-HRE@sfgov.org OR Projects that involve complete alteration to a front facade or add a substantial vertical addition visible from public rights-of-way (applicable only to Category A*, A & B).	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

Applications (completed and signed)	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Submit copy of an Application for Article 38 Compliance with proof of receipt from the Department of Public Health.	For new construction, major alteration, or change of use projects located in an Air Pollution Exposure Zone (2022) as identified on PIM THAT ALSO Propose a sensitive use (i.e. childcare, school, senior center, residential uses, and health care facilities).	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Submit copy of the Maher Application with proof of receipt from the Department of Public Health.	Projects on Maher site OR sites suspected of containing potential subsurface soil or groundwater contamination AND requires more than 50 cubic yards of excavation OR change of use from industrial use to residential or institutional uses	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Phase 1 environmental site evaluation AND Documentation of Enrollment in DPH's Maher Program	Projects on Maher site with more than 50 cubic yards of excavation OR Projects proposing a change of use from industrial use to residential or institutional uses. OR Projects on Cortese sites OR Projects on a site with an existing or former gas station, parking lot, auto repair, dry cleaner, manufacturing use, or a site with current or former underground storage tanks OR AB 2011 applications.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

Applications (completed and signed)	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Geotechnical Study	<p>Projects located within a Landslide Hazard Zone, Liquefaction Zone as shown on PIM,</p> <p style="text-align: center;">OR</p> <p>Projects on a lot with an average slope of 25% or greater</p> <p style="text-align: center;">AND</p> <p>Projects involving:</p> <ul style="list-style-type: none"> • construction of a new building; • horizontal additions with increases more than 50%; • vertical additions with increases more than 500 square feet of new roof area; • substantial grading disturbing 5,000 cubic yards of material); • substantial cuts for grading (e.g., 10 feet in vertical height or steep slopes); • a deep foundation system (e.g., piers, piles); or • any grading within a Landslide Hazard Zone or Liquefaction Zone. 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Consultant prepared shadow fan.	<p>Projects over 40 feet in height</p> <p style="text-align: center;">AND</p> <p>If it is known that the Project will cast shadow on a property under the jurisdiction of the Recreation and Parks Department</p> <p>If unknown, this information will be relayed to applicant by Department staff in the response to this submittal.</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

Applications (completed and signed)	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Childcare pickup and drop off management plan and application	If proposing a childcare facility with 30 or more students or 1,500 sqft or more of new space.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Major Projects	Projects over 10,000 sqft OR Project proposing more than 25 units.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Categorical Exemption Certificate Fee	The project involves: <ul style="list-style-type: none"> • 25 units or less; • 10,000 square feet or less of non-residential uses (either as change of use or addition); <p>AND</p> <p>does not require an amendment to the General Plan or Planning Code (e.g. special use district).</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

If yes, to any of the questions in the above Environmental screening form, please complete the following checklist.

ENVIRONMENTAL EVALUATION SUBMITTAL CHECKLIST

Applications (completed and signed)	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	<i>Planning staff only: verification of submission & completeness</i>
<p>Construction duration information and construction equipment list.</p> <p>Please submit estimated hours and number of days per week of construction and construction equipment list as shown in the Project Construction Information Form.</p>	Projects involving demolition and/or new construction.	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Describe location and timing and provide plans of construction phasing (e.g., phase 1 will consist of XX units on lots A and B, phase 2 will consist of XX square feet of office on lots C and D and shown on plans).	If project involves multiple new building or structures on multiple lots.	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Describe the location and provide plans with the number and size (horsepower) and engine tier level of stationary sources or mechanical equipment (e.g., fans, cooling towers, HVAC, backup diesel generators, fire pumps) or other noise or air pollutant sources.	<p>Projects over 75 feet in height</p> <p style="text-align: center;">OR</p> <p>Projects including more than 2 diesel generators</p> <p style="text-align: center;">OR</p> <p>Projects proposing grocery stores.</p>	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Describe and provide plans of number of seats and/or standing capacity (maximum occupancy), frequency and hours of entertainment, and locations where amplified noise may occur (music, events, etc.).	Projects proposing Entertainment uses.	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Submit estimates of number of daily and peak hour vehicle trips broken down by vehicle type (supported by estimates that include breakdown of space by different parcel delivery uses).	Projects proposing Parcel Delivery Service uses	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

ENVIRONMENTAL EVALUATION SUBMITTAL CHECKLIST

Applications (completed and signed)	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	Planning staff only: <i>verification of submission & completeness</i>
Describe location and provide plans of any changes to public facilities (e.g., parks and recreation facilities, pump stations, main (not lateral) sewer lines, etc.).	Projects proposing changes to public facilities or infrastructure (excluding roadways).	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Driveway and Loading Operations Plan and submit a "Site Circulation Review" fee to SFMTA. You may elect to select a qualified transportation consultant to prepare the Driveway and Loading Operations Plan .	Projects proposing more than 100,000 net new gross square feet in Central SoMa SUD or Van Ness SUD OR Projects proposing more than 100,000 net new gross square feet and requesting a waiver, incentive, variance from off-street loading requirements OR Projects involving 25 or more electric vehicle spaces.	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Consultant prepared wind scope of work.	Projects over 85 ft in height OR Projects located within use district with wind criteria OR HOME-SF projects	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Priority Application Processing for Clean Construction Projects Supplemental	Projects seeking priority application processing for clean construction.	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Better Streets Plan Checklist	Large development sites with new construction or major alterations (see the application to confirm if required for the project).	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

ENVIRONMENTAL EVALUATION SUBMITTAL CHECKLIST

Applications (completed and signed)	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>	<i>Planning staff only: verification of submission & completeness</i>
Flood Hazard Zone Protection Checklist with the Department of Building Inspection	Projects located within a FEMA Special Flood Hazard Area (AE, AO, and/or VE Zone)	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing
Submit a Tree Removal Permit Process and Application to the Department of Public Works and submit a copy to the Planning Department with this checklist.	Projects that would involve tree removal.	<input type="checkbox"/> Yes <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> N/A <input type="checkbox"/> Missing

ENVIRONMENTAL FEE UPON SUBMITTAL

Please refer to Planning Department [Fee Schedule](#). However, more factors than those listed here affect Department staff's determination of the appropriate CEQA determination and fee type. Department staff's initial determination may change after reviewing project application and studies, and after conducting any CEQA required consultation processes (e.g., public scoping, public review, tribal consultation), which may result in a refunded fee, increased fee, or additional fee.

Class 1, 3	No fee needed.
Class 32 Categorical Exemption Fee	Projects NOT on Cortese list AND less than 75 feet in height AND on a site less than 5 acres
Environmental Documentation Determination Fee	Projects located within an Area Plan OR Projects that involve more than 25 units OR Projects that involve more than 10,000 square feet of non-residential uses OR Projects that require an amendment to the General Plan or Planning Code
Addendum Fee	Projects previously analyzed in prior CEQA determination

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.
- d) I hereby authorize City and County of San Francisco Planning staff to conduct a site visit of this property as part of the City's review of this application, making all portions of the interior and exterior accessible through completion of construction and in response to the monitoring of any condition of approval.
- e) I attest that personally identifiable information (PII) - i.e. social security numbers, driver's license numbers, bank accounts - have not been provided as part of this application. Furthermore, where supplemental information is required by this application, PII has been redacted prior to submittal to the Planning Department. I understand that any information provided to the Planning Department becomes part of the public record and can be made available to the public for review and/or posted to Department websites.

Greg Johnson

Signature

Greg Johnson

Name (Printed)

October 1, 2025

Date

Architect

415-987-7141

greg.johnson@multi.studio

Relationship to Project
(i.e. Owner, Architect, etc.)

Phone

Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____



PRELIMINARY APPLICATION PURSUANT TO SB 330 AND/OR NOTICE OF INTENT TO SUBMIT A PROJECT APPLICATION PURSUANT TO SB 423, AB 2011, OR SB 4

INFORMATIONAL AND APPLICATION PACKET

For questions, you can call the Planning counter at 628.652.7300 or email pic@sfgov.org where planners are able to assist you.

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電628.652.7550。請注意，規劃部門需要至少一個工作日來回應。

Filipino: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

WHAT IS A PRELIMINARY HOUSING DEVELOPMENT APPLICATION?

The Housing Crisis Act of 2019, adopted in Senate Bill 330 (2019), added Government Code section 65941.1, and allows an applicant for a housing development project to submit a preliminary application that provides a local agency with specified site information about the project. The zoning, design, subdivision, and fee requirements that will apply to the housing development project throughout the review and entitlement process will be based on the date that the applicant submits a complete preliminary application, including the payment of a permit processing fee.

A 'housing development project' is a project with at least one residential unit, which includes at least two-thirds residential use by floor area, or is transitional or supportive housing. A Preliminary Application can be submitted for projects that require both ministerial and discretionary approvals.

Under Senate Bill 423 (SB 423), a Preliminary Application acts as a "Notice of Intent" to file a Project Application. This starts certain time-sensitive steps, including notification to the California Native American Tribes or a hearing before the Planning Commission dependent on the site location. Please see below for more information.

Additional State ministerial programs (AB 2011 and SB 4) also contain requirements for notification to the California Native American Tribes provided the development site is vacant. If electing to use either program, please fill out the Excavation Table on Page 8 and complete this form.

The Preliminary Application may serve either function or both: to lock in the Planning Code requirements as they exist when submitted or as a Notice of Intent for submitting a SB 423 application.

PROCESS FOR SUBMITTING A PRELIMINARY HOUSING DEVELOPMENT APPLICATION TO LOCK IN PLANNING CODE REQUIREMENTS

Once a complete Preliminary Application is submitted the zoning, design, subdivision, and fee requirements in effect as of the date of submittal will remain applicable to the project for the duration of the review and entitlement process, provided that the applicant satisfies all of the following:

- The submitted Preliminary Application contains accurate information. The Planning Department may require a revised Preliminary Application if the original application includes inaccurate information.
- The applicant must submit, and the department must accept, a complete development application which could include a Project Application (PRJ) or a State ministerial application such as SB 423, SB 4, or AB 2011 within 180 days of submittal of a Preliminary Application.
- The project does not increase by more than 20 percent either the number of units or total square footage as indicated in the Preliminary Application, except as the project may be revised using the State Density Bonus.
- The project must commence construction within 30 months of site permit issuance.

If the applicant fails to satisfy the above requirements, the Preliminary Application shall expire and have no further force or effect.

Note that the City may impose the following requirements even when a Preliminary Application is on file:

- The City may annually adjust development impact fees, application fees, capacity and connection fees, or other charges based on a published cost index.
- The City may apply requirements to avoid adverse impacts on public health or safety or to avoid or lessen an impact under CEQA.

Applicants may submit a new Preliminary Application to lock in Planning Code requirements at any time, in which case the requirements in effect at that time shall apply.

TRIBAL CONSULTATION FOR SB 423| AB 2011| SB 4 PROJECTS

Certain state housing laws require consultation with California Native American Tribes that are traditionally and culturally affiliated with the geographic area in which the project is located prior to filing an application. For all SB 423 projects, and for SB 4 and AB 2011 projects on vacant sites, this Preliminary Application serves as the “Notice of Intent.” Tribal consultation must be finalized prior to filing a Supplemental Application.

SB 423

- For projects seeking approval under the provision of SB 423 (Government Code Section 65913.4), an applicant is required to submit a Preliminary Application, which will serve as a Notice of Intent to submit an SB 423 Project Application.
- Upon receipt of a Preliminary Application, the Planning Department will notify the California Native American Tribes of the Preliminary Application within 30 days.
- Within 30 days of the date of notification, a representative of the tribal group may request a scoping consultation with the Department. The consultation may include discussion concerning the identification, presence, and significance of Tribal Cultural Resources (TCRs), the significance of the project’s impacts on TCRs, and, as warranted, measures and alternatives to protect or reduce impacts on tribal cultural resources.

- If a scoping consultation is requested, Department staff will coordinate with the requestor to develop mitigation measures, which will be attached to the approval as conditions of approval. If the project sponsor does not agree to these measures, or the sponsor and requestor cannot agree on a set of measures, then the project is not eligible for that ministerial approval program. A local agency may not accept a Supplemental Application under SB 423 until Tribal consultation is complete.
- If a scoping session is not required, the project sponsor may submit a Supplemental Application under SB 423.

AB 2011 AND SB 4

- Projects seeking approval under AB 2011 (Government Code section 65912.100 et seq.) and SB 4 (Government Code section 65913.16) require Tribal Notification for projects located on vacant sites. In San Francisco, a vacant site is:
 1. Any undeveloped parcel containing no existing buildings;
 2. Any parcel that contains only a surface parking lot and no existing buildings, except buildings that are accessory to a surface parking lot use, such as a guard station or kiosk, whether or not said surface parking lot was established with the benefit of a permit; or
 3. For a parcel over 15,000 square feet in size that contains a surface parking lot use, the site may include structures that are accessory to a surface parking lot use, such as those supporting General Advertising Signs, and a building that does not exceed 800 square feet in building area
- Notification can take place at the same time as review of a Supplemental Application under AB 2011 or SB 4; however, the project may not be deemed eligible for either program until consultation is completed.
- Projects may not be located on sites that contain tribal cultural resources that could be affected by the development and that cannot be mitigated.

PUBLIC HEARING FOR SB 423 PROJECTS IN CERTAIN NEIGHBORHOODS

- The Planning Commission shall hold a public meeting to provide an opportunity for the public and the local government to comment on the development if the development is located within a census tract that is designated either as a moderate resource area, low resource area, or an area of high segregation and poverty on the most recent “CTCAC/HCD Opportunity Map” published by the California Tax Credit Allocation Committee and the Department of Housing and Community Development.
- The Planning Commission will hold a required public meeting during a [regularly scheduled Planning Commission hearing](#) (generally, Thursdays at 12 pm noon). This informational hearing will be scheduled within 45 days of submission of this application. If the City does not hold a public meeting within 45 days, the project sponsor shall hold a public meeting before submitting a Project Application.

FEES

Effective November 1, 2024, SF Planning will apply a \$1,330 fee for [Preliminary Application \(PPS\)](#) submissions. Should the cost of staff time exceed the initial fee paid, an additional fee for time and materials may be applied.



**PRELIMINARY APPLICATION PURSUANT TO SB 330 AND/OR
NOTICE OF INTENT TO SUBMIT A PROJECT APPLICATION PURSUANT TO SB 423, AB 2011, OR SB 4**

SUPPLEMENTAL APPLICATION

Property Information

Project Address: 659 Union/1656 Powell Streets

Block/Lot(s): 0117/016

Applicant Information

Name: Greg Johnson

Company/Organization: Multistudio

Address: 156 S Park St, SF, CA, 94107

Email Address: greg.johnson@multi.studio

Telephone: 415.844-2126

Application Information

Select one of the options below, and check all that apply:

- Option 1:** This application is submitted to lock Planning Code provisions per SB 330.
- Option 2*:** This is a Notice of Intent to submit a Housing Development Project pursuant to SB 423.
- Option 3*:** This is to satisfy notification requirements to the California Native American Tribes for a Housing Development Project on a vacant site pursuant to AB 2011 or SB 4.

*If applying for Option 2 or 3, please complete Excavation Table on page 7

Required Submission Materials

Architectural plans in pdf format, formatted to print at 11" x 17" that includes the following information: a site plan showing the location of the development on the property, elevations showing design, color, and material, and the massing, height, and approximate square footage of each building that is to be occupied.

- I have submitted the above described plans with this application.

Project Description

See attached project description.

Please identify the State programs this project will use, if any. You may select more than one.

SB 423 / SB 35 Streamlined Housing Approvals: Multifamily Housing Developments (2023)

AB 2011 Affordable Housing and High Road Jobs Act of 2022

State Density Bonus (1979)

AB 2162 Housing Development: Supportive Housing (2017)

SB 4 Housing Development: Higher Education Institutions and Religious Institutions (2023)

Does the site contain or did the site contain any residential units?

Yes No

If yes, please answer the following questions:

What is the current occupancy status of each of the existing residential units?

The site has been vacant and without residential occupancy since 2013, following fires that destroyed the former structure.

How many residential units will be demolished under the proposed project?

None: No protected units have existed or been occupied in the past 12 years, the Project is not subject to tenant protection or replacement housing requirements under SB 423, SB 330, or the State Density Bonus Law.

*Please note, the Project sponsor will be required to provide information about any protected units under SB 330 (Government Code Section 66300) upon submittal of the Project Application. Some state laws have specific demolition restrictions, please see the applicable applications for more information.

1. Does the project include any point sources of air or water pollution? If so, please list them:

Yes No

2. Are any species of local concern known to occur on the property? If so, please list them:

Yes No

3. Is any portion of the property located within any of the following?

- a. A very high fire hazard severity zone, as determined by the Department of Forestry and Fire Protection pursuant to Government Code Sec. 51178:
 Yes No
- b. Wetlands, as defined in the United States Fish and Wildlife Service Manual, Part 660 FW 2 (June 21, 1993):
 Yes No
- c. A hazardous waste site that is listed pursuant to Government Code Sec. 65962.5 or a hazardous waste site designated by the Department of Toxic Substances Control pursuant to Section 25356 of the Health and Safety Code:
 Yes No
- d. A special flood hazard area subject to inundation by the 1 percent annual chance flood (100-year flood) as determined by the Federal Emergency Management Agency in any official maps published by the Federal Emergency Management Agency:
 Yes No
- e. A delineated earthquake fault zone as determined by the State Geologist in any official maps published by the State Geologist, unless the development complies with applicable seismic protection building code standards adopted by the California Building Standards Commission under the California Building Standards Law (Part 2.5 (commencing with Section 18901) of Division 13 of the Health and Safety Code), and by any local building department under Chapter 12.2 (commencing with Section 8875) of Division 1 of Title 2:
 Yes No
- f. A stream or other resource that may be subject to a streambed alteration agreement pursuant to Chapter 6 (commencing with Section 1600) of Division 2 of the Fish and Game Code.
 Yes No

4. Are any historic or cultural resources known to exist on the property? (see the Historic Preservation tab on the [Property Information Map](#)) If so, please list them

Yes No

5. Will the project require any approvals under the Subdivision Map Act, such as a parcel map, a tentative map, or a condominium map?

Yes No

6. Is the project located within the Coastal Zone?

Yes No

If yes, does any portion of the property contain any of the information?

- a. Wetlands, as defined in subdivision (b) of Section 13577 of Title 14 of the California Code of Regulations:
 Yes No
- b. Environmentally sensitive habitat areas, as defined in Section 30240 of the Public Resources Code:
 Yes No
- c. A tsunami run-up zone:
 Yes No
- d. Use of the site for public access to or along the coast:
 Yes No

7. Will the project impact a stream or other resource that may be subject to a streambed alteration agreement pursuant to Chapter 6 (commencing with Section 1600) of Division 2 of the Fish and Game Code?

Yes No

If yes, attach an aerial site photograph showing existing site conditions of environmental site features that would be subject to regulations by a public agency, including creeks and wetlands.

8. Is any portion of the property subject to any recorded public easement, such as easements for storm drains, water lines, power lines, and other public rights of way?
 Yes No

If yes, provide a site map or list indicating the location of all such public easements.

SB 423 | AB 2011 | SB 4 Projects

The following information is requested to assist with the tribal scoping consultation as described in Government Code Section 65913.4, 65912.100 et seq., and 65913.16. **Complete the table below for all SB 423 projects. Complete the table below for AB 2011 and SB 4 projects, provided that the development site is vacant.**

Excavation Table

Please provide the following information, and submit a section and site plan showing area and depth of soil disturbance in feet (including foundation work).

Information	When is it required?	Applicants: <i>is this required as part of your project & submitted?</i>
Provide foundation design type, if applicable (e.g., mat foundation, spread footings, drilled piers, etc.).	Select "N/A" if the information is not applicable.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A Foundation type: <u>Spread Footings</u>
Provide 1. area on site to be excavated in square feet; 2. depth of excavation (including foundation work) in feet; and 3. volume of excavation/ disturbance below grade in cubic yards	Projects proposing ground disturbance.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A Area (sq. ft): <u>18,832</u> Depth (ft): <u>varies from 5'-18'4</u> Volume (yd ³): <u>5,552</u>
Provide section and plan showing area and depth of soil disturbance in feet (including foundation work).	Projects in Archeological Zone 1 (review in PIM) with more than 2 feet and 25 cubic yards of soil disturbance OR Project in Archeological Zone 2 with more than 5 feet and 50 cubic yards of soil disturbance.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A

PROJECT AND LAND USE TABLES

All fields relevant to the project **must be completed** in order for this application to be accepted.

	Existing	Proposed	
General Land Use	Parking GSF	approx. 14,298 square feet (50 spaces)	approx. 6,669 square feet (40 spaces)
	Residential GSF	0	approx. 95,220 square feet
	Retail/Commercial GSF	0	approx. 12,386 square feet
	Office GSF	0	0
	Industrial-PDR GSF	0	0
	Medical GSF	0	0
	Hotel GSF	0	0
	CIE (Cultural, Institutional, Educational) GSF	0	0

Project Features	Dwelling Units - Affordable	0	15
	Dwelling Units - Market Rate	0	74
	Dwelling Units - Total	0	89
	Hotel Rooms	0	0
	Number of Building(s)	1	1
	Number of Stories	0	8
	Parking Spaces	50	0
	Loading Spaces	0	1 (approx. 1,959 square feet)
	Bicycle Spaces	0	111
	Car Share Spaces	0	0
	Useable Open Space GSF	0	approx. 10,592 square feet
	Public Open Space GSF	0	approx. 455 square feet
	Roof Area GSF - Total	0	approx. 18,807 square feet
	Living Roof GSF	0	approx. 4,425 square feet
	Solar Ready Zone GSF	0	approx. 4,425 square feet
Other: _____			

Land Use - Residential	Studio Units	0	5
	One Bedroom Units	0	62
	Two Bedroom Units	0	13
	Three Bedroom (or +) Units	0	9
	Group Housing - Rooms	0	0
	Group Housing - Beds	0	0
	SRO Units	0	0
	Micro Units	0	0
	Accessory Dwelling Units For ADUs, list all ADUs and include unit type (e.g. studio, 1 bedroom, 2 bedroom, etc.) and the square footage area for each unit.	0	0

State Density Bonus Project

Please complete this section if the project uses State Density Bonus Law

Base Density (in gross residential sqft and in number of units): 47 units, 64,460GSF

Bonus Density (in gross residential sqft and in number of units): 89 units, 95,220 GSF

Density Bonus Percentage Sought: 95%

Percentage of onsite affordable units provided and AMI levels of those units : 15% VLI and 14%MI

Tenure of Project (rental or ownership): Rental

Unit mix table (number of units broken down by number of bedrooms for total project and unit mix and bedroom count for the affordable units):

89 units:
5 studios
62 one-bedroom
13 two-bedroom
9 three-bedroom

15 BMRs: 8 VLI & 7 MI
1 studio, 10 one-bedroom, 2 two-bedroom, 3 three-bedroom

Waivers Requested: Sec.135: Exception to open space req't,
Sec. 260,722: Exception to 40' height limit,
Sec. 722: Exception to 25% rear yard req't., Sec. 780:
Exception to historic resources.

Incentives Requested: Restaurant use above ground floor.

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.
- d) I attest that personally identifiable information (PII) - i.e. social security numbers, driver's license numbers, bank accounts - have not been provided as part of this application or any supplemental information. I understand that any information provided to the Planning Department becomes part of the public record and can be made available to the public for review and/or posted to Department websites.

Greg Johnson

Signature

Greg Johnson

Name (Printed)

September 30, 2025

Date

Architect

Relationship to Project
(i.e. Owner, Architect, etc.)

415-987-7141

Phone

greg.johnson@multi.studio

Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Attachment: Project Description

Preliminary Application Pursuant to SB 330 and/or Notice of Intent to Submit a Project Application Pursuant to SB 423

The subject property comprises the entirety of Lot 16 of Assessor's Block 0117, bounded by Powell, Union, and Columbus Streets. The site comprises two areas:

1. A vacant area of approximately 11,200 sf fronting Union Street from Columbus Avenue to Powell Street—the former location of the Verdi Building, destroyed by fire in 2018. The area contains an existing brick wall (the former façade of the Verdi Building), currently held up with temporary shoring.
2. A two-story parking garage of approximately 15,000 sf fronting Powell Street.

The proposed project ("Project") seeks to demolish the existing parking structure which currently provides approximately 50 temporary off-street parking spaces, and the existing brick wall (former façade of the Verdi Building).

The Project proposes construction of a new eight-story, mixed-use building consisting of:

- 89 residential rental units, including 15 below-market-rate (BMR) rental units; (approximately 95,220 square feet);
- Approximately 5,700 sf of ground-floor retail space;
- A publicly accessible rooftop restaurant (approximately 6,678 square feet);
- 40 parking spaces;
- 99 type 1 bicycle parking spaces and 12 type 2 bicycle parking spaces; and
- 4 new street trees along Union Street , and 2 new street trees along Powell Street

The Project has been designed in accordance with the City's Objective Design Standards and seeks to reflect and enhance the architectural character of the North Beach neighborhood, with sensitivity to adjacent structures and nearby Washington Square Park.

The Project includes this Preliminary Application Pursuant to SB 330 and Notice of Intent to Submit a Project Application Pursuant to SB 423. The Project endeavors to comply with underlying zoning controls where feasible and seeks waivers and incentives under the State Density Bonus Law (SDBL) as necessary to accommodate its proposed scope.

Requested incentives and waivers include:

- Incentive to permit restaurant use above the ground floor.
- Waivers from Planning Code Sections 260/722 (Height), 135 (Open Space), 722 (Rear Yard), and 780.3(3) (Historic Resources).

Existing Site Conditions & Legal Eligibility

The site has been vacant and without residential occupancy since 2013, following fires that destroyed the former structure. As no protected units have existed or been occupied in the past

10 years, the Project is not subject to tenant protection or replacement housing requirements under SB 423, SB 330, or the State Density Bonus Law. The proposed development is therefore eligible for streamlined processing and related entitlements under applicable state housing laws.

The Project intends to seek a statutory exemption via AB 130 and SB 131. AB 130 provides the statutory exemption for certain infill developments. SB 131 allows for continued eligibility of AB 130 if only one eligibility criterion is not met.



AB 130 INFILL STATUTORY EXEMPTION - PUBLIC RESOURCES CODE SECTION 21080.66

INFORMATIONAL AND SUPPLEMENTAL APPLICATION PACKET

ATTENTION: A Project Application must be completed and/or attached prior to submitting this Supplemental Application. See the [Project Application](#) for instructions.

For questions, you can call the Planning counter at 628.652.7300 or email pic@sfgov.org where planners are able to assist you.

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電628.652.7550。請注意，規劃部門需要至少一個工作日來回應。

Filipino: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

Tiếng Việt: Nếu quý vị muốn được hỗ trợ hoàn thành đơn này bằng tiếng Việt, vui lòng gọi 628.652.7550. Xin lưu ý rằng Sở Quy Hoạch cần ít nhất một ngày làm việc để phản hồi.

WHAT IS THE AB 130 INFILL EXEMPTION?

In response to California’s housing crisis, the State Legislature has introduced numerous bills to fund, incentivize, and legalize new housing. On June 30, 2025, Governor Gavin Newsom signed Assembly Bill 130 (AB 130) into law. AB 130 establishes a statutory exemption for housing development projects on specific sites, provided they meet labor requirements if applicable and engage in tribal consultation.

Public Resources Code Section 21080.66, created under AB 130, is part of California’s initiative to streamline housing development and update the California Environmental Quality Act (CEQA) review process. This section offers a statutory exemption for certain housing development projects from CEQA requirements, aiming to speed up the approval process.

IS MY PROJECT ELIGIBLE FOR THE AB 130 HOUSING DEVELOPMENT STATUTORY EXEMPTION?

A project is eligible for statutory exemption under AB 130 if it meets the following criteria:

Project Requirements

- **Housing Development Project.** The project is a “housing development project” that meets any one of the following criteria:
 - it consists of residential units only;

- it is a mixed-use development that includes both residential and nonresidential uses, with at least two-thirds of the square footage designated for residential use;
 - it is a mixed-use development with at least 50 percent of the new or converted square footage designated for residential use and includes at least 500 net new residential units, with no portion of the project designated for use as a hotel, motel, bed and breakfast inn, or other transient lodging, except that a portion of the project may be designated for use as a residential hotel, as defined in Section 50519 of the Health and Safety Code;
 - it is a mixed-use development with at least 50 percent of the net new or converted square footage designated for residential use, includes at least 500 net new residential units, demolishes or converts at least 100,000 square feet of nonresidential use and at least 50 percent of existing nonresidential uses on the site, and does not include any portion designated for transient lodging except a residential hotel under Section 50519; or
 - it consists of transitional housing or supportive housing.
- No portion of the project can be designated for use as a hotel, motel, bed and breakfast inn, or other transient lodging.
 - **Plan and Zoning Consistency.** The project is consistent with the applicable general plan and zoning ordinance, and any applicable local coastal program. The project must meet all objective standards of the planning code, including any applicable design standards. Exceptions granted through the state density bonus law would be considered code-complying.
 - **Site Acreage Limits.** The project site is not more than 20 acres (or 5 acres for a “builder’s remedy” project).
 - **Density Requirements.** The project includes a residential density of at least 15 units per acre. For example, the minimum density would be 1 unit for a 2,500-square-foot parcel.
 - **Historic Buildings.** The project cannot involve the demolition of a historic structure that was listed on a national, state, or local historic register prior to the filing of a project application. A local historic register includes those properties listed within Article 10 or 11 of the San Francisco Planning Code. For Article 10 buildings, structures identified as contributing and contributing-altered are considered historic while structures identified as non-contributing are not considered historic structures for the purposes of AB 130. For Article 11, contributory and significant buildings (I, II, III, IV) are considered historic structures while unrated (V) buildings are not historic structures for the purposes of AB 130. For Article 10 and Article 11 properties, demolition is defined in Planning Code Section 1005(f). Projects that exceed this definition are ineligible for the AB 130 statutory exemption.

Site Requirements

- **Urban Infill.** The project site must meet one of the following criteria: has been previously developed with an urban use; at least 75 percent of the perimeter of the site adjoins parcels that are developed with urban uses; at least 75 percent of the area within a one-quarter mile radius of the site is developed with urban uses; or for sites with four sides, at least three out of four sides are developed with urban uses and at least two-thirds of the perimeter of the site adjoins parcels that are developed with urban uses.
- **Location.** The development must be located on a property that is not located on prime farmland, wetlands, a high fire hazard severity zone, a delineated earthquake fault zone, a flood plain, a floodway, a community conservation plan area, a habitat for protected species, or under a conservation easement.

- **Hazardous Waste Site.** The project site may not be located on a hazardous waste site that is listed pursuant to Section 65962.5 of the Government Code or a hazardous waste site designated by the Department of Toxic Substances Control pursuant to Section 25356 of the Health and Safety Code, unless the State Department of Public Health, State Water Resources Control Board, or the Department of Toxic Substance Control has cleared the site for residential use or residential mixed uses. A clearance letter or determination confirming suitability for residential use must be obtained prior to submittal of an AB 130 project.
- **Coastal Zone.** If the development is in the coastal zone, the site must be subject to and compliant with a certified local coastal program or a certified land use plan. The site may not be in an area vulnerable to five feet of sea level rise, located within 100-feet of a wetland, or on prime agricultural land. For more information, please see the requirements in Government Code Section 65913.4(a)(6)(A).

If a project is located on a Coastal Zone site that is eligible for this program, the project sponsor shall submit a coastal zone permit, and the department will review the project for compliance with any objective criteria of the Local Coastal Program.

- **Proximity to Freeways.** For any housing located within 500 feet of a freeway, the project must include MERV 16 (“minimum efficiency reporting value”) filtration and all outdoor intakes as well as building balconies must face away from the freeway. A freeway is defined in California Vehicle Code Section 332 but does not include on ramps or off ramps.
- **Phase I Environmental Site Assessment and Remediation.** The project applicant agrees to complete a phase I environmental assessment as defined in Section 78090 of the Health and Safety Code and, if applicable, agrees to the requirements below as a condition of project approval.

If a recognized environmental condition is found, the development proponent shall complete a preliminary endangerment assessment, as defined in Section 78095 of the Health and Safety Code, prepared by an environmental assessor to determine the existence of any release of a hazardous substance on the site and to determine the potential for exposure of future occupants to significant health hazards from any nearby property or activity.

If a release of a hazardous substance is found to exist on the site, the release shall be removed or any effects of the release shall be mitigated to levels required by current federal and state statutory and regulatory standards before the local government issues a certificate of occupancy.

If a potential for exposure to significant hazards from surrounding properties or activities is found to exist, the effects of the potential exposure shall be mitigated to levels required by current federal and state statutory and regulatory standards before the local government issues a certificate of occupancy.

TRIBAL CONSULTATION

To qualify for the AB 130 exemption, the planning department would engage in a scoping consultation regarding the proposed development with any California Native American tribe that is traditionally and culturally affiliated with the geographic area. The process begins with the city sending out a tribal consultation letter within 14 days of the complete application notice. Tribes then have 60 days to request consultation. If a tribe does not notify the department within 60 days, the consultation shall

be considered to have concluded. If a tribe requests consultation, the department must initiate it within 14 days, and the consultation shall conclude within 45 days of initiation, with a possible one-time 15-day extension upon the tribe's request. The formal notification must include detailed project information, site maps, proposed project scope, and any known cultural resource studies. On average, it takes 150 days to complete tribal consultation in San Francisco.

The aim of the consultation is to find measures to avoid significant impacts on tribal cultural resources (TCRs). Following the consultation, the city must include any enforceable agreements reached as binding conditions of project approval. These measures could include tribal monitoring during all ground-disturbing activities (the project sponsor would be required to compensate tribal monitors), avoidance of TCRs where feasible, culturally appropriate treatment and documentation of TCRs, completion of archaeological and tribal cultural records searches, compliance with relevant health and safety codes upon discovery of human remains or burial grounds, and the application of tribal ecological knowledge in habitat restoration efforts. If the project sponsor does not agree to impose these measures, or the sponsor and requestor cannot agree on a set of measures, then the project may not be eligible for the AB 130 statutory exemption. When a tribe and the project sponsor mutually agree not to include impact reduction measures as a binding condition, the project may still qualify for the statutory exemption.

PROJECT LABOR REQUIREMENTS

To qualify for the AB 130 exemption, a project must meet certain labor standards if it is 100 percent affordable, over 85 feet tall, or located in San Francisco with 50 or more residential units, as specified under Public Resources Code § 21080.66(d). This generally includes paying prevailing wages and, in some cases, using a skilled and trained workforce. Sponsors are encouraged to consult legal or labor compliance professionals to understand how these requirements apply to their project.

WHAT IS THE PROCESS FOR REQUESTING AN “AB 130 INFILL” STATUTORY EXEMPTION AND WHAT IS THE TIMELINE?

To apply for the AB 130 infill statutory exemption, submit a complete AB 130 supplemental application and a complete [Project Application \(PRJ\)](#) to CPC.Intake@sfgov.org.

Following issuance of the complete application notice, the Department will begin tribal consultation within 14 days.

AB 130 amended the Permit Streamlining Act to require that projects eligible for this exemption be approved or disapproved by the lead agency within 30 days following the conclusion of the tribal consultation process.

FEES

The Planning Department will apply the CEQA exemption certificate fee for AB 130 statutory exemption determinations. If the cost of staff time exceeds this initial fee, additional charges based on time and materials may apply.

If you have any questions about this supplemental application, please contact don.lewis@sfgov.org or 628.652.7543.



AB 130 INFILL STATUTORY EXEMPTION – PUBLIC RESOURCES CODE SECTION 21080.66

GENERAL INFORMATION

Property Information

Project Address: 659 Union/1656 Powell Streets

Block/Lot(s): 0117/016

Property Owner's Information

Name: Powell Partners, LLC

659 Union Street, SF CA 94111
Address:

Email Address: jjurrow@rb-sf.com

Telephone: 415-515-9367

Applicant Information

Same as above

Name: Greg Johnson

Company/Organization: Multistudio

156 S Park St, SF, CA, 94107
Address:

Email Address: greg.johnson@multi.studio

Telephone: 415-844-2126

PROJECT ELIGIBILITY CRITERIA SUPPLEMENTAL

(Pursuant to Public Resources Code Section 21080.66)

ELIGIBILITY OF PROJECT	
Requirements	Applicants: <i>Please respond to the question.</i>
<p>Does the project meet one of the following criteria to be considered a “housing development project”? (select all that apply):</p> <ul style="list-style-type: none"> <input type="checkbox"/> Residential units only. <input checked="" type="checkbox"/> Mixed-use developments consisting of residential and nonresidential uses with at least two-thirds of the square footage designated for residential use. <input type="checkbox"/> Mixed-use development with at least 50 percent of the new or converted square footage designated for residential use and includes at least 500 net new residential units and no portion of the project is designated for use as a hotel, motel, bed and breakfast inn, or other transient lodging, except a portion of the project may be designated for use as a residential hotel, as defined in Section 50519 of the Health and Safety Code. <input type="checkbox"/> Mixed-use development with at least 50 percent of the net new or converted square footage designated for residential use, includes at least 500 net new residential units, demolishes or converts at least 100,000 square feet of nonresidential use and at least 50 percent of existing nonresidential uses on the site, and does not include any portion designated for transient lodging except a residential hotel under Section 50519. <input type="checkbox"/> Transitional housing or supportive housing. 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>Is a portion of the project designated for use as a hotel, motel, bed and breakfast inn, or other transient lodging?</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>Is the project consistent with the applicable general plan and zoning ordinance, and any applicable local coastal program?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>Is the project site size limited to 20 acres, or 5 acres if the project qualifies as builder’s remedy?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>Will the project include at least 15 units per acre?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>Does the project avoid demolishing any historic building that was officially listed on a national, state, or local historic register before the application was submitted?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>Does the project site meet any of these conditions? (select all that apply):</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> It has previously been developed with an urban use. <input checked="" type="checkbox"/> At least 75 percent of the perimeter of the site adjoins parcels that are developed with urban uses. <input checked="" type="checkbox"/> At least 75 percent of the area within a one-quarter mile radius of the site is developed with urban uses. <input checked="" type="checkbox"/> For sites with four sides, at least three out of four sides are developed with urban uses and at least two-thirds of the perimeter of the site adjoins parcels that are developed with urban uses. 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

ELIGIBILITY OF PROJECT	
Requirements	Applicants: <i>Please respond to the question.</i>
<p>Is the development located on a property that contains prime farmland, wetlands, a high fire hazard severity zone, a delineated earthquake fault zone, a flood plain, a floodway, a community conservation plan area, a habitat for protected species, or that is under a conservation easement? (CA Govt. Code Section 65912.121(g).)</p> <p>If yes, the development is not eligible for a statutory exemption under AB 130.</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>Is the development in the coastal zone?</p> <p>If the development is in the coastal zone, the site must be subject to and compliant with a certified local coastal program or a certified land use plan. The site may not be in an area vulnerable to five feet of sea level rise, located within 100-feet of a wetland, or on prime agricultural land. For more information, please see the requirements in CA Govt. Code Section 65913.4(a)(6)(A).</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>Is the development site a hazardous waste site? (CA Govt. Code Section 65912.121(g); 65913.4(a)(6)(e).)</p> <p>If yes, you must secure a letter from the State Department of Public Health, State Water Resources Control Board, or the Department of Toxic Substance Control stating that the site is suitable for residential use or residential mixed uses prior to submitting a project application. Applications for AB 130 on hazardous waste sites without a letter from the appropriate government agency stating that the site is suitable for residential uses will not be accepted as complete.</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>The project applicant agrees to complete a Phase I environmental assessment as defined in Section 78090 of the Health and Safety Code and, if applicable, agrees to the requirements below as a condition of project approval.</p> <ul style="list-style-type: none"> • If a recognized environmental condition is found, the development proponent shall complete a preliminary endangerment assessment, as defined in Section 78095 of the Health and Safety Code, prepared by an environmental assessor to determine the existence of any release of a hazardous substance on the site and to determine the potential for exposure of future occupants to significant health hazards from any nearby property or activity. • If a release of a hazardous substance is found to exist on the site, the release shall be removed or any effects of the release shall be mitigated to levels required by current federal and state statutory and regulatory standards before the local government issues a certificate of occupancy. • If a potential for exposure to significant hazards from surrounding properties or activities is found to exist, the effects of the potential exposure shall be mitigated to levels required by current federal and state statutory and regulatory standards before the local government issues a certificate of occupancy. 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>Will any of the housing on the development site be located less than 500 feet from a freeway, defined in California Vehicle Code section 332, but not including freeway on ramps or off ramps?</p> <p>If yes, the project must include MERV 16 (“Minimum efficiency reporting value”) filtration and all outdoor intakes as well as building balconies, must face away from the freeway.</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

ELIGIBILITY OF PROJECT	
Requirements	Applicants: <i>Please respond to the question.</i>
<p>Tribal Consultation Requirements</p> <p>The project must meet tribal consultation requirements to qualify for the AB 130 exemption (as outlined in Public Resources Code Section 21080.66b). The Planning Department sends tribal consultation letter within 14 days of issuance of the complete application notice. Tribal consultation takes 150 days on average in San Francisco.</p> <p>By checking ‘yes’ to this box, the project sponsor is aware that tribal consultation is a mandatory requirement for eligibility under the AB 130 exemption and agrees to incorporate any enforceable agreements reached during tribal consultation, including the measures specified in Public Resources Code Section 21080.66(b)(4)(B)(i), as a condition of project approval, unless the tribe and the project applicant mutually agree not to include those measures.</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>Project Labor Requirements</p> <p>By checking “yes” to this box, the applicant certifies that the project will comply with all labor requirements under Public Resources Code § 21080.66(d), including but not limited to prevailing wage and skilled and trained workforce standards, as applicable based on the project’s height, affordability, and number of proposed residential units.</p> <p>The Planning Department may require an affidavit to confirm compliance.</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.
- d) I attest that personally identifiable information (PII) - i.e. social security numbers, driver's license numbers, bank accounts - have not been provided as part of this application, or any supplemental information. I understand that any information provided to the Planning Department becomes part of the public record and can be made available to the public for review and/or posted to Department websites.

Greg Johnson

Signature

Greg Johnson

Name (Printed)

__ September 30,
2025

__ Date
Architect

415-987-7141

greg.johnson@multi.studio

Relationship to Project
(i.e. Owner, Architect, etc.)

Phone

Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____



Date October 1, 2025

Letter of Authorization

To the San Francisco Planning Department,

Powell Partners, LLC, as property owner of the below-described property, do hereby appoint Greg Johnson at Multistudio as authorized agent for the purpose of researching all permit history, filing any applications, and obtaining any and all governmental permits/entitlements and approvals on the below-described property. The undersigned understands that the application may be denied, modified, or approved with conditions and that such conditions or modifications must be compiled with prior to issuance of permits or approvals.

Address: 659 Union/1656 Powell Streets (0117/016)

Powell Partners, LLC

By: _____

A handwritten signature in blue ink, appearing to read "Jeff Jurow", written over a horizontal line.

Name: Jeff Jurow

Its: _____

Managing Member

659 Union Street Project Application



Multistudio

October 01, 2025

Table of Contents

Project Information	3		
Zoning Summary	4		
Site / Location	5		
Site/Parcel Maps	6		
Site Survey	7		
Site Grading Condition	8		
Demolition Plan	9		
Proposed Project	10		
Conceptual Rendering	11	Elevation - North	24
Massing Concept	12	Elevation - South	25
Material Precedent	12	Elevation - East	26
Project Data	13	Elevation - West	27
Roof Plan	14	Section - North/South	28
Floor Plan Level 1	15	Section - West/East	29
Floor Plan Level 2	16	Transparency Diagram	30
Floor Plan Level 3	17	Open Space Diagrams	31
Floor Plan Level 4	18	Street Scaping Sections	32
Floor Plan Level 5	19	Street Scaping Sections	32
Floor Plan Level 6	20	Street Scaping Sections	32
Floor Plan Level 7	21	Tree Protection	33
Floor Plan Level 8	22	Waivers & Incentives	34
Floor Plan Level -1 (Basement)	23		

Project Information

Zoning Summary

BLOCK / LOT	ZONING	HEIGHT / BULK	PROJECT AREA*	
0117 / 016	NCD-NORTH BEACH NEIGHBORHOOD COMMERCIAL	40-X	18,800 sf	
ZONING CATEGORY	CONTROL	CODE COMPLYING PROJ-ECT	STATE DENSITY BONUS PROJECT	
			MAX. PER PROPERTY	PROPOSED
Lot Coverage	25% Rear yard required at Residential levels (15' Min.)			
Front Set Back / Side Yard	Not required			
Street & Pedestrian Improve-ments	Required			
Ground Floor Commercial	Required within the entire district. Consolidation of ground floor retail is prohibited.			
A' Bulk Limits	No Bulk Limits applied (65' width for measuring height applies)			
Unit Density	400 (One per 400 sf lot area)	47 Units Max.	94 Units Max.	89 Units
Dwelling Unit Mix	25% Min. of 2-Bed units / 10% Min. of 3-Bed units		See Project Data	See Project Data
Height Limit		40'		96' (75' top occupiable floor)
Residential Open Space	60 sf/unit if private open space 80 sf/unit if common open space	3,760 sf	5,680 sf	6,242 sf
Vehicular Access	Prohibited on Columbus Avenue			
Vehicular Parking	Not required - Residentail : 0.5/unit permitted - Retail :TBD			40
Bicycle Parking (Class I)	Required	Residential : < 100 units =1/unit	47	96
		Retail : 1/7,500 sf	1	3
Bicycle Parking (Class II)	Required	Residential : 1/20 units	3	5
		Retail : 1/2,500 sf (2 Min.)	4	7

Site / Location

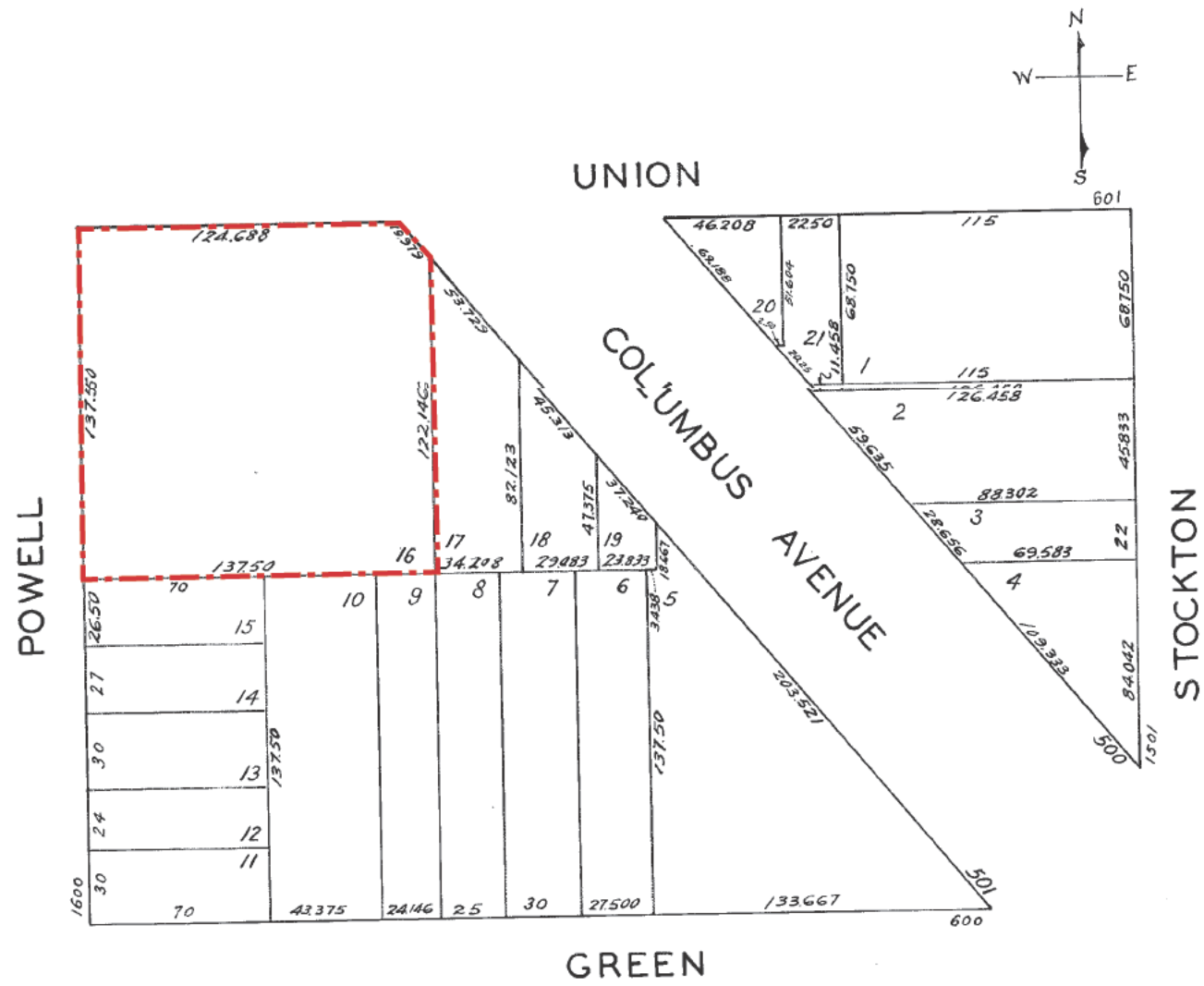


PARCEL #	0117016
ADDRESS	1636-1656 POWELL ST
PARCEL AREA	18,800 SQ FT
PARCEL SHAPE	OTHER (Not square or rectangular)

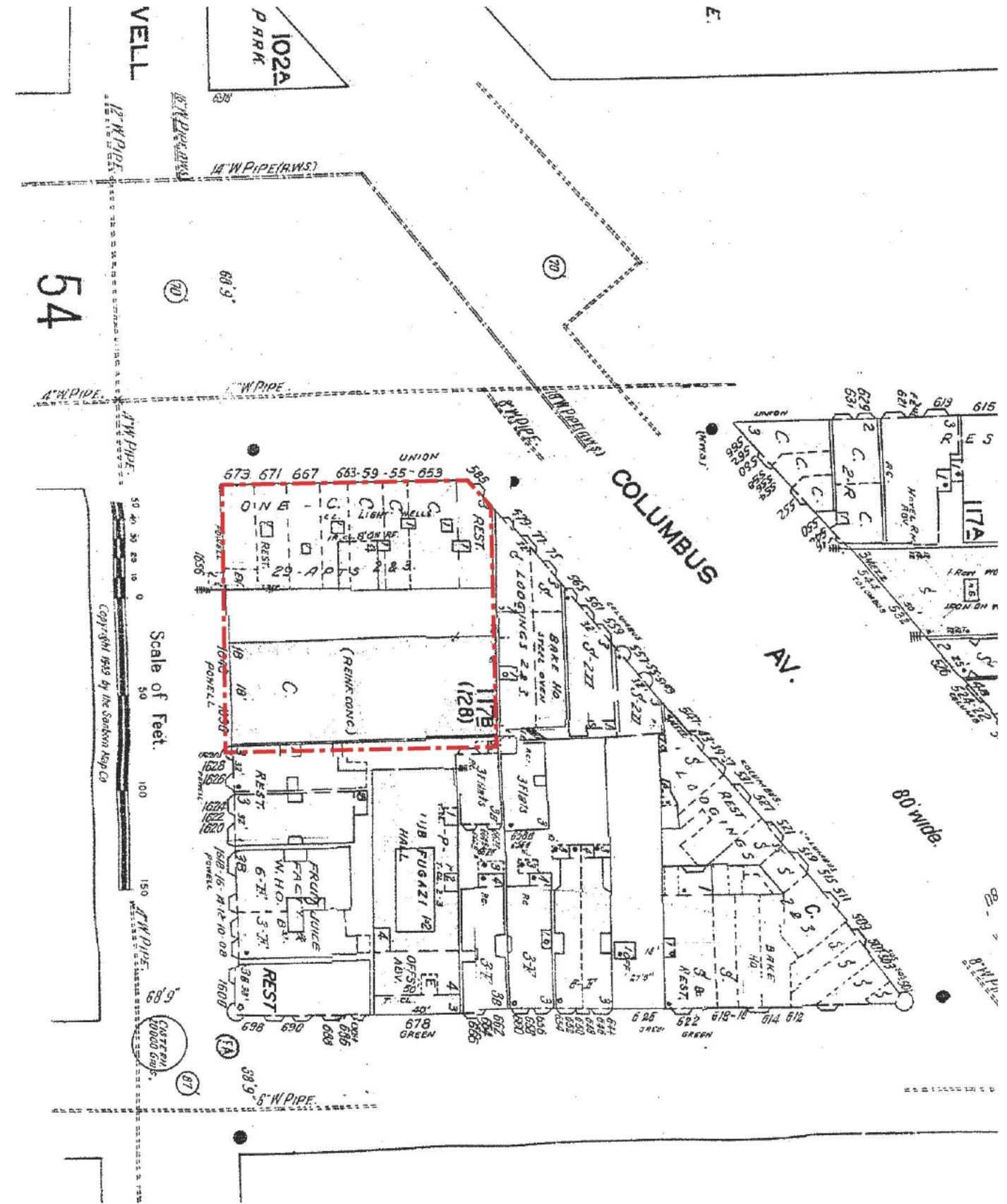


Location Map

Site/Parcel Maps

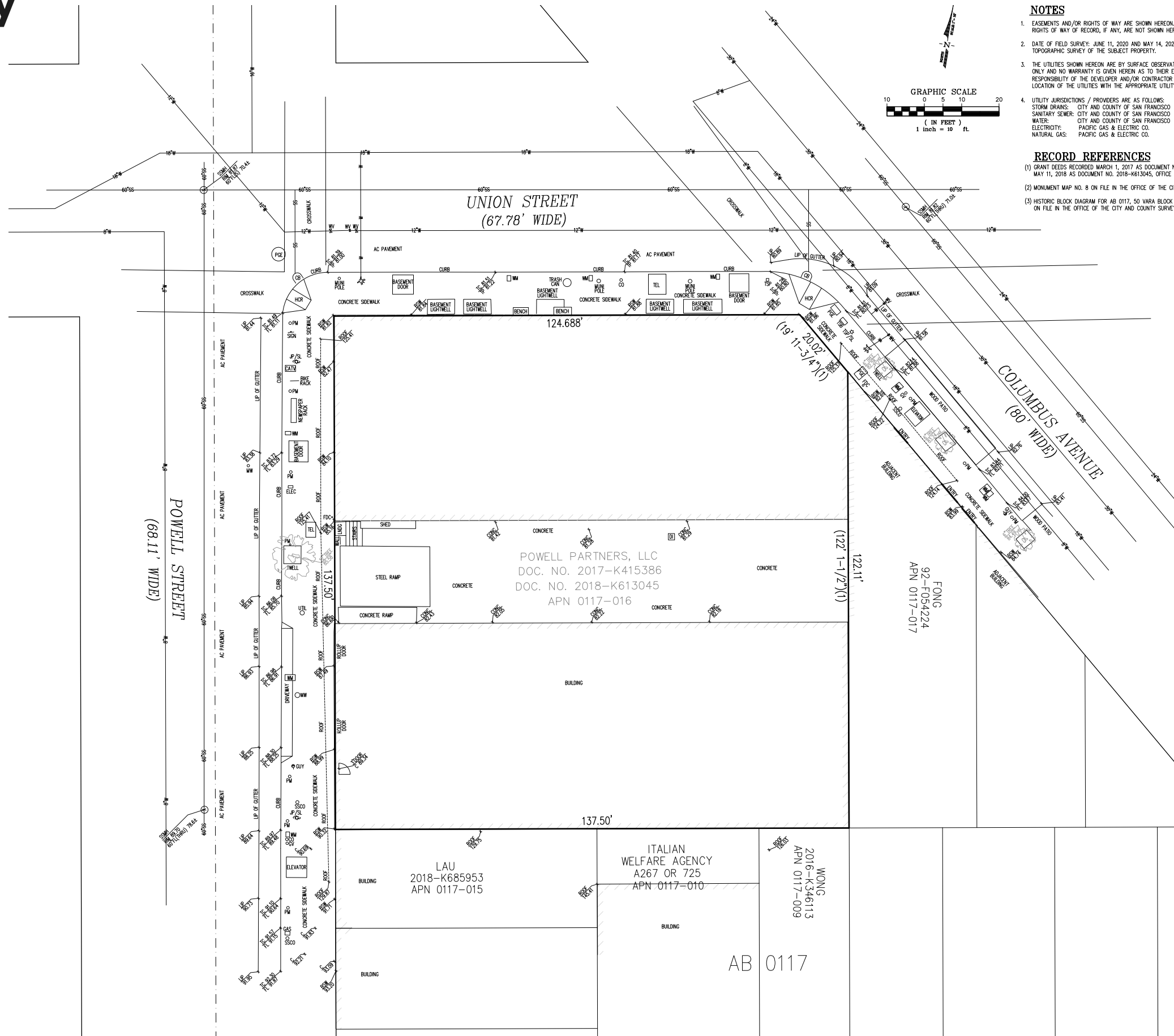


Assessor's Block Map



Historic Sanborn Map

Site Survey



NOTES

- EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON. OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON.
- DATE OF FIELD SURVEY: JUNE 11, 2020 AND MAY 14, 2021 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:
 STORM DRAINS: CITY AND COUNTY OF SAN FRANCISCO
 SANITARY SEWER: CITY AND COUNTY OF SAN FRANCISCO
 WATER: CITY AND COUNTY OF SAN FRANCISCO
 ELECTRICITY: PACIFIC GAS & ELECTRIC CO.
 NATURAL GAS: PACIFIC GAS & ELECTRIC CO.

RECORD REFERENCES

- GRANT DEEDS RECORDED MARCH 1, 2017 AS DOCUMENT NO. 2017-K415386 AND MAY 11, 2018 AS DOCUMENT NO. 2018-K613045, OFFICE OF THE COUNTY RECORDER.
- MONUMENT MAP NO. 8 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.
- HISTORIC BLOCK DIAGRAM FOR AB 0117, 50 VARA BLOCK 130, DATED JULY 29, 1909, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.



VICINITY MAP
NO SCALE

BENCHMARK

BM1318, BEING A SET CCSF STANDARD 1/2" DOMED STAINLESS STEEL ANCHOR SCREW WITH WASHER STAMPED "CCSF CONTROL", LOCATED AT THE NORTHEAST CORNER OF COLUMBUS AVENUE AND UNION STREET, IN SIDEWALK AT THE NORTHEASTLY RETURN OF COLUMBUS AVENUE AND UNION STREET, (WASHINGTON SQUARE PARK), 3.2' NORTHERLY RADIAL FROM FACE OF CURB AT (+/-) 1/2 DELTA, 12.6' SOUTHWESTERLY FROM CENTER/CENTER FIRE ALARM/POLICE PHONE STAND POST, 12.6' SOUTHERLY FROM BACK OF SIDEWALK ANGLE POINT. ELEVATION = 81.333, SAN FRANCISCO VERTICAL DATUM OF 2013 (SFV013).

BASIS OF SURVEY

MONUMENT LINE ON GREEN STREET BETWEEN STOCKTON AND MASON STREETS AS SHOWN ON MONUMENT MAP NO. 8 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.

SURVEYOR'S STATEMENT

THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT IN MAY 2021.

JACQUELINE LUK
FOR LUK & ASSOCIATES, INC.
DATE MAY 14, 2021
P.L.S. 8934
STATE OF CALIFORNIA



LEGEND

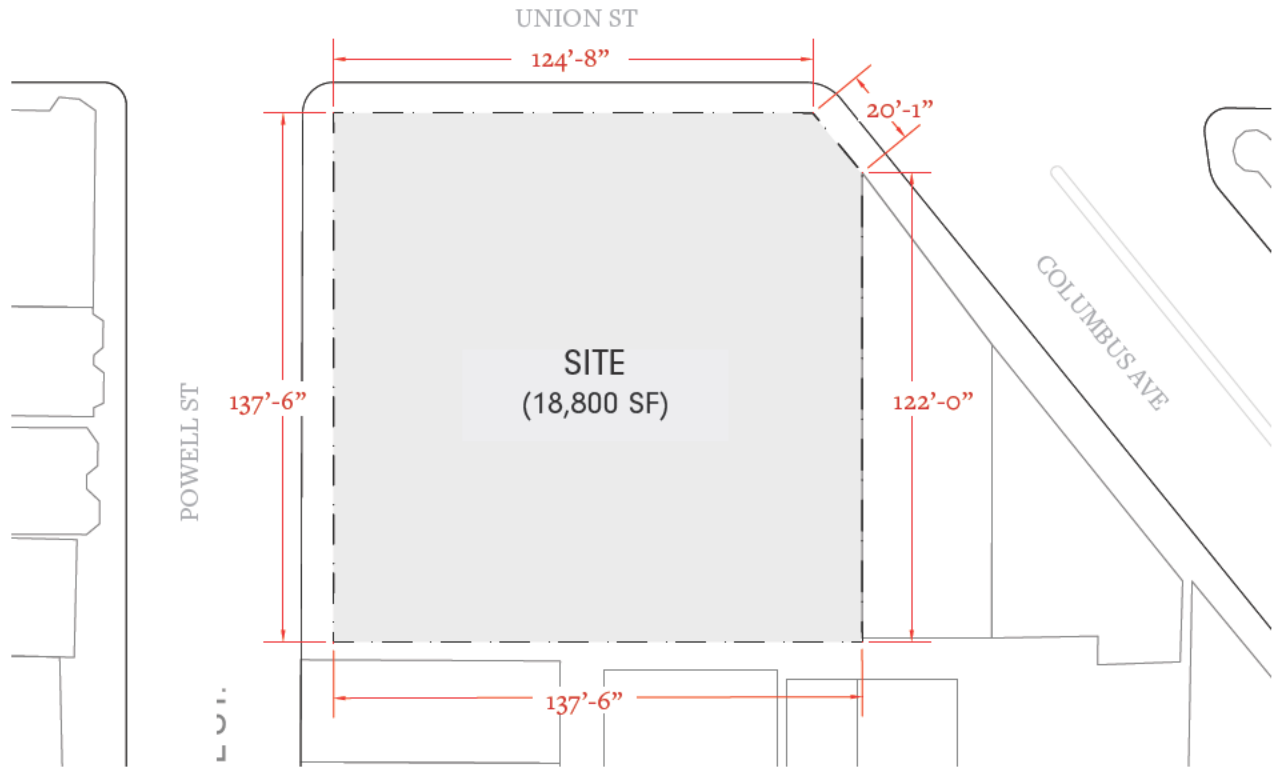
SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
---	RIGHT-OF-WAY LINE
---	MONUMENT LINE
---	ADJOINER LOT LINE
---	ASSESSOR'S PARCEL NUMBER
---	DOCUMENT NUMBER
---	S.F. SQUARE FEET
---	R/W RIGHT OF WAY
---	BUILDING LINE
---	WATER LINE
---	SS SANITARY SEWER LINE
---	WM WATER METER
---	SSCO SANITARY SEWER CLEANOUT
---	GV GAS VALVE
---	AC ASPHALT CONCRETE PAVEMENT
---	PM PARKING METER
---	TWELL TREE WELL
---	C CONCRETE
---	JP JOINT POLE
---	CATV CABLE TELEVISION BOX
---	SL STREET LIGHT
---	GUY GUY WIRE
---	TEL TELEPHONE BOX
---	HCR HANDICAP RAMP
---	CB CATCH BASIN
---	CO CLEAN OUT
---	SSMH SANITARY SEWER MANHOLE
---	MW MONITORING WELL
---	UTIL UTILITY
---	ELEC ELECTRIC BOX
---	FDC FIRE DEPARTMENT CONNECTION
---	LANDG LANDING
---	TSP TRAFFIC SIGNAL POST
---	WV WATER VALVE
---	TC TOP OF CURB ELEVATION
---	FL FLOW LINE ELEVATION
---	BSM BACK OF SIDEWALK ELEVATION
---	LP LIP OF GUTTER

TOPOGRAPHIC & BOUNDARY SURVEY

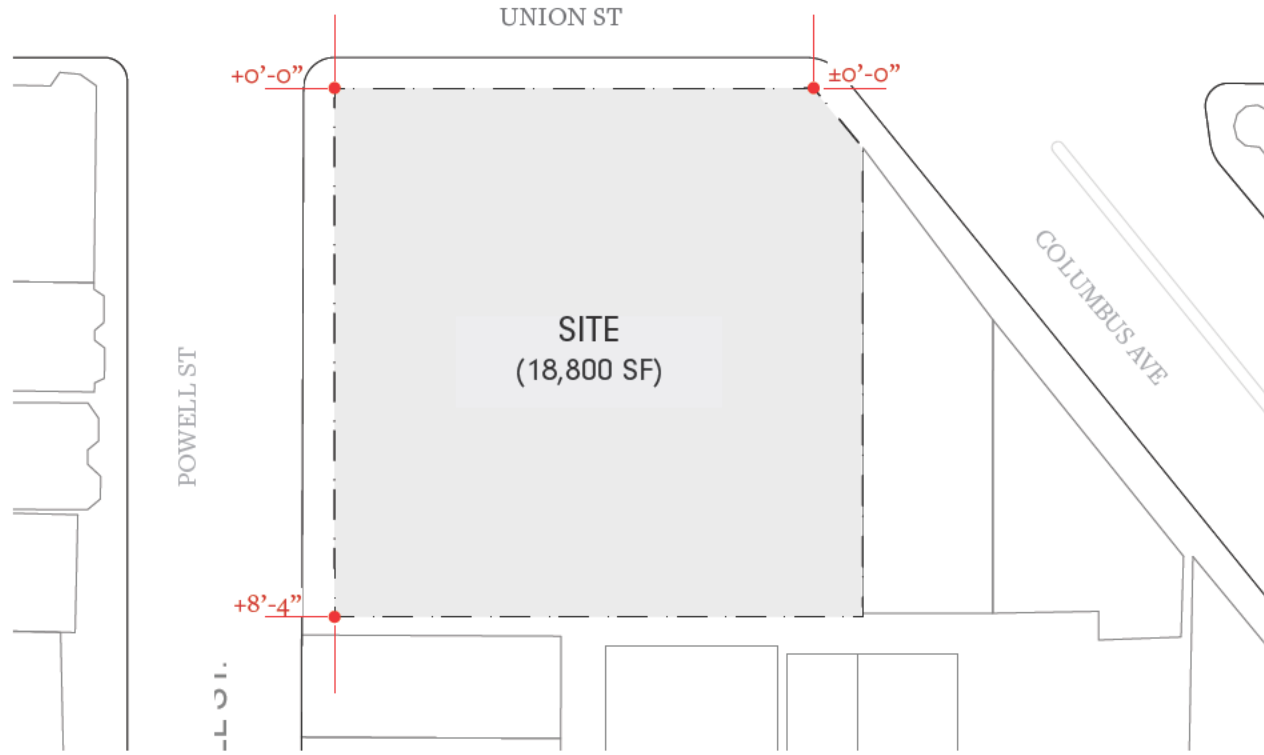
OF
659 UNION STREET
 CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
 MAY 2021
 PREPARED BY
LUK AND ASSOCIATES
 CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
 738 ALFRED NOBEL DRIVE
 HERCULES, CALIFORNIA 94547
 (510) 724-3388



Site Grading Condition

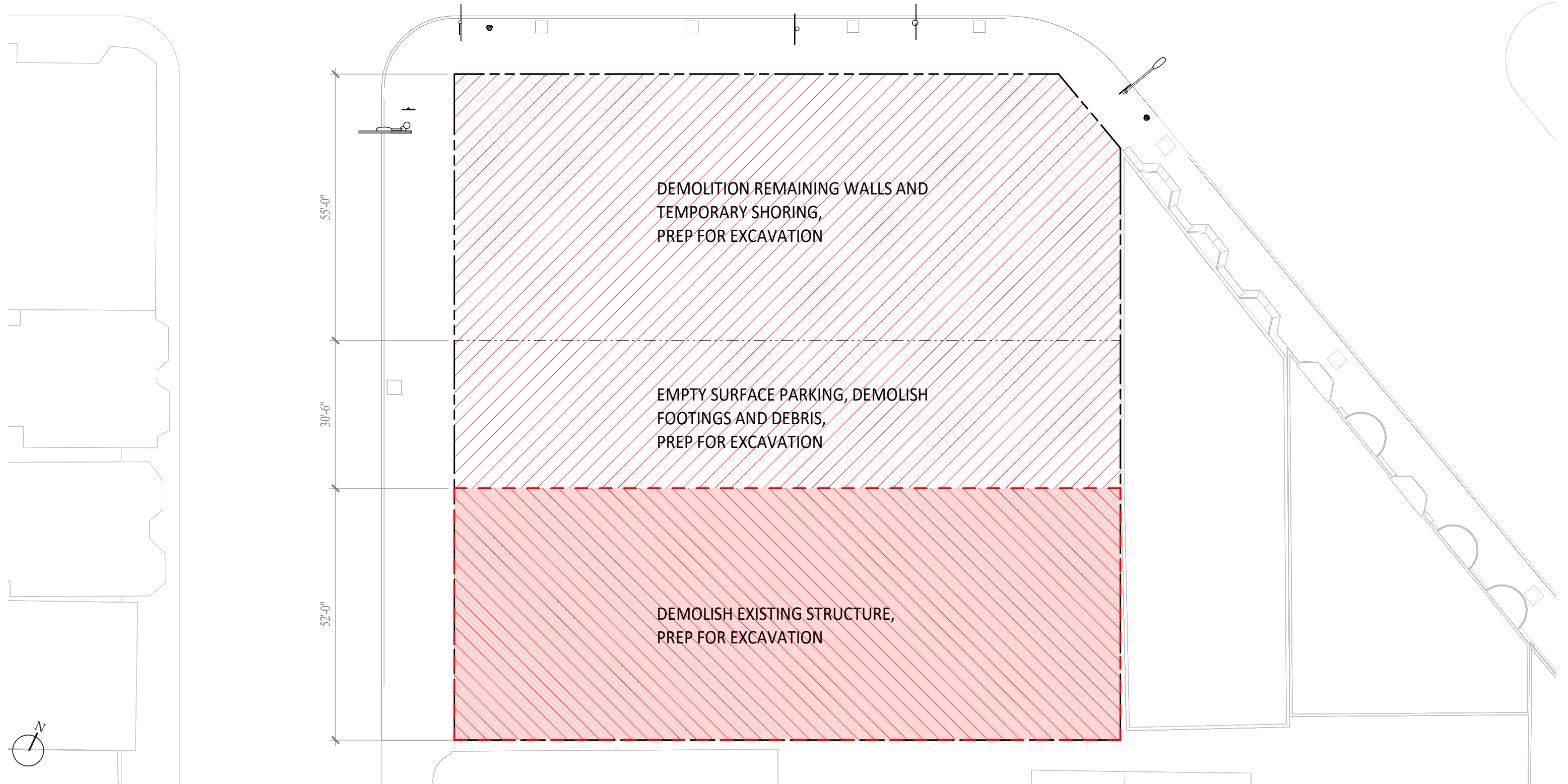


Site Dimension Plan



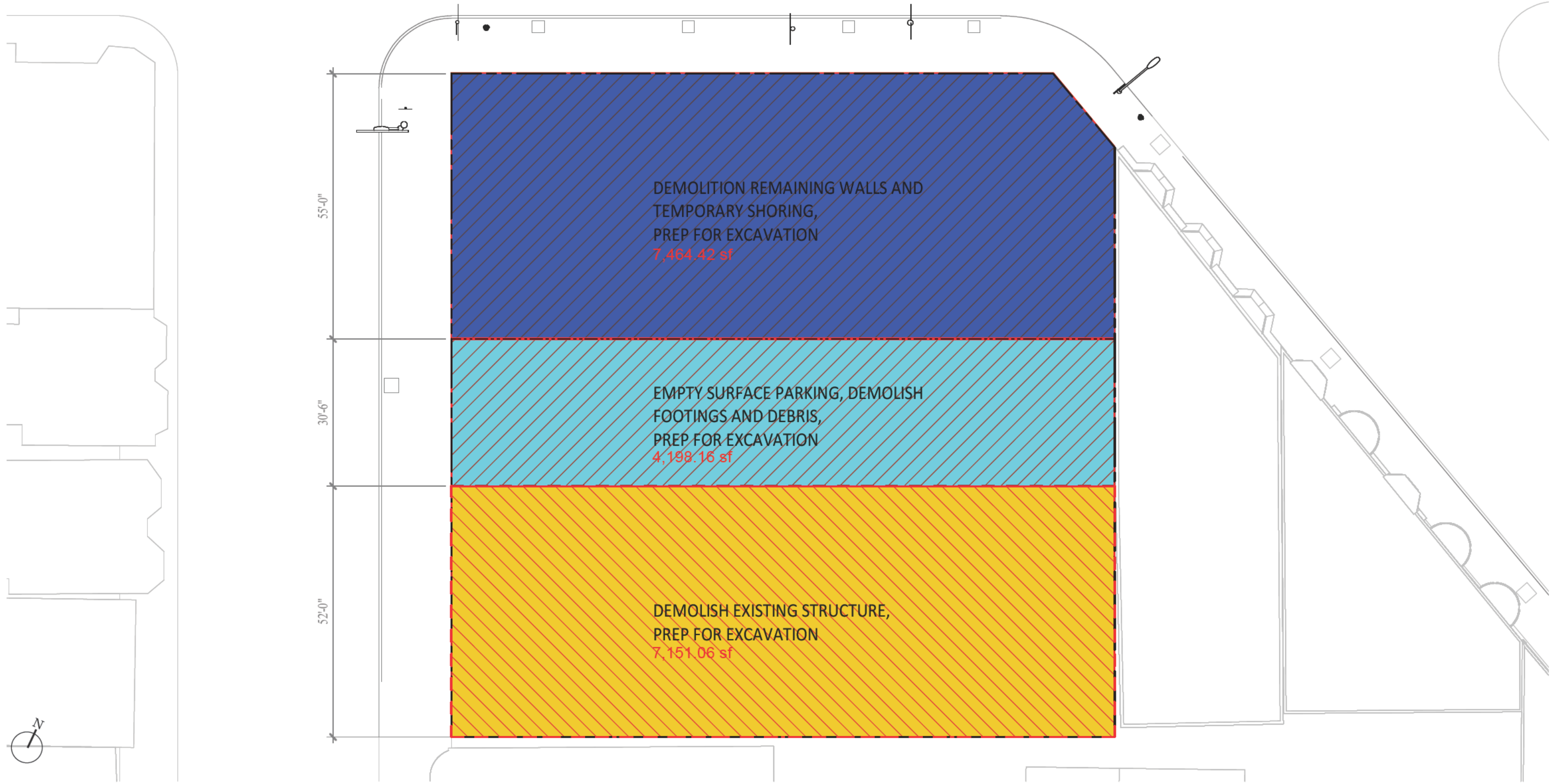
Site Plan with horizontal control heights

Demolition Plan



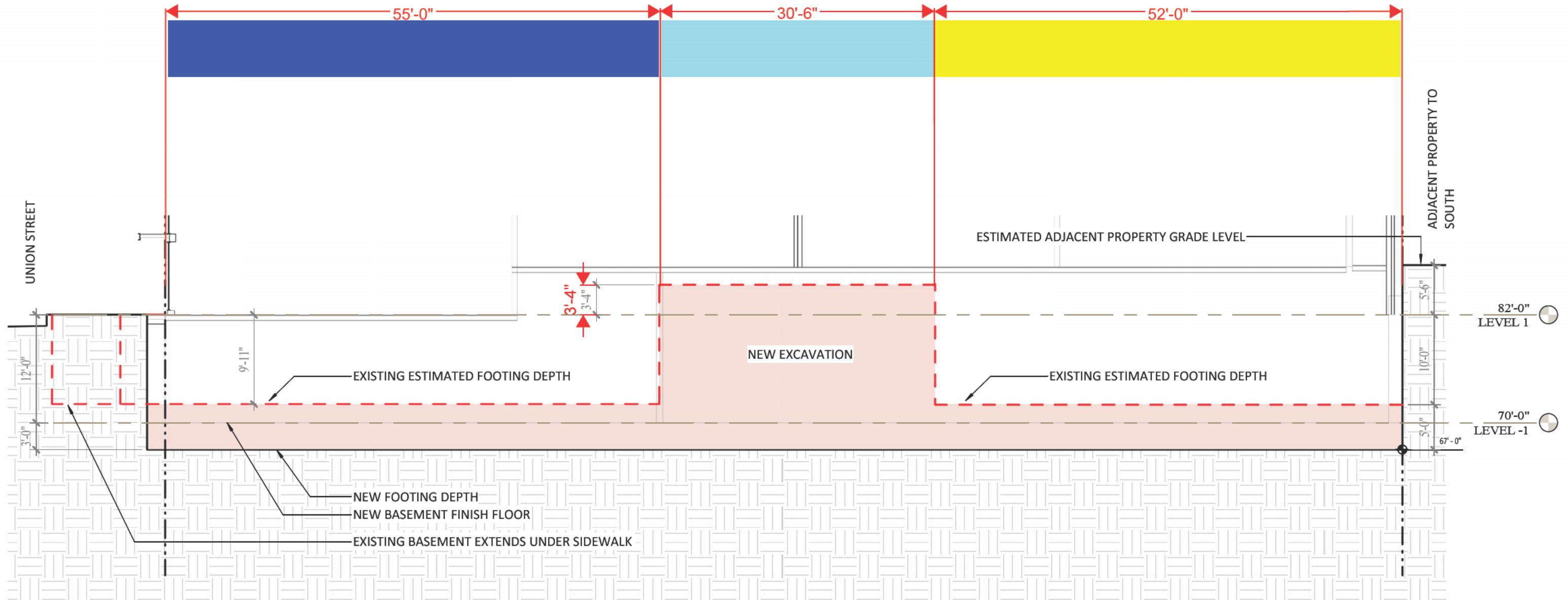
Demolition Plan

Excavation Total Plan Area - 18831.62 SF
See Excavation Section for Depths



Demolition Plan

Excavation Total Plan Area - 18831.62 SF
See Demolition/Excavation Plan for Areas



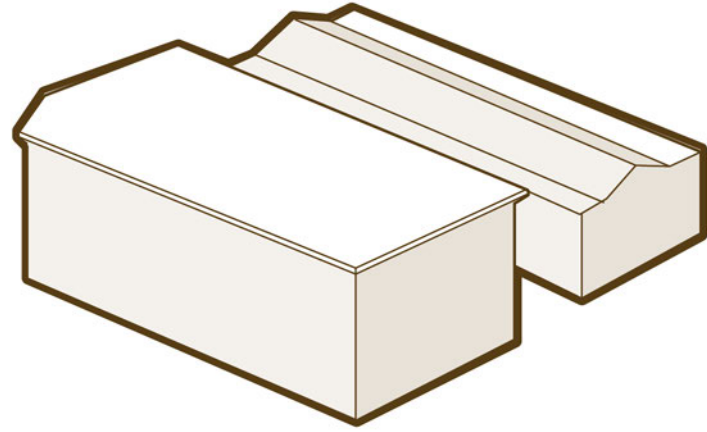
	AREA	DEPTH	
SITE 01	7464.42	5	37322.1
SITE 02	4198.16	18.3	76826.33
SITE 03	7151.06	5	35755.3
			149903.7 cu. ft.
			5551.99 cu. yd.

Proposed Project

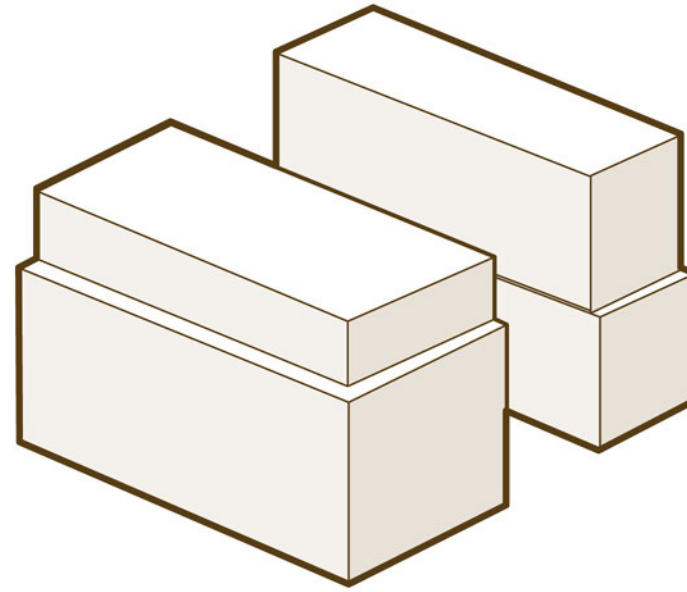
Conceptual Rendering



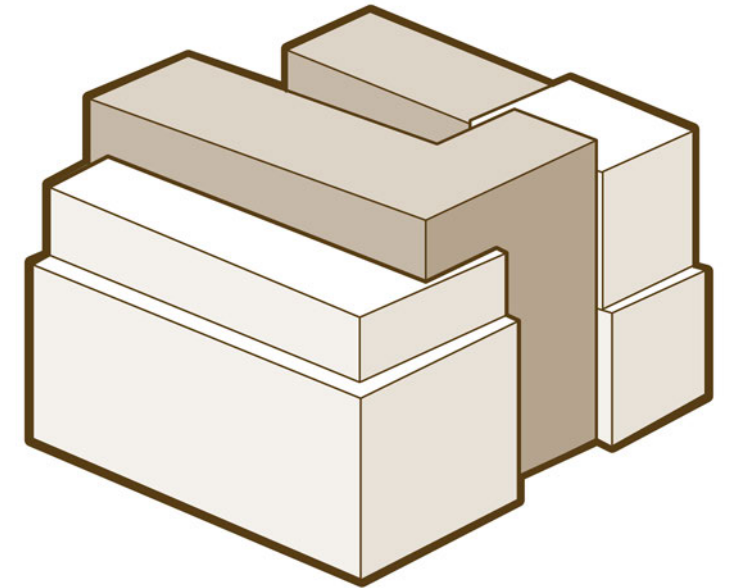
Massing Concept



Buildings previously on site.



Retail the massing at the street level, add residential above.



Connect with circulation and rooftop restaurant.

Material Precedent

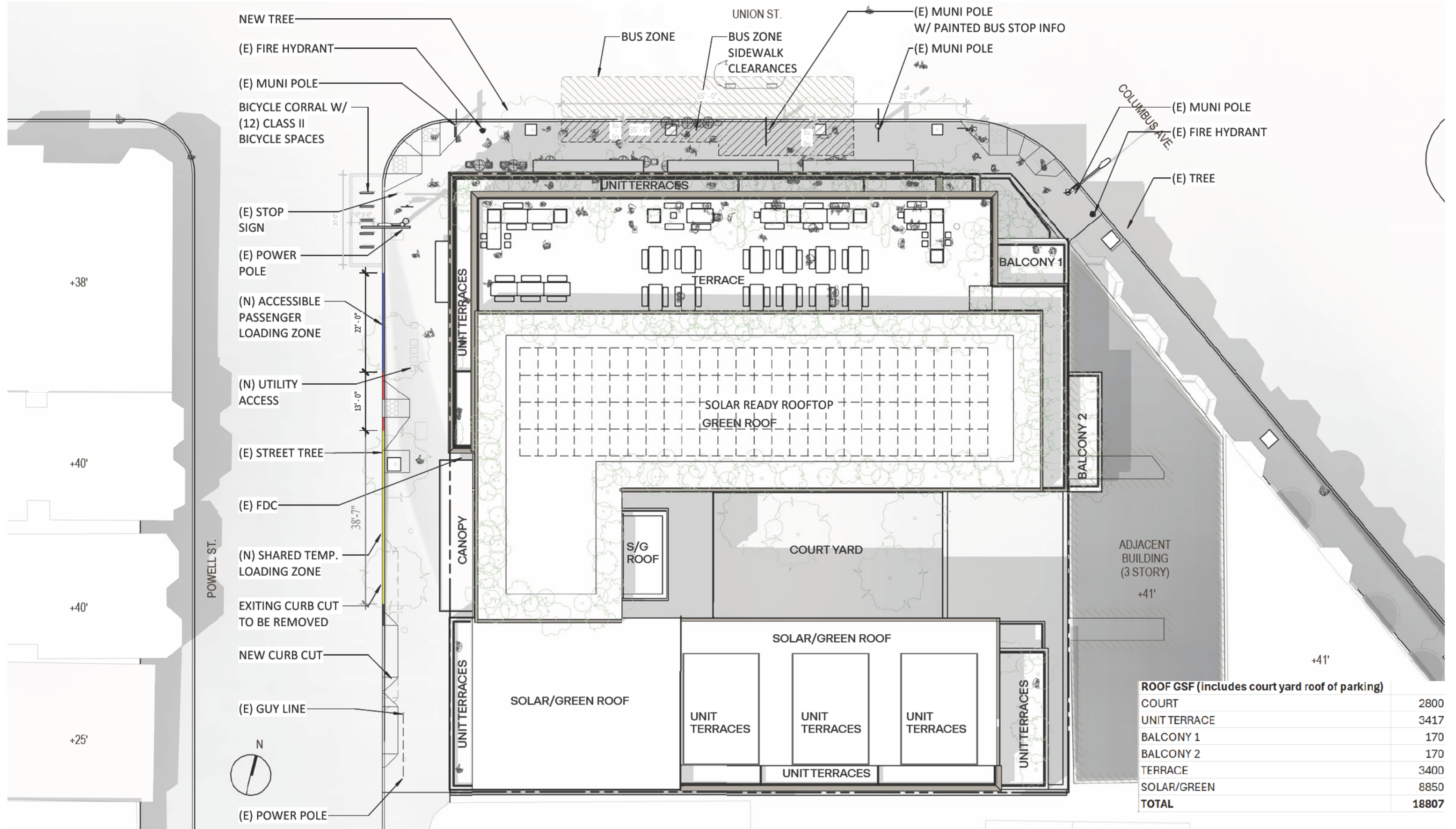


Material of previous building before fire.

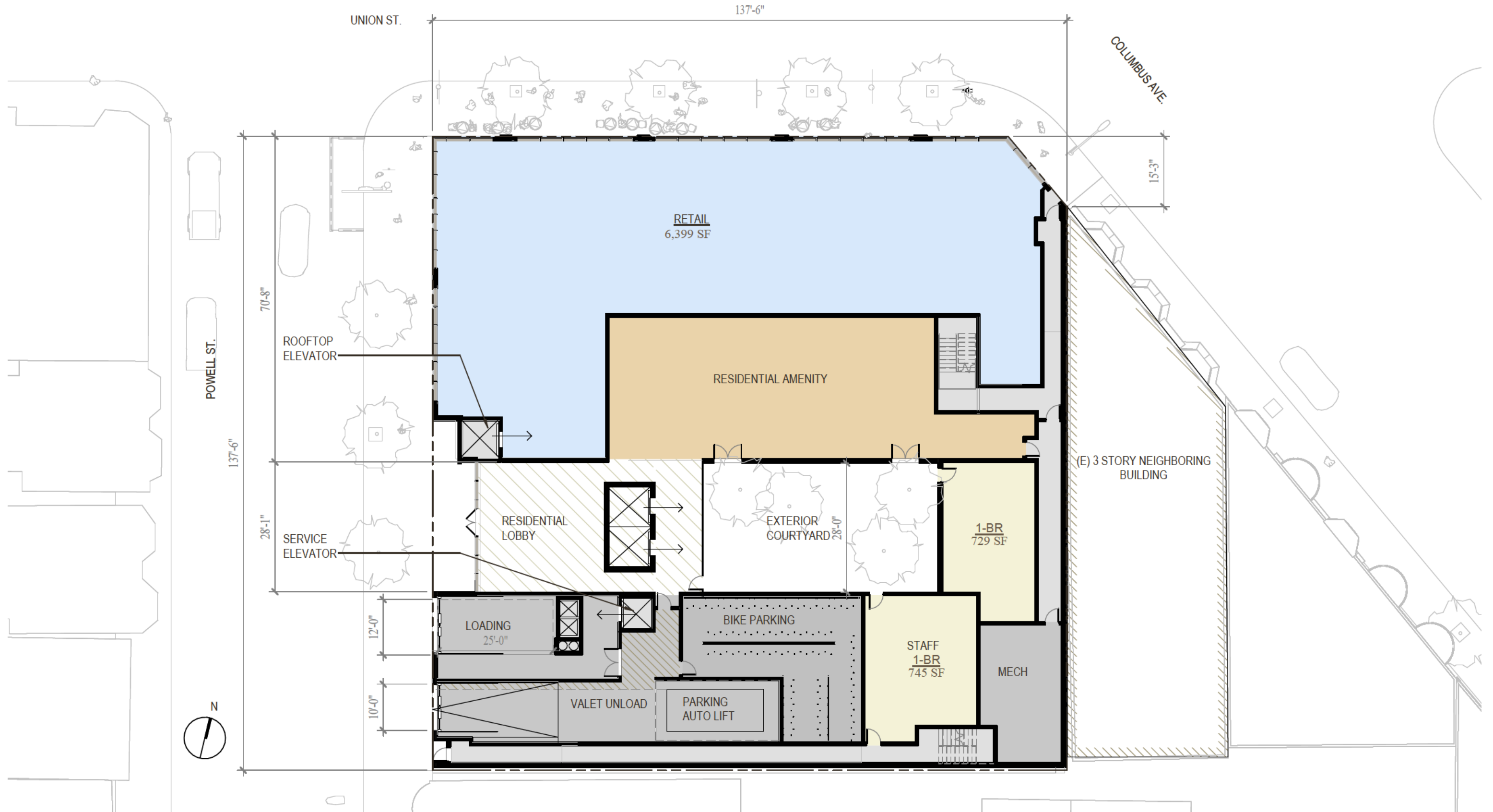


Material reflects previous material and surrounding context.

Roof/Site Plan



Floor Plan Level 1



Floor Plan Level 2



Floor Plan Level 3



Floor Plan Level 4



Floor Plan Level 5



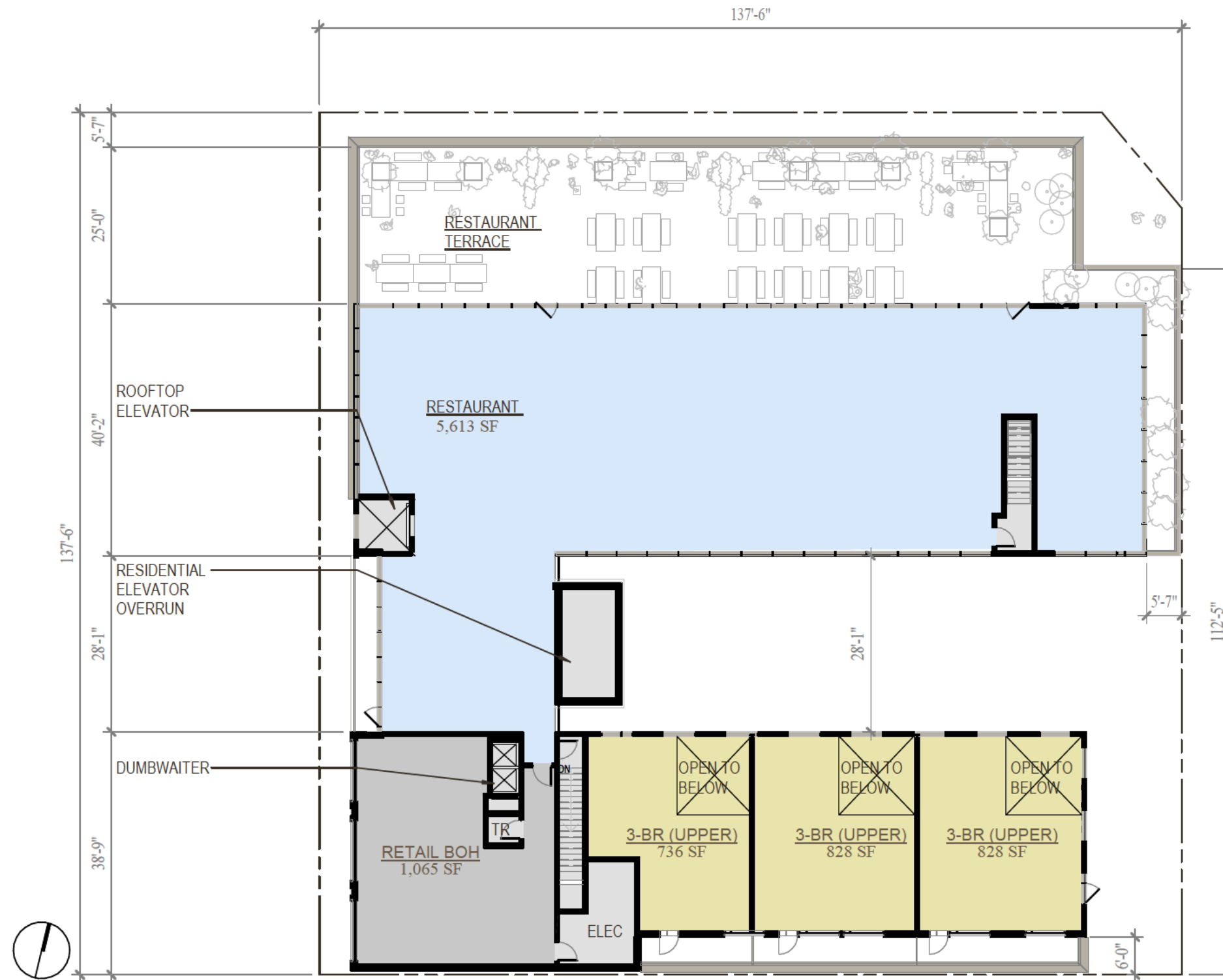
Floor Plan Level 6



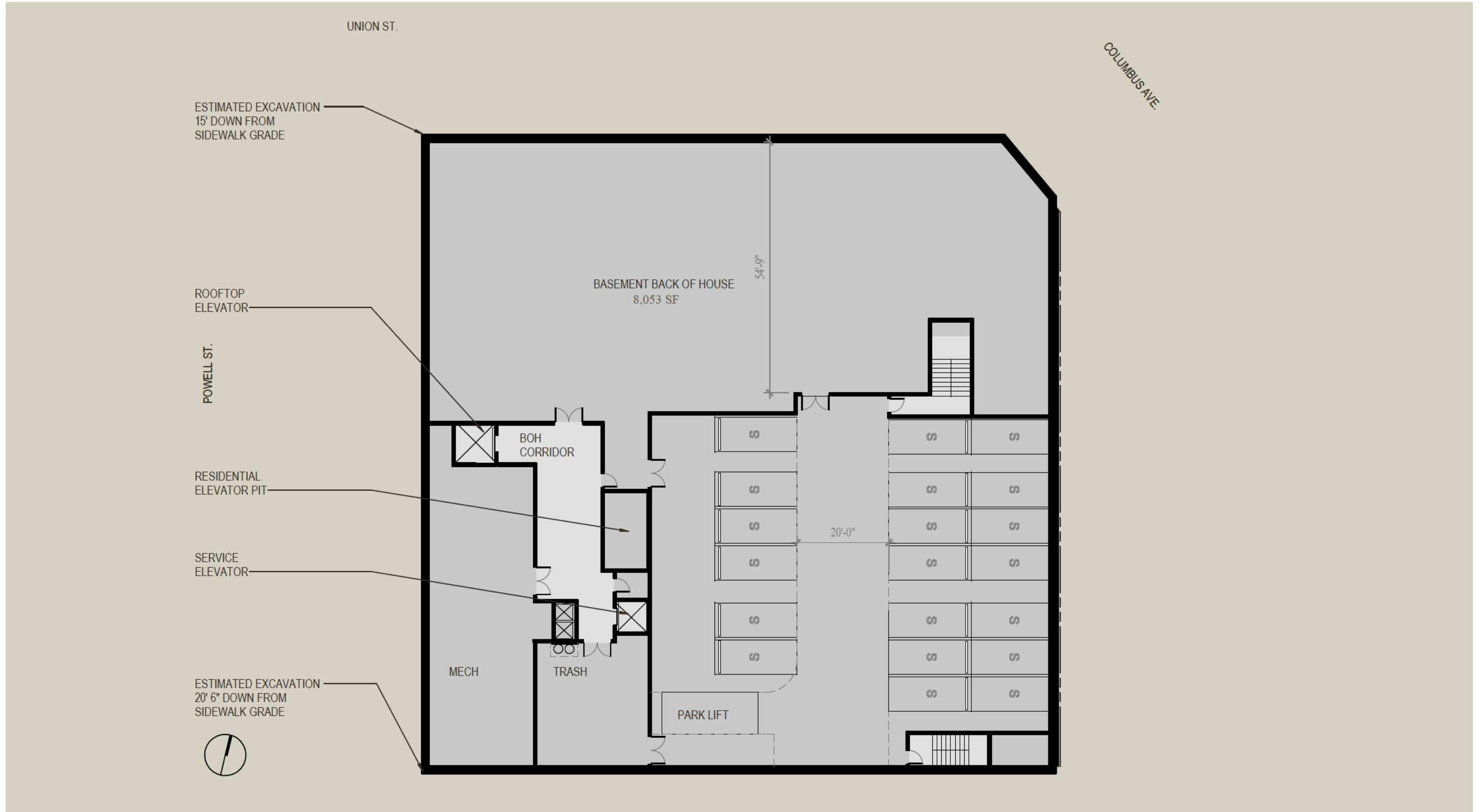
Floor Plan Level 7



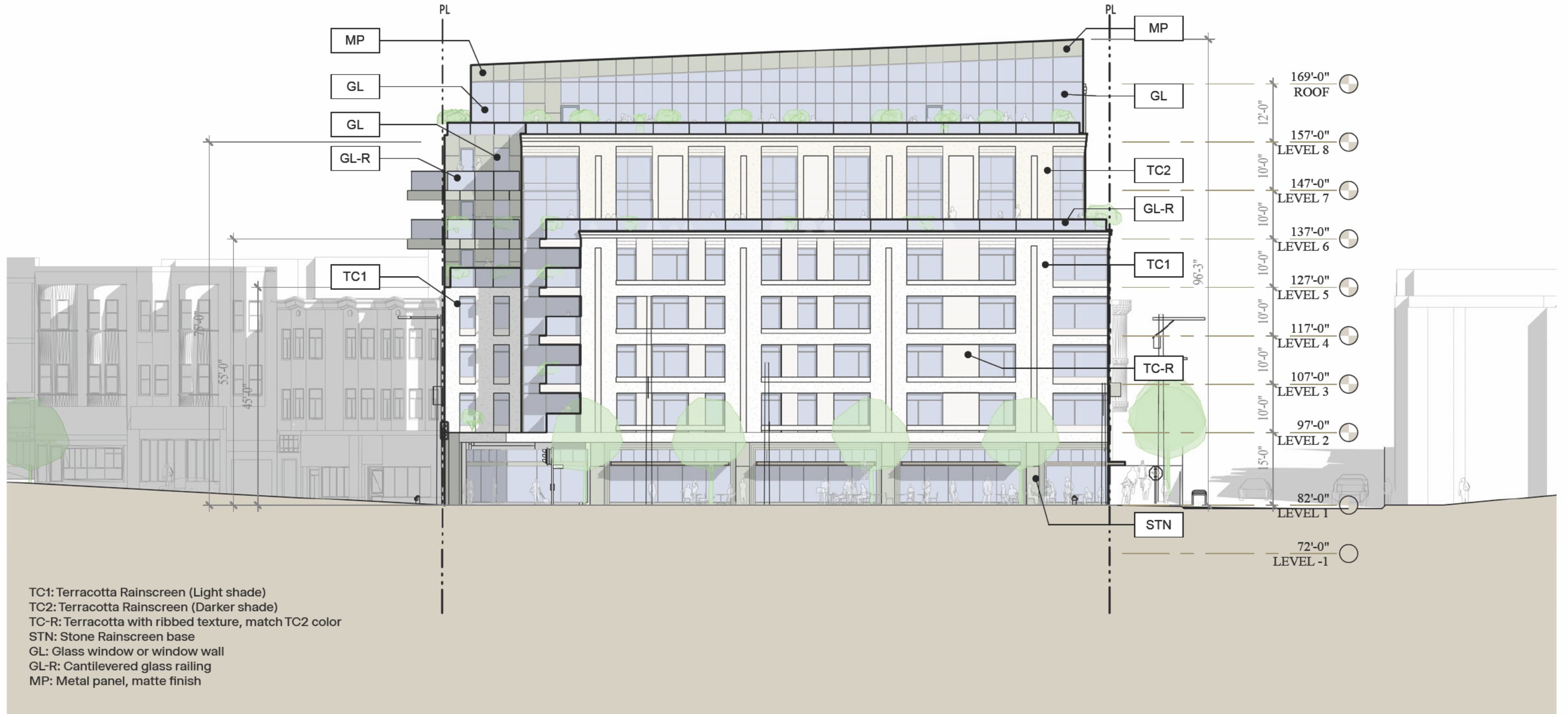
Floor Plan Level 8



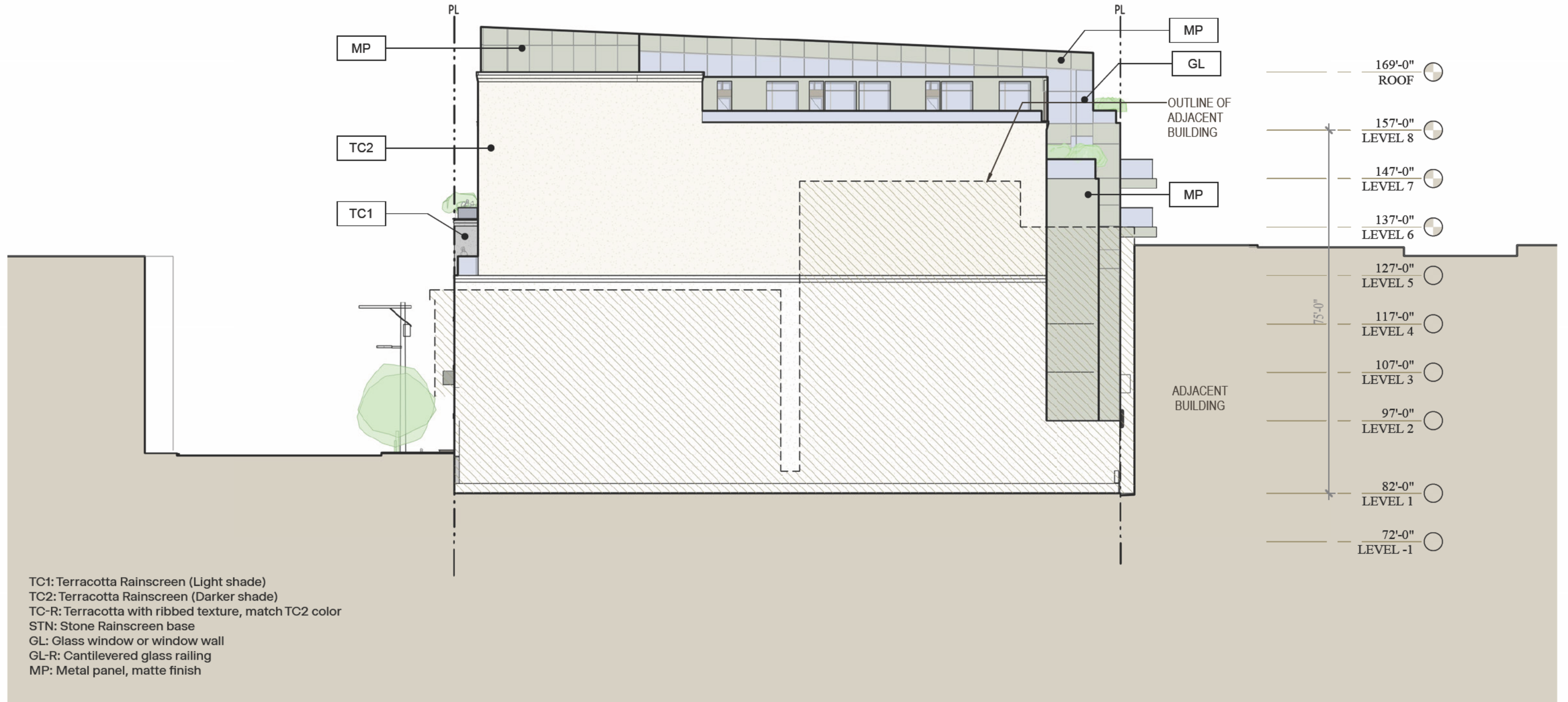
Floor Plan Level -1 (Basement)



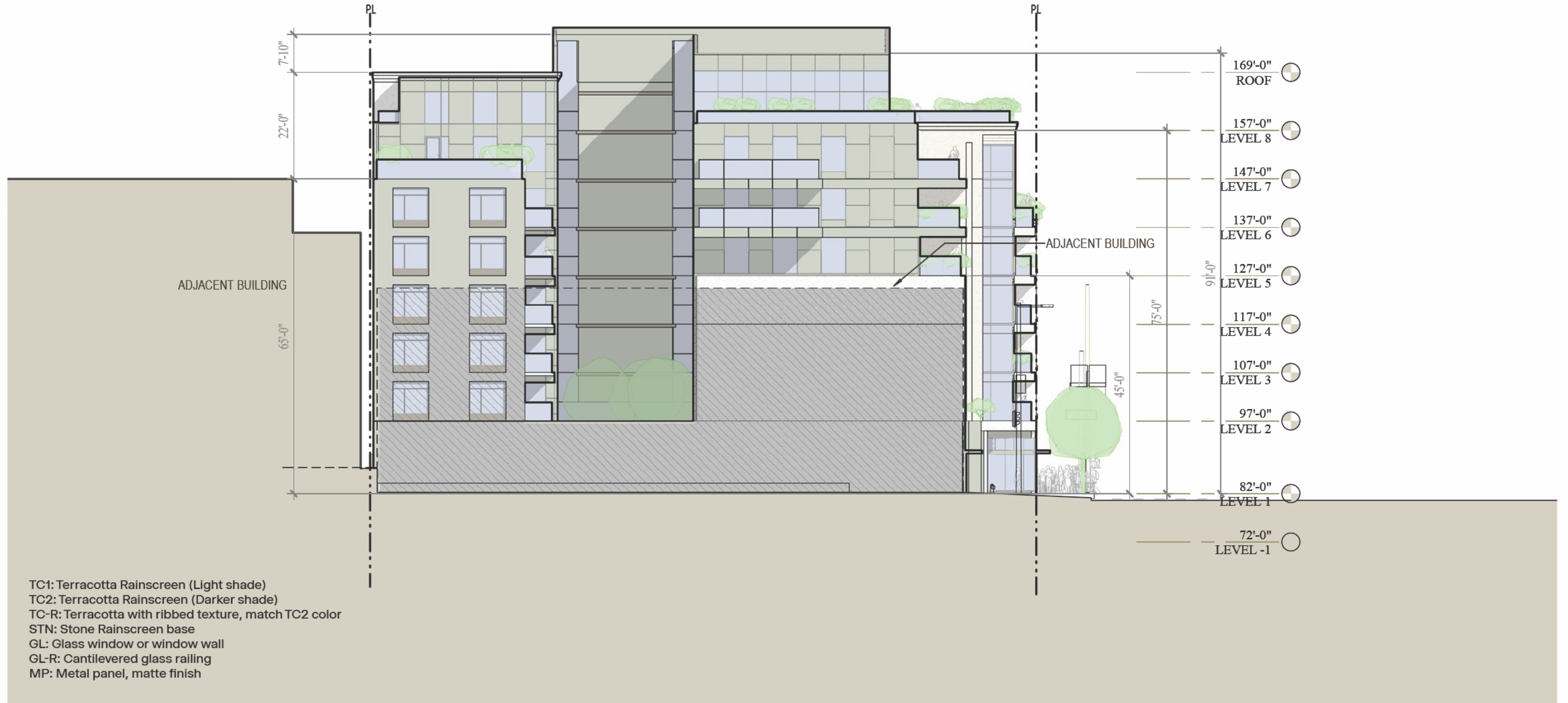
Elevation - North



Elevation - South



Elevation - East



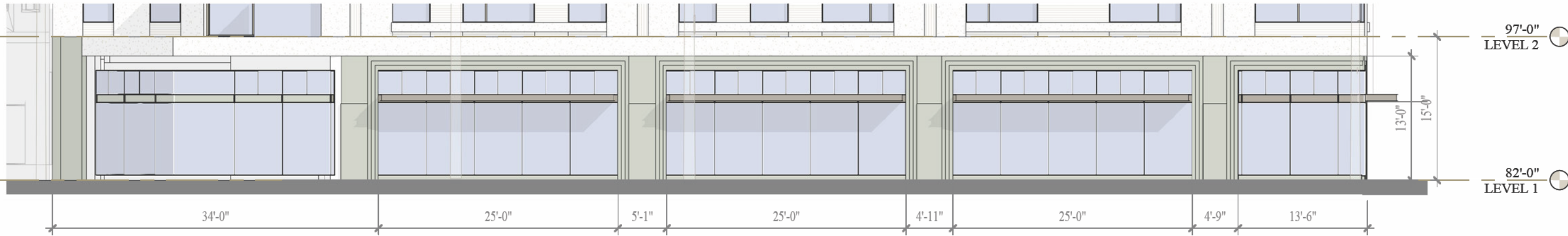
Elevation - West



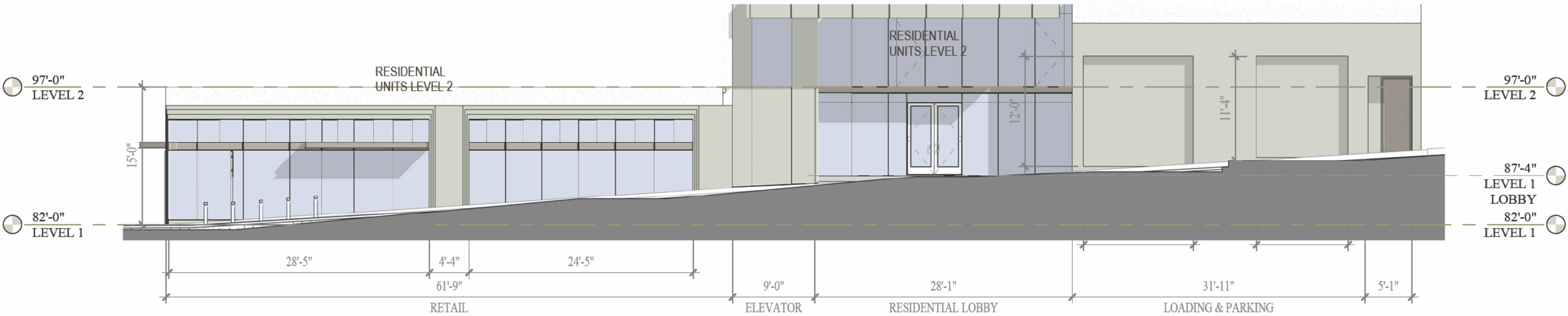
Section - West/East



Transparency Diagram



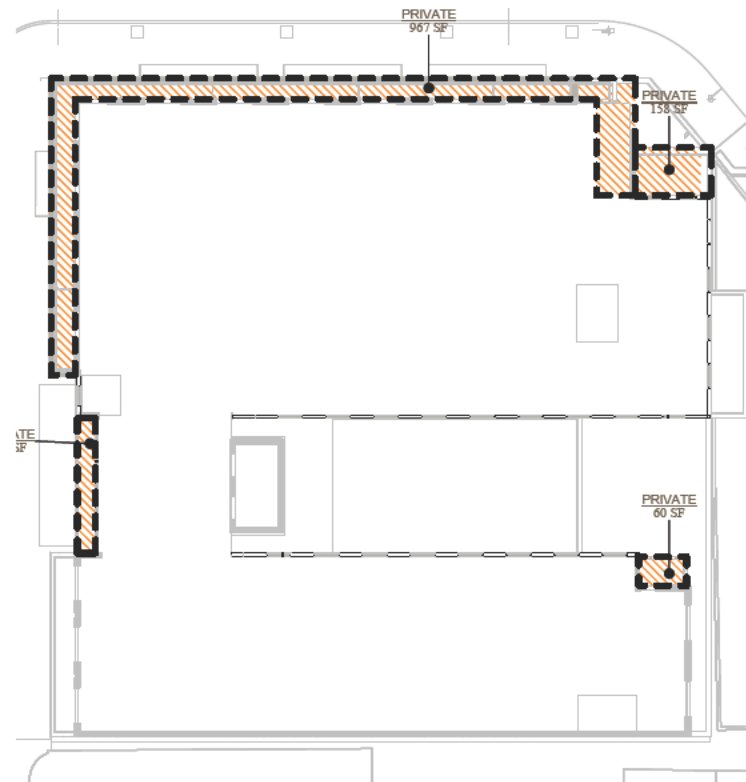
North Elevation



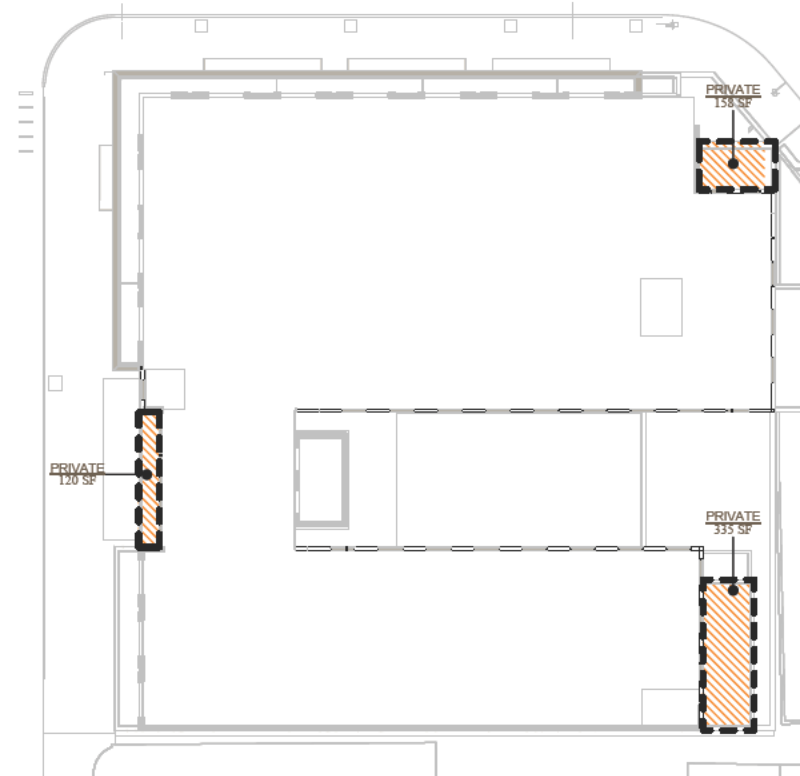
West Elevation

Open Space Diagrams

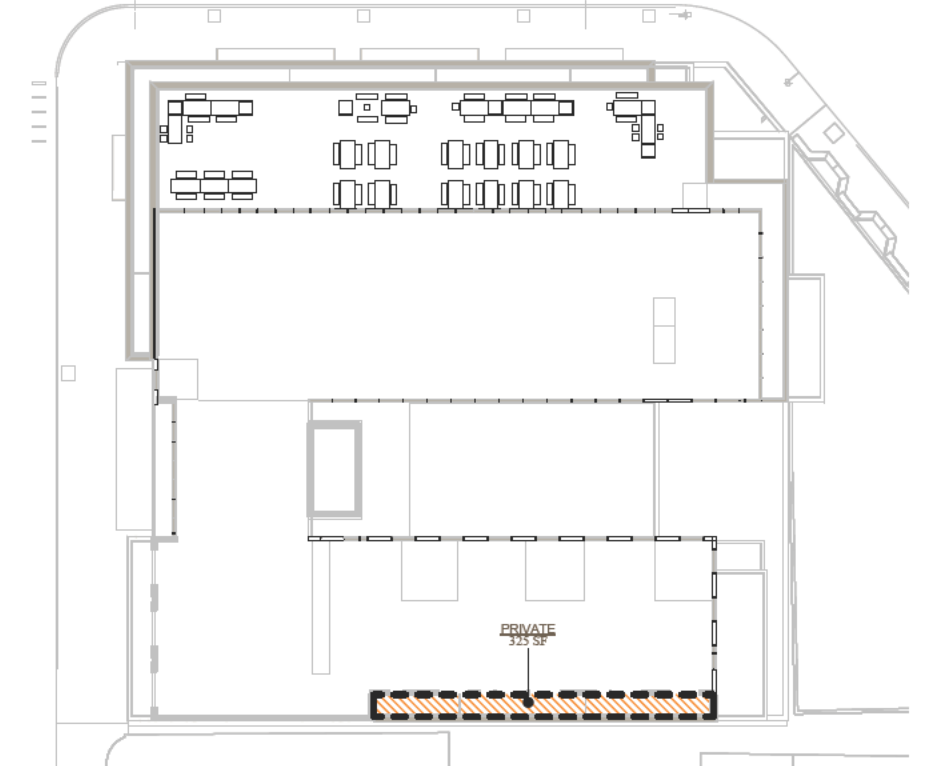
See calculation on page 13



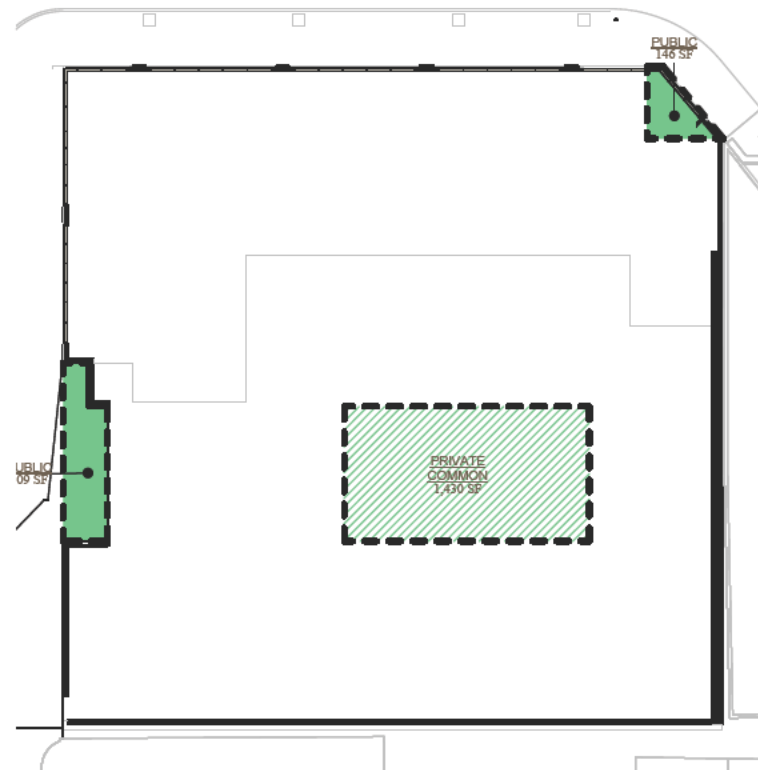
LEVEL 6



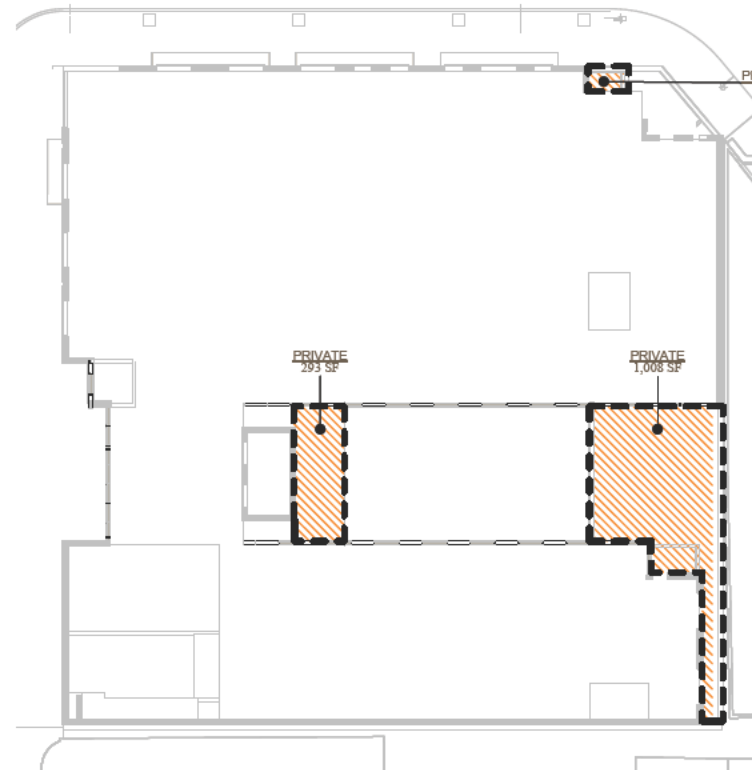
LEVEL 7



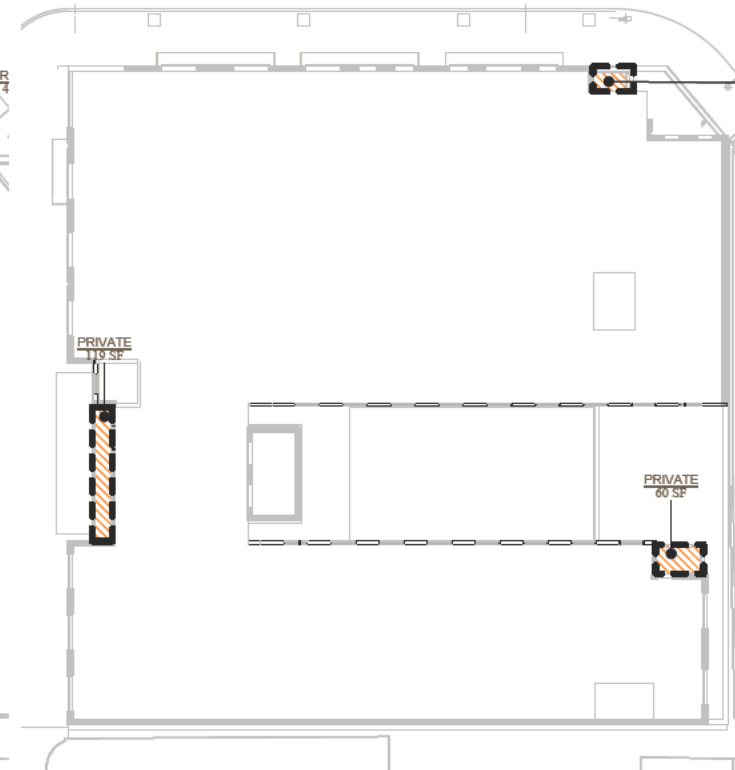
LEVEL 8



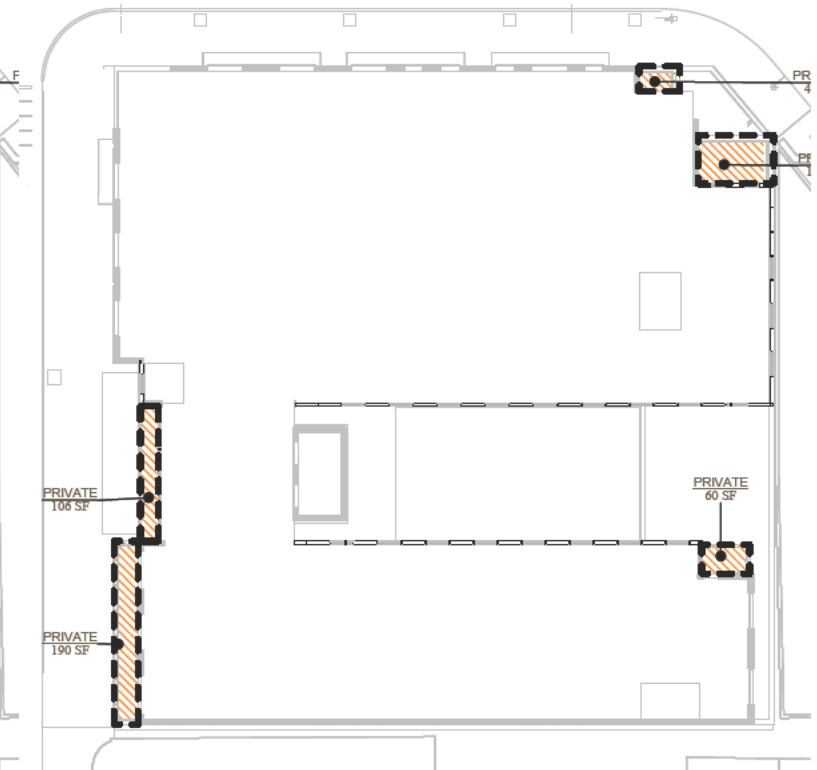
LEVEL 1



LEVEL 2

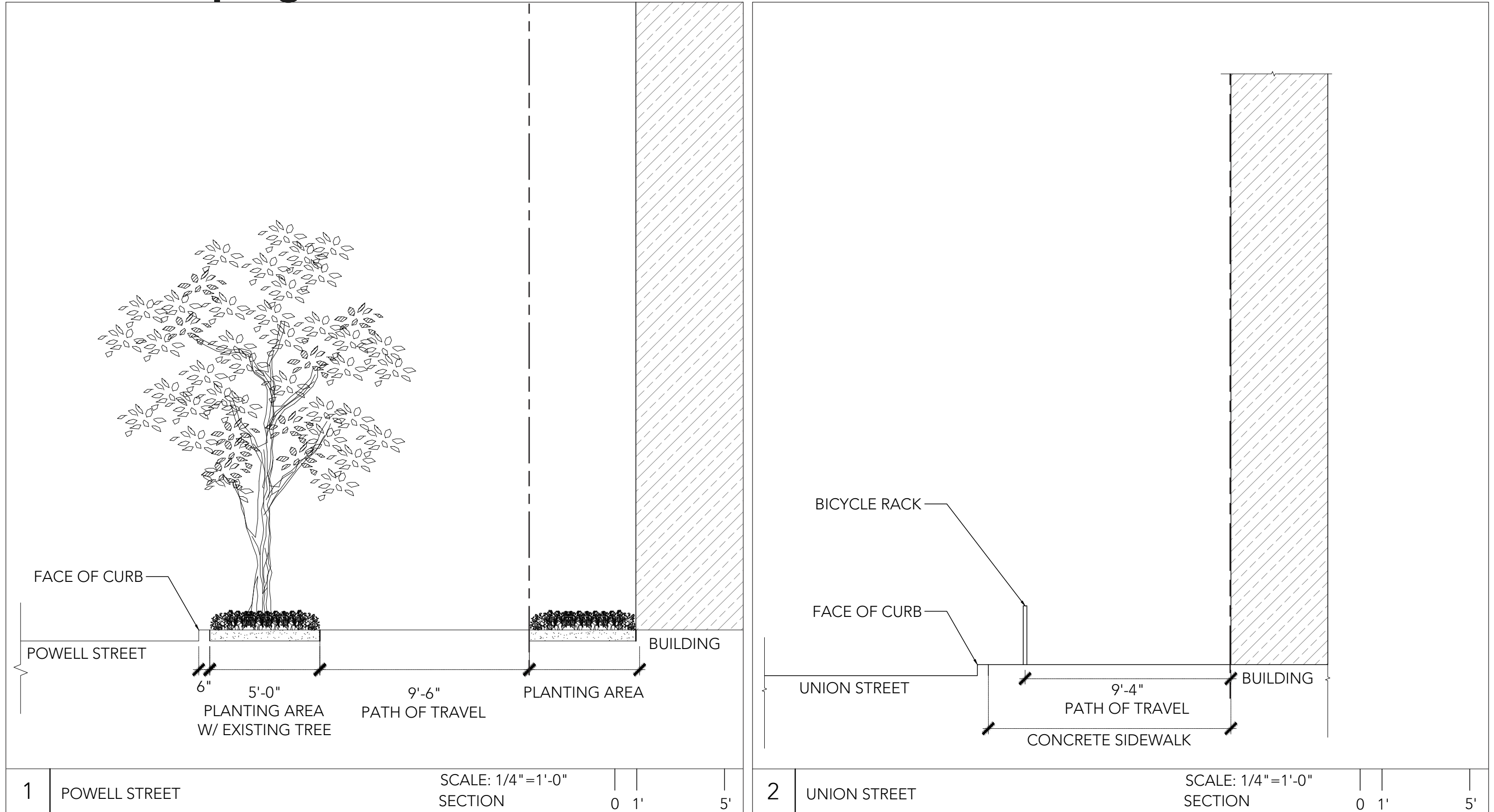


LEVEL 3-4

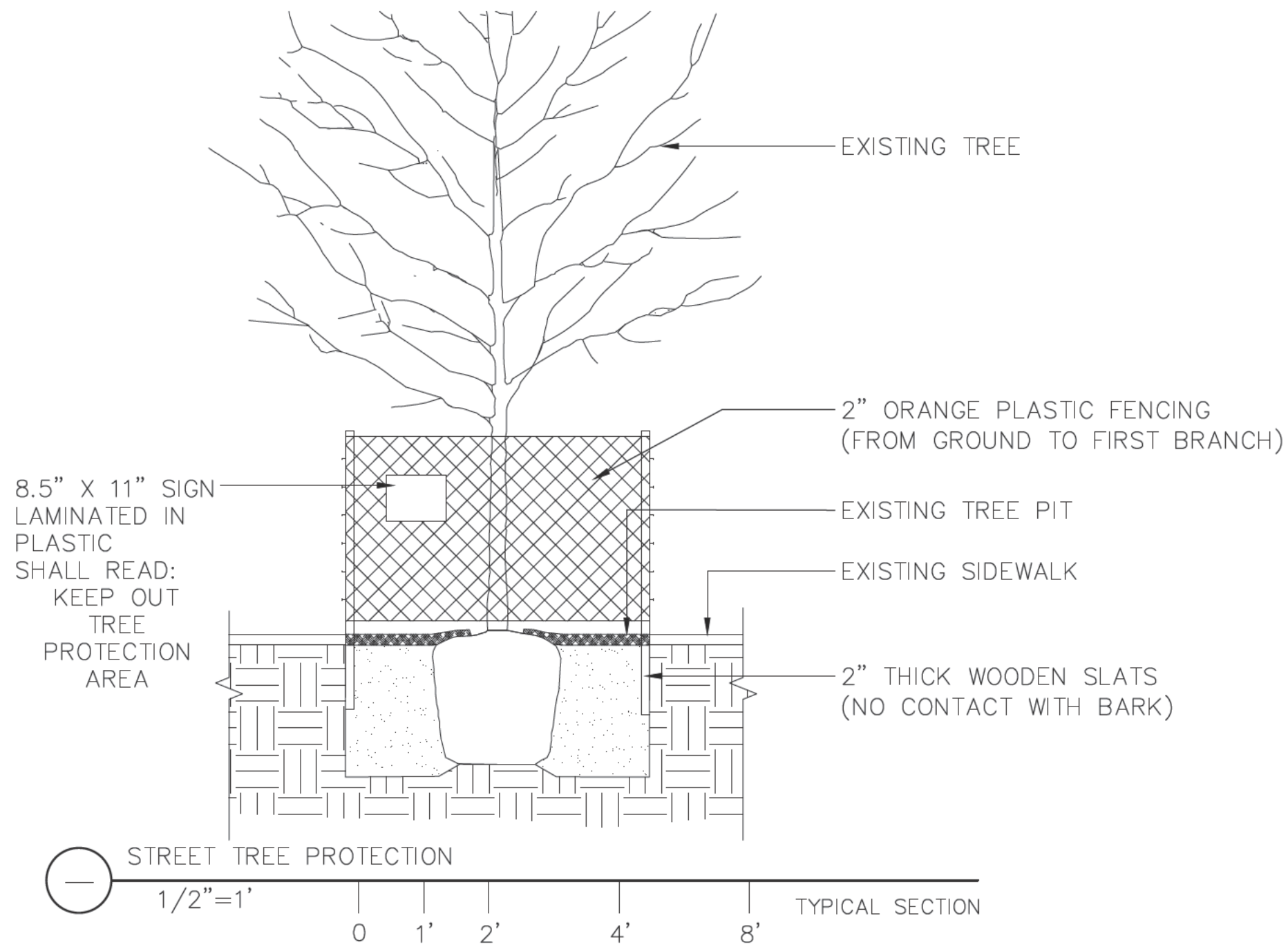


LEVEL 5

Street Scaping Sections



Tree Protection



EXISTING TREE - POWELL STREET



Waivers & Incentives

Waivers and Incentives Sought	Reference	W	I	Waiver or Incentive Sought
Restaurant use above ground floor			X	Allowing restaurant use / non residential use above ground floor.
Open Space	Sec 135	X		Exception to Open Space requirements per unit
Height Limit	Sec 260, 722	X		Exception to 40' height limit
Required Rear Yard	Sec 722	X		Exception to the required 25% rear yard
3 BR Unit Mix	Sec 722	X		Exception to required 10% 3-BR mix

MEMORANDUM

February 26th, 2026

To:

Matthew Greene
Deputy Director Inspection Services
Department of Building Inspection
49 South Van Ness
San Francisco, CA 94103

From: Erwin O'Toole, P.E. – Shoring and Civil Engineer C80734

Subject: Updated Structural Condition and Life-Safety Assessment
659 Union Street / 1656 Powell Street
(Block 0117 / Lot 016) – The Verdi Building

On April 18, 2025, ShoreCal Engineering Inc. issued a memorandum identifying serious structural hazards at the above-referenced property and requesting emergency action due to the deteriorated condition of the remaining unreinforced masonry structure. That memorandum documented worsening out-of-plane wall distress, unsupported perimeter elements, foundation cracking, and the expiration of all previously issued emergency shoring permits. At that time, it was concluded that the building posed an imminent threat to public safety.

The subject building is a former three-story unreinforced masonry (URM) structure with a basement, originally constructed in the early 1900s. The building sustained significant damage during a four-alarm fire on March 17, 2018, following an earlier fire event in 2013. After the 2018 fire, only portions of the perimeter masonry walls remained standing. A series of emergency permits were issued between 2018 and 2019 to install temporary interior and exterior shoring intended solely as short-term stabilization. All such permits have since expired, and no permanent corrective work has been completed.

Current Structural Condition

Subsequent observations and review of recent documentation confirm that the structural condition of the building has continued to deteriorate since the issuance of ShoreCal's April 2025 memorandum. The majority of the original roof and floor diaphragms are now either completely absent or so severely compromised by fire damage, water exposure, and prolonged weathering that they can no longer function as effective horizontal load-resisting elements. Any remaining diaphragm segments appear discontinuous and incapable of providing reliable anchorage to the masonry walls.

As a result, the remaining URM perimeter walls lack effective diaphragm support and continuity, a critical deficiency for this building type. URM structures rely heavily on diaphragm action to prevent out-of-plane wall failure and progressive collapse. In the absence of functional diaphragms, lateral loads must be resisted primarily by the masonry walls themselves, which were never designed to perform independently under modern seismic or wind demands.

Visual observations indicate continued degradation of the masonry. Cracking, displacement, and loss of mortar integrity are present at multiple elevations. In several areas, mortar deterioration is advanced to the point that individual bricks are poorly bonded and susceptible to dislodgement. These conditions are consistent with cumulative damage resulting from repeated fire exposure, thermal cycling, prolonged moisture infiltration, and lack of maintenance over an extended period.

Temporary Shoring and Bracing Systems

The temporary interior and exterior bracing systems currently in place were installed under emergency permits as short-term stabilization measures only. These systems were not designed to provide long-term structural performance or to meet current seismic design standards. Their continued presence should not be interpreted as evidence of adequate stabilization.

Of particular concern are the unrestrained masonry wall segments that extend above the bracing systems. Along portions of the Union Street and Powell Street elevations, masonry walls rise several feet above the top of the bracing. These wall segments include architectural features such as cornices and window openings, which increase mass and reduce effective wall section capacity, further increasing susceptibility to out-of-plane flexural failure.

The prolonged reliance on temporary stabilization introduces additional uncertainty. These systems have been exposed to weather for several years, and no performance standard can reasonably be assumed under current conditions. Continued masonry degradation, potential corrosion of steel bracing elements, and deterioration of connection points reduce the reliability of the stabilization over time.

Public Safety Considerations

The site is located within a dense urban environment with active pedestrian and vehicular traffic. Sidewalks, curbside parking, and a bus stop along Union Street are located within the potential fall zone of the masonry walls. In addition, occupants of adjacent properties and the general public are exposed to the risk associated with localized masonry failures or progressive wall collapse.

Observations from elevated access points indicate that masonry distress is present not only at lower wall regions but also at upper elevations, where loosened masonry units and deteriorated mortar joints increase the likelihood of localized failures even under relatively minor lateral loading. Such failures could occur independent of a major seismic event.

A site inspection of the subject property was previously conducted, and the building was observed to remain in a severely compromised condition following the multiple fire events that occurred in 2013 and 2018. The structure, originally a multi-story unreinforced masonry building with a basement, has lost substantial portions of its gravity and lateral force-resisting systems.

Current conditions indicate that the majority of the original roof and floor diaphragms are no longer present or have been rendered ineffective due to fire damage and prolonged exposure to weather. As a result, the remaining unreinforced masonry perimeter walls are largely unsupported and rely primarily on temporary bracing measures that were installed under prior emergency permits, all of which have since expired.

Visual observations indicate ongoing deterioration of the masonry walls, including cracking, out-of-plane displacement, and weakened mortar. In several locations, masonry units appear poorly bonded and susceptible to dislodgement under relatively minor loading. These conditions significantly reduce the walls' ability to resist lateral forces, including those associated with wind or seismic events.

The temporary bracing systems currently in place were intended as short-term stabilization measures and were not designed to provide long-term performance or meet modern seismic design standards. In particular, tall unrestrained masonry wall segments above the existing bracing remain vulnerable to out-of-plane instability and present a continued hazard to adjacent public areas, including sidewalks and street frontage.

Based on the observed conditions, the absence of effective diaphragms, the deteriorated state of the masonry, and the elapsed duration since installation of temporary stabilization measures, the structure continues to pose a serious life-safety concern. Without substantial intervention, including either comprehensive structural stabilization or removal, the risk of partial or global wall failure remains unacceptably high.

Conclusions

Based on the cumulative effects of multiple fire events, the near-total loss of roof and floor diaphragms, prolonged environmental exposure, ongoing masonry deterioration, and the continued reliance on expired temporary stabilization measures, the structure remains in a critically unsafe condition.

The existing conditions indicate a continued and elevated risk of partial wall collapse or progressive structural failure. Without substantial intervention, either through comprehensive engineered stabilization or removal, the building poses a serious life-safety hazard to the public and adjacent properties.

These conclusions are consistent with prior ShoreCal assessments and are further supported by recent third-party observations. This memorandum reflects ShoreCal Engineering Inc.'s independent professional judgment based on visual observations, available documentation, and generally accepted structural engineering principles applicable to unreinforced masonry construction.

Recommendation

Given the ongoing deterioration and life-safety risks identified above, immediate action remains warranted. ShoreCal Engineering Inc. reiterates its prior request that the Department of Building Inspection take appropriate emergency measures in accordance with applicable code provisions addressing serious and imminent hazards.

ShoreCal Engineering Inc. is available to provide additional information or assistance as required. Please feel free to contact me at 415 531 1009 or via email at erwin@shore-cal.com.

Thank you for your prompt attention to this critical issue.

Respectfully Submitted,



Erwin O'Toole, PE
ShoreCal Engineering Inc.

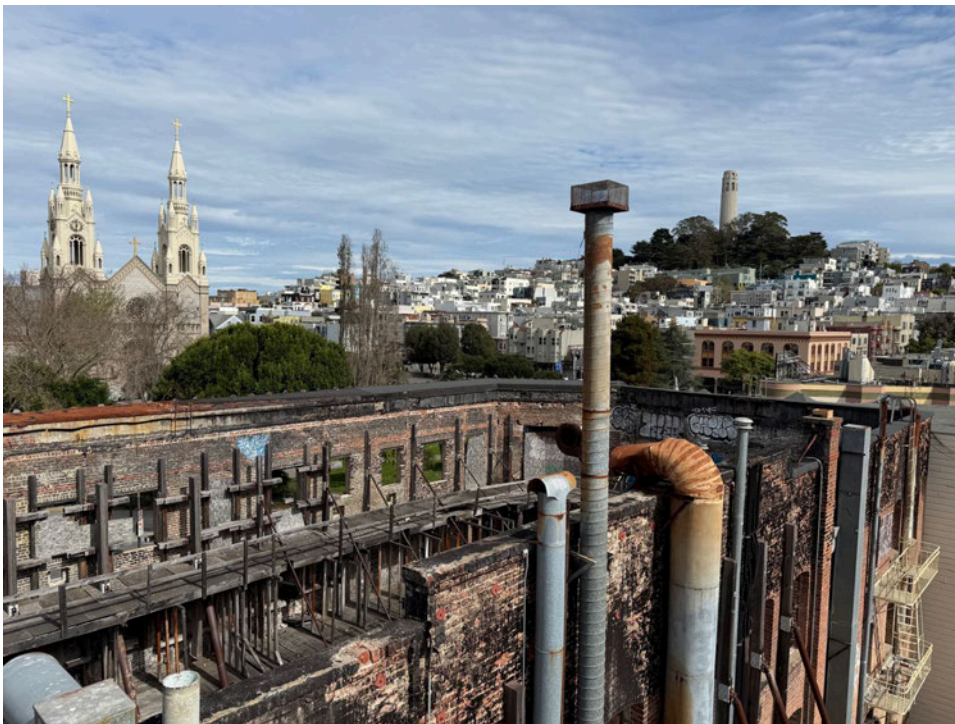


SHORECAL ENGINEERING INC.

CONSTRUCTION ENGINEERING

SHORING DESIGN

DEMOLITION CONSULTATION



SHORECAL ENGINEERING INC.

CONSTRUCTION ENGINEERING

SHORING DESIGN

DEMOLITION CONSULTATION



SHORECAL ENGINEERING INC.

CONSTRUCTION ENGINEERING

SHORING DESIGN

DEMOLITION CONSULTATION









D O L M E N

CONSULTING ENGINEERS INC.

March 2, 2026

Attention: Patrick O’Riordan
Director, San Francisco Department of Building Inspection
San Francisco Department of Building Inspection
49 South Van Ness
San Francisco CA 94103

Re: 659 Union Street/1656 Powell Street
Condition Report – Imminent Seismic Hazard

Director O’Riordan,

I am writing to draw your attention to an imminent seismic hazard at 659 Union Street/1656 Powell Street. I visited the site on February 4th, 2026 and again on February 24th, 2026. The purpose of my visits was to review the existing condition of the fire damaged building. I also reviewed the recent permit history and previous engineering reports for the building. Copies of memorandums and reports by ShoreCal Engineering Inc (February 3, 2025 and March 7, 2025) and KCE Matrix (February 18, 2020) are appended to this report.

HISTORY

The building was damaged in a single alarm fire on Sunday, December 15, 2013. As Erwin O’Toole outlined in his memorandum dated March 7th, 2025, the building was severely damaged in a subsequent four-alarm fire on March 17th, 2018. The building was a three-story unreinforced masonry structure with a single basement, likely dating from the early 1900’s. The structure was comprised of heavy perimeter brick walls and weak wood diaphragms, which is typical for this building type.



Images of the subject building ablaze, March 2018

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STABILIZATION

Immediately after the fire our client filed a series of permits and went to great lengths to stabilize the perimeter walls, which was all that remained after the fire was extinguished. The permit application details follow -

Application Number: 201804126159

Form Number: 8

Address(es): 0117/016/0 659 UNION ST
0117/016/1 1656 POWELL ST

Description: EMERGENCY SHORING TO REINFORCE FIRE DAMAGED MIX US STORY PLUS BASEMENT URM BLD. SHORING TO BE BOTH EXT A INTERIOR. MAHER NA

Application Number: 201805048295

Form Number: 8

Address(es): 0117/016/1 1656 POWELL ST

Description: REVISION TO 201804126159 CHANGE IN SITE CONDITIONS PER SITE INSPECTION; ADD MORE SHORING TO THE INTERIOR FROM 3RD FLOOR BRACED TO 2ND FLR

Application Number: 201805159126

Form Number: 8

Address(es): 0117/016/1 1656 POWELL ST

Description: REVISION #2 TO PA #201804126159. ADDITIONAL SHORING TO THE REAR WALLS OF THE BUILDING THROUGHOUT 2ND & 3RD LEVELS. MAHER NA

Application Number: 201807205052

Form Number: 8

Address(es): 0117/016/1 1656 POWELL ST
0117/016/0 659 UNION ST

Description: REV TO PA# 201804126159 & 201805048295; CHANGE TIMELINE OF COMPLETION OF PHASE 1&2 TO OCTOBER 15,2018. MAXIMUM DURATION OF PHASE I & II TEMPORARY SHORING UNTIL APRIL 12, 2019. NO CONSTRUCTION UNDER THIS PERMIT. MAXIMUM DURATION OF SHORING: PHAS I & PHASE II UNTIL 4/12/2019 - TEMPORARU SHORING.

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Application Number: 202112134321

Form Number: 3

Address(es): 0117/016/0 659 UNION ST
0117/016/1 1656 POWELL ST

Description: Facade retention on Columbus St, Union St, & Powell St, and for removal of any remaining building debris. New construction under separate permit which will incorporate (E) facade retained under this permit. Emergency shoring to reinforce fire-damaged building issued under PA# 201804126159.

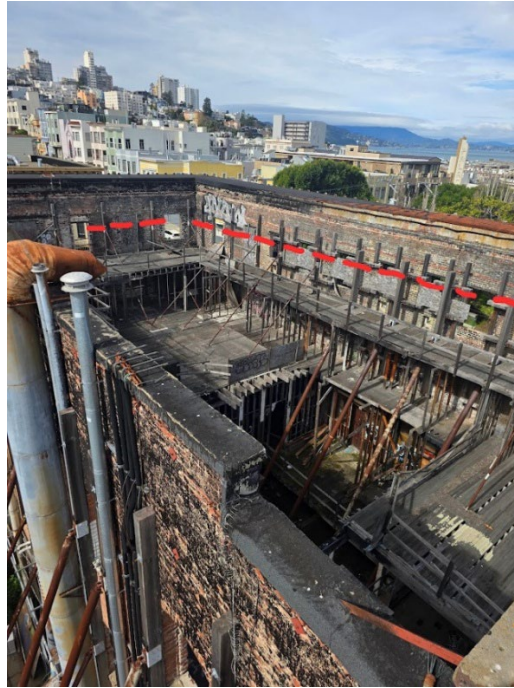
While the design was credible as a temporary solution, there is no design standard for a situation like this. No performance standard is implied by the addition of these braces. Perhaps the most obvious hazard is the cantilevered brick wall above these braces extending around the entire 420' building perimeter. This wall has a decorative cornice above the sidewalk along the entire length of its' street facade, increasing the likelihood that the wall will fall onto the bus stop and sidewalk below in a minor seismic event. The wall's out-of-plane "flexural" capacity is also weakened by the presence of fourteen windows along its' Union Street façade.



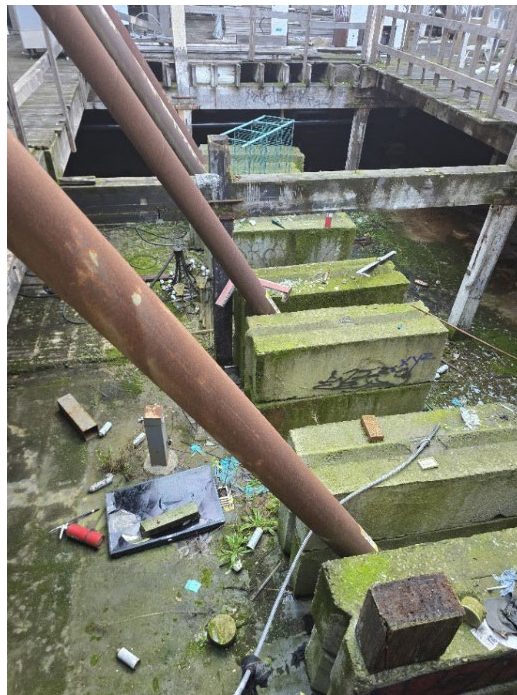
Rear Yard Out-of-Plane Wall Bracing System

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Likely location of flexural failure



Existing Interior Out-of-Plane Wall Bracing System

RELEVANT CODE SECTIONS

As you know, this building type was subject to a pair of statewide retrofit ordinances. The first ordinance, dating from the 1970's, addressed parapet bracing, a widely understood failure. Historical Google Earth photos show small braces at the roof level along the North, South, and West elevations, but none on the East elevation since the adjacent building would have mitigated that hazard. These braces appear to have been removed as part of the clean-up after the 2018 fire.

The second ordinance that applied to this building type was the Unreinforced Masonry Bearing Wall Building Retrofit Ordinance. This building type was identified as the most significant seismic hazard and the first to be subject to a mandatory statewide retrofit ordinance. The primary failure modes are global collapse and out-of-plane wall anchorage. Floor and roof diaphragms, and their connection to the perimeter walls, are critical to the prevention of both failures.

Many of these buildings provided housing for low-, and moderate-income individuals and families in dense urbanized parts of the State. The authors of the retrofit ordinance had to strike a balance between preservation of these buildings and reduction of the seismic hazard. It would not have been financially feasible to retrofit these buildings to meet the current building code since the walls are disproportionately heavy, and the diaphragms are very weak. The resulting "Seismic Strengthening Provisions for Unreinforced Masonry Bearing Wall Buildings" achieved a balance between feasibility and risk mitigation, but not without compromising the anticipated seismic performance. This ordinance has been adopted as Chapter A1 of the California Existing Building Code.

Looking at the damaged building under the provisions of Chapter A1 of the California Existing Building Code we find the following shortcomings -

A110.2 Seismic forces on elements of structures.

Parts and portions of a structure not covered in Section A110.3 shall be analyzed and designed per the current building code, using force levels defined in Section A110.1. –

Exceptions:

1. Unreinforced masonry walls for which height-to-thickness ratios do not exceed ratios set forth in Table A110.2 need not be analyzed for out-of-plane loading. Unreinforced masonry walls that exceed the allowable h/t ratios of Table A110.2 shall be braced according to Section A113.5.

– Existing walls exceed maximum h/t ratios listed.

2. Parapets complying with Section A113.6 need not be analyzed for out-of-plane loading.

– Existing "parapets" (ie. cantilevered walls above the top restraint) significantly exceed code limits.

3. Where walls are to be anchored to flexible floor and roof diaphragms, the anchorage shall be in accordance with Section A113.1. – Upper diaphragms have been largely removed. No wall anchorage is possible.

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Since the upper diaphragms have been largely removed, the retrofit design would not qualify for the Special Procedure. The Special Procedure has many accommodations that are not allowed in the General Procedure. Provisions allowing plywood sheathed crosswalls, diaphragm DCR's up to 5.0, ignoring the need for chords, allowing large h/t ratios are not applicable to this retrofit under the General Procedure.

Dynamically, an unbraced, cantilevered element can generate four or five times the lateral force of a similarly configured braced element. As you can see from the attached photographs, the top lateral restraint of the existing walls at 659 Union Street, in many cases, is eight to ten feet below the top of the parapet.



Unbraced “parapets” 02/04/2025

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As you can see from the following photograph the roof and floor diaphragms are largely missing. Even the areas of diaphragm that remain are heavily compromised by fire and water damage.



Missing Roof and Floor Diaphragms 02/04/2025



Missing Roof and Floor Diaphragms 02/04/2025

CODE MANDATED RETROFIT

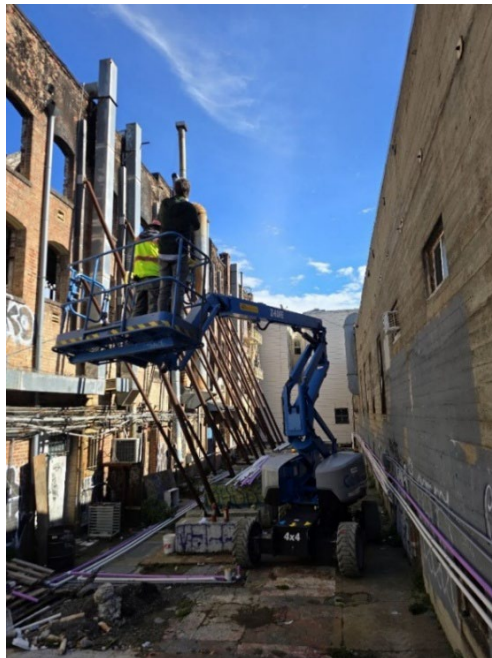
If we apply the General Procedure, or the current code, to the remaining fire damaged structure we would need to add closely spaced vertical and horizontal steel wall bracing around the entire interior, and supplement the existing interior braces with a three-dimensional braced frame. This frame would then be removed to make way for the new permanent structure that will hopefully take its' place one day.

The retrofit is further complicated by our Client's goal to develop a significant new housing project at the site. As a prerequisite for that development, the Department of Toxic Substance Control (DTSC) is requiring the removal and replacement of contaminated soils to a depth of twelve to fifteen feet below sidewalk elevation. The contamination is the result of leaks from historic heating oil tanks and the former presence of a dry-cleaning facility at the site.

Requiring our client to shore up the perimeter walls to any reasonable standard while simultaneously requiring him to remove five feet of soil below the foundations is obviously a Kafkaesque demand.

CURRENT CONDITIONS

Our client delivered a JLG access lift to the rear yard of the building on February 23rd, 2026. Erwin O'Toole, PE, and I investigated the upper parts of the walls from the JLG platform. We found that prolonged exposure to weather, both fires, and the subsequent fire-fighting efforts have weakened the mortar in the walls. It was easy for Erwin and I to remove individual bricks with our bare hands from two separate locations.



JLG on site 02/24/2026

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Removing loose bricks by hand from the JLG platform

We are very thankful that nothing tragic has happened to date but it is obvious to me, as a practicing engineer, that it is only a matter of time before these walls fail under lateral loading. While I visited the site, I noticed many people waiting at the bus stop on Union Street, walking along the sidewalk, parking at the curb, and driving along Union Street. All these people were directly in the fall zone.

In the interest of public safety, I strongly urge you to issue an emergency demolition permit for this structure.

Sincerely,

Diarmuid Mac Neill

Diarmuid Mac Neill

President

Attachments: ShoreCal Engineering Inc (February 3, 2025 and March 7, 2025)
KCE Matrix (February 18, 2020)

REFERENCE DOCUMENTS:

1. ARCHITECTURAL PLANS BY GOULD EVANS, LAST DATED JANUARY 31st, 2022
2. SITE PLAN BY LUK & ASSOCIATES, DATED JANUARY 31st, 2022

PROJECT DESCRIPTION AND SCOPE OF WORK

THE SUBJECT PROPERTY IS A 3 STORY BRICK BUILD NG WITH A BELOW GRADE BASEMENT. ALL INTERIOR SPACES WERE DESTROYED BY FIRES N 2013 AND AGA N 2018. THE WORK SCOPE REQUIRES DEMOLITION OF AN APPROXIMATELY 50' SECTION OF BRICK WALL AT THE REAR (SOUTH) OF THE BUILD NG. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH DEMOLITION PERMIT ISSUED BY THE CITY OF SAN FRANCISCO AND WITH CITY'S CONSTRUCTION AND DEMOLITION WASTE RECYCLING PROGRAM AND OTHER APPLICABLE JURISDICTIONAL REGULATIONS.

DEMOLITION ACTIVIT ES ARE ESTIMATED TO COMPLETE WITHIN 45 WORK NG DAYS FROM THE START INCLUDING ALL PRE-DEMOLITION WORK AND REMOVAL OF ALL DEMOLITION DEBRIS FROM THE PROJECT SITE.

THE EXISTING IMPROVEMENTS HAVE BEEN DETERMINED TO BE IN EXCESS OF 25 FEET N HEIGHT AND THEREFORE ARE SUBJECT TO COMPLIANCE WITH SECTION 3303.1 OF THE S.F.B.C.

SHEET INDEX

- D 1.0 COVER SHEET
- D 1.1 DEMOLITION DETAILS
- D 2.0 DEMOLITION PLAN
- D 3.0 ELEVATIONS
- D 4.0 REPORT

S.F.B.C. SECTION 3303.1.2 NOTES

S.F.B.C. 3303.1.2 REQUIRES THE FOLLOWING INFORMATION TO BE INCLUDED ON DEMO PLANS.

1. **SEQUENCE OF DEMOLITION:** SEE SEQUENCE OF DEMOLITION NOTES THIS PAGE & NEXT PAGE.
2. **LOCATION OF STANDPIPE:** TWO STANDPIPES AND TWO FIRE HYDRANTS ARE PRESENT AT THE SUBJECT PROPERTY, AS NOTED ON D 2.0.
3. **TRUCK CRANE EQUIPMENT:** DEMOLITION OF THE STRUCTURE SHALL BE PERFORMED USING HYDRAULIC TRACK MOUNTED EXCAVATORS. THIS EQUIPMENT SHALL WORK WITHIN THE PROPERTY BOUNDARIES AND DOES NOT REMAIN STATIONARY DURING DEMOLITION OPERATIONS, AS SUCH NO POSITIONING OF A TRUCK CRANE IS NECESSARY.
4. **FENCE OR BARRICADE WITH LIGHTS:** ALL DEMOLITION OPERATIONS SHALL BE PLANNED AND SCHEDULED TO COMPLETE DURING DAYLIGHT HOURS AND PUBLIC FACILITIES SHALL BE RESTORED TO PUBLIC USE FROM ANY TEMPORARY CLOSURES DURING DAYLIGHT HOURS SUCH THAT NO LIGHTING IS REQUIRED TO SUPPLEMENT CITY STREET LIGHTS.
5. **ANY FLOOR OR WALL LEFT STANDING:** ALL DEMOLITION OPERATIONS SHALL BE PLANNED AND SCHEDULED SUCH THAT DAILY OPERATIONS SHALL RESULT IN COMPLETE DEMOLITION OF STRUCTURAL SYSTEMS. PARTIALLY DEMOLISHED STRUCTURAL SYSTEMS SHALL NOT BE LEFT UNATTENDED. ANY STRUCTURAL SYSTEMS LEFT STANDING SHALL BE SELF-SUPPORTING AND ABLE TO RESIST APPROPRIATE LATERAL LOADS. THE DEMOLITION ENGINEER SHALL REVIEW ALL SUCH STRUCTURES LEFT STANDING AND MAKE RECOMMENDATIONS ON ANY TEMPORARY SHORING NECESSARY OR EXTENSIONS OF WORK HOURS TO REMOVE ANY HAZARDOUS CONDITIONS FROM THE JOB SITE.

DAILY SCHEDULE: HOURS OF NORMAL OPERATIONS SHALL BE MONDAY THROUGH FRIDAY 7:00AM TO 5:00PM. HOURS OF OPERATIONS SHALL BE EXTENDED AS NEEDED TO COMPLETE DEMOLITION SEQUENCES SUCH THAT NO HAZARDOUS CONDITIONS ARE LEFT UNATTENDED DURING OFF HOURS.

GENERAL NOTES:

1. THE CONTRACTOR SHALL ERECT TEMPORARY FENCING ALONG THE PROJECT SITE AND THE SITE SHALL REMAIN ACCESSIBLE TO THE PUBLIC.
2. ALL ADJACENT PUBLIC AND PRIVATE PROPERTY, BUILDINGS, AND OTHER IMPROVEMENTS SHALL BE PROTECTED DURING DEMOLITION.
3. DURING DEMOLITION THE AREA BEING DEMOLISHED SHALL BE SPRAYED WITH WATER AS REQUIRED FOR DUST CONTROL.
4. ALL WORKERS SHALL WEAR HARD HATS AND SAFETY GOGGLES AT ALL TIMES AND SHALL OTHERWISE COMPLY WITH OSHA SAFETY ORDERS FOR APPLICABLE WORK.
5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND CAUSE SUCH UTILITIES TO BE DISCONNECTED AND/OR REMOVED TO BEYOND PROJECT LIMITS.
6. PROVIDE PROTECTION OF PEDESTRIANS PER S.F.B.C. SECTION 3306.
8. THE SAFETY OF PERSONNEL AND PROPERTY DURING DEMOLITION WORK AND DURING OFF HOURS BETWEEN DEMOLITION ACTIVITY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A 10.6, CURRENT EDITION, THE CITY AND COUNTY OF SAN FRANCISCO BUILDING CODE, AND ALL OTHER APPLICABLE STATE AND LOCAL AGENCIES HAVING JURISDICTION.
10. SEQUENCE OF DEMOLITION: CONTRACTOR SHALL FOLLOW THE SEQUENCE OF DEMOLITION AS DESIGNATED BY THE DEMO PLAN. ANY ALTERATIONS TO THE SEQUENCE OF DEMOLITION NECESSITATED BY SITE CONDITIONS SHALL BE AT THE DIRECTION OF THE ENGINEER. A SEQUENCE OF DEMOLITION FOR THE BUILDING OR FOR A STRUCTURALLY INTERDEPENDENT AREA OF THE BUILDING SHALL BE COMPLETED BEFORE CEASING OPERATIONS FOR THE DAY. WHERE IT IS UNFEASIBLE TO COMPLETE A SEQUENCE BEFORE CEASING OPERATIONS, CONTRACTOR SHALL PROVIDE SHORING, BACKFILL, AND/OR OTHER MEANS OF SUPPORT TO ELIMINATE ANY HAZARDOUS CONDITIONS DURING OFF HOURS. NO UNSUPPORTED WALLS, COLUMNS, OR ABOVE HEAD STRUCTURES SHALL BE LEFT UNATTENDED BY CONTRACTOR.
11. SPECIAL INSPECTIONS SHALL BE PROVIDED PER S.F.B.C. SECTION 3303.7 SEE S.F.D.B.I. SPECIAL INSPECTION REQUIREMENTS ATTACHED TO PERMIT PLANS.

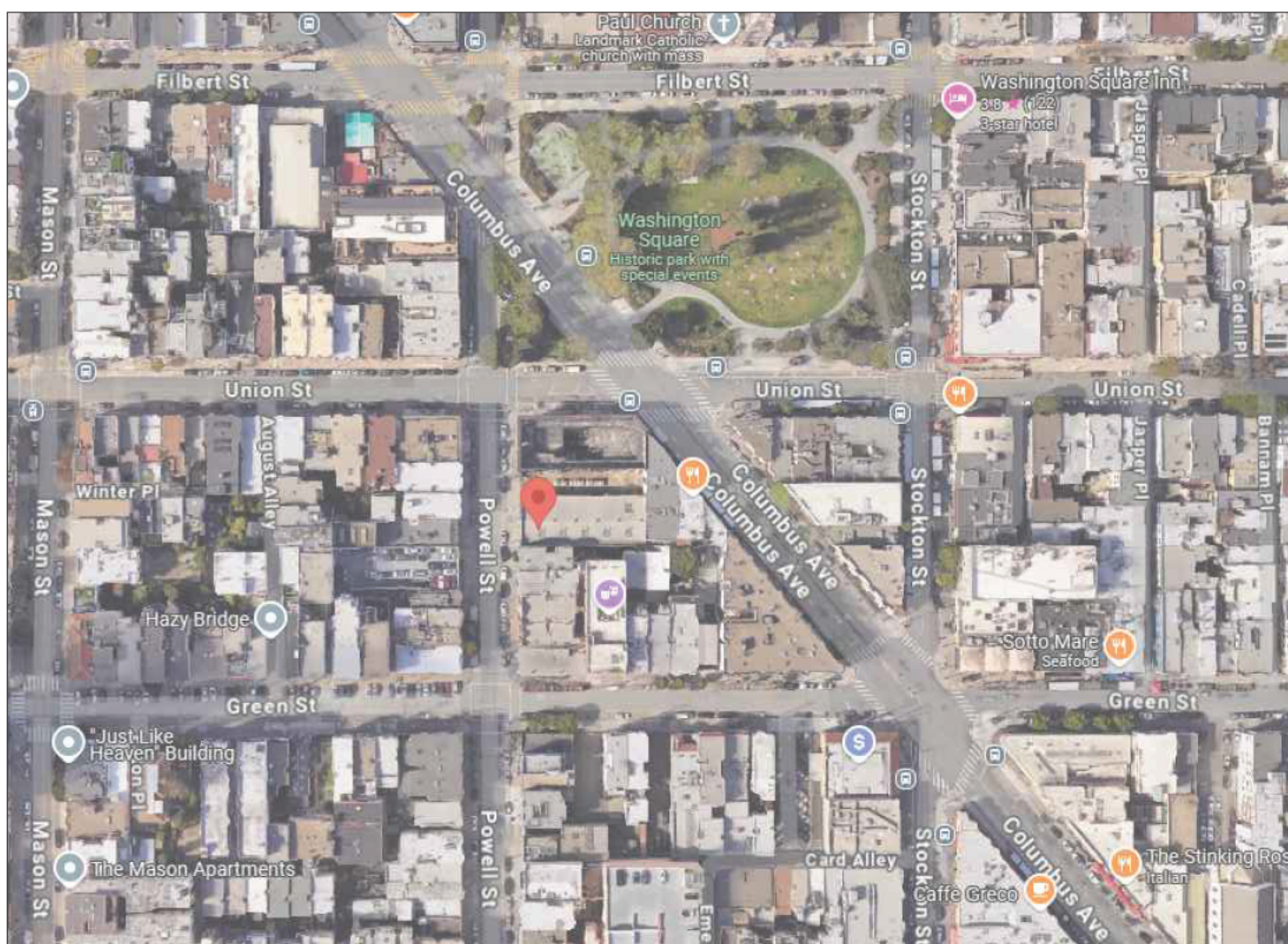
SEQUENCE OF DEMOLITION NOTES

PRE-DEMOLITION

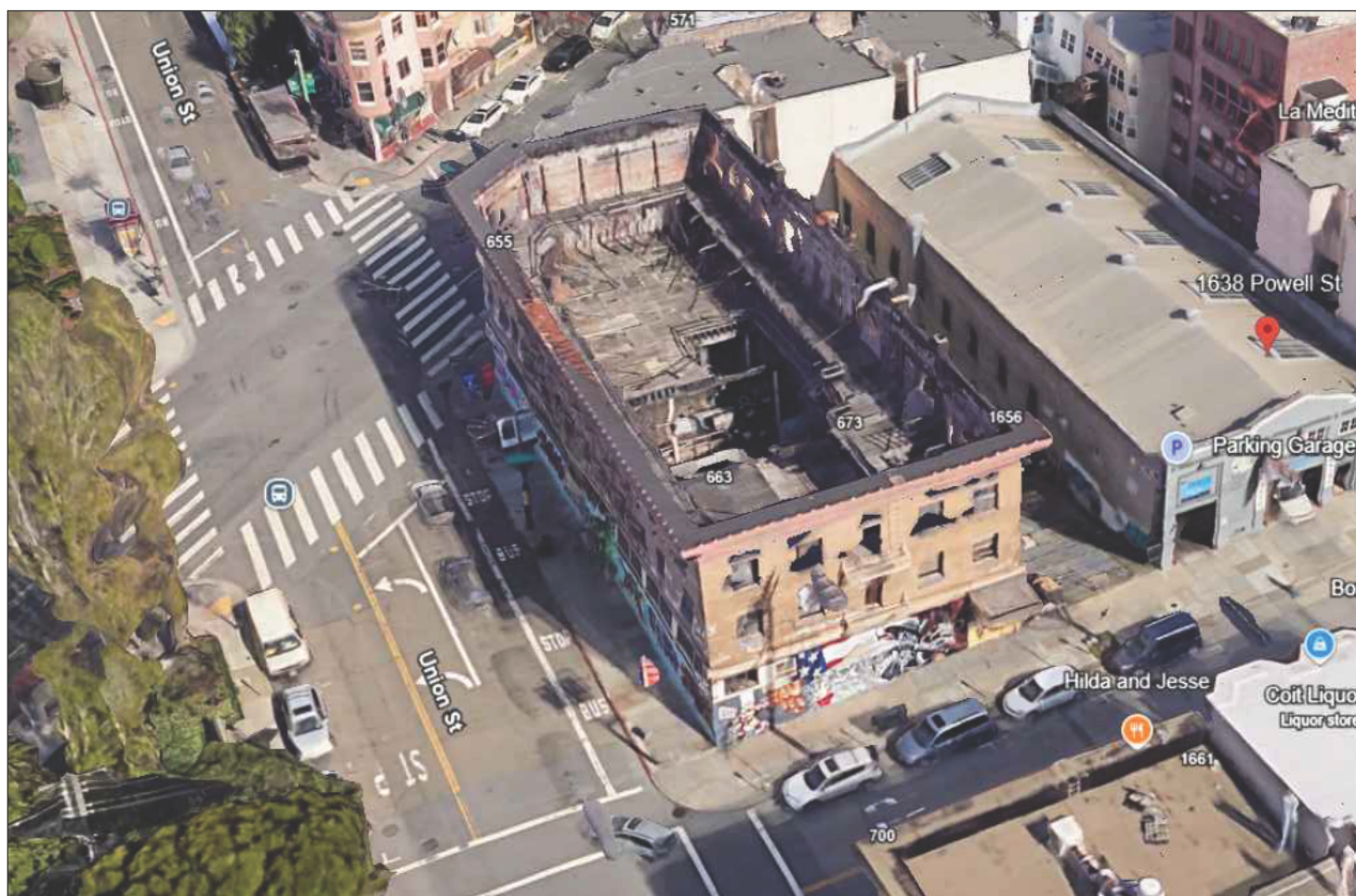
1. ALL HAZARDOUS MATERIALS SHALL BE REMOVED FROM THE BUILDING AND THE BUILDING SHALL BE CERTIFIED HAZARD FREE BEFORE PROCEEDING.
2. VERIFY ALL UTILITIES HAVE BEEN DE-COMMISSIONED, DE-ENERGIZED, AND/OR CAPPED AT THE PROPERTY LINE PRIOR TO PROCEEDING. NOTE THAT THE SITE IS FREE OF OVERHEAD UTILITIES. NO COORDINATION OF DEMOLITION ACTIVITIES WITH OVERHEAD UTILITIES IS THEREFORE REQUIRED.
3. SECURE THE SITE WITH FENCING, BARRICADES, TRAFFIC CONTROLS, AND OTHER FACILITIES AS REQUIRED TO PROTECT NEIGHBORING AND PUBLIC PROPERTY AND AS REQUIRED TO PROTECT THE PUBLIC AS ALSO INDICATED IN THE GENERAL NOTES.
 - a. PROVIDE SIGNAGE AND FLAGMEN AS REQUIRED BY B.S.M. FOR SIDEWALK CLOSURE. SIGNAGE SHOULD STATE: "SIDEWALK CLOSED" - LOCATE SIGNS AT OPPOSITE ENDS OF SIDEWALKS AND AT OPPOSITE ENDS OF SIDEWALK WITHIN THE BLOCK DURING SIDEWALK CLOSURES.
 - b. OBTAIN STREET SPACE PERMITS FROM S.F.D.P.W. FOR THE DURATION OF DEMOLITION WORK. NOTE THAT HOURS SHALL FURTHER BE LIMITED BY S.F. BUREAU OF STREET USE AND MAPNG PERMITS FOR STREET SPACE USE OF SIDEWALK OR LANE CLOSURES AS REQUIRED FOR CERTAIN DEMO ACTIVITIES.
4. REMOVE ALL EQUIPMENT, FURNISHINGS, SALVAGEABLE INTERIOR FINISHES AND FIXTURES PRIOR TO STRUCTURAL DEMOLITION.

STRUCTURAL DEMOLITION SEQUENCE

5. DEMOLISH ROOF AND SECONDARY LOAD CARRYING MEMBERS IN ENTIRETY. PRIMARY MEMBERS ARE TO REMAIN IN PLACE.
6. SEE DEMOLITION NOTES ON NEXT PAGE FOR SEQUENCING DEMOLITION.
7. REMOVE GROUND FLOOR SLAB AND SLAB ON GRADE PORTIONS OF AREA OF BUILDING DOWN TO SUBGRADE WHERE SUBGRADE EXCEEDS A DEPTH OF 6" FROM TOP OF ADJACENT CITY SIDEWALK. PROVIDE BACKFILL MATERIAL AGAINST EDGE OF SIDEWALK SUCH THAT THE TOP OF COMPACTED FILL IS NO LOWER THAN 4" FROM TOP OF ADJACENT SIDEWALK.
8. REMOVE FOUNDATION SYSTEMS AND ROUGH GRADE SITE. PROVIDE COMPLETE CONTAINMENT OF POTENTIAL STORM WATER ON SITE AND TO CREATE A CHANGE OF ELEVATIONS BELOW BACK OF SIDEWALK NO GREATER THAN 6". WHERE REMOVAL OF FOUNDATION AND/OR GROUND FLOOR WALLS WOULD UNDERMINE CITY SIDEWALK, THOSE PORTIONS OF FOUNDATION SHALL BE LEFT IN PLACE AND REMOVED TO AN ELEVATION NO GREATER THAN 6" BELOW BACK OF SIDEWALK.
9. PRIOR TO COMPLETING WORK REMOVE ALL DEBRIS AND DELETERIOUS MATERIALS FROM SITE AND COORDINATE POST-DEMOLITION SITE SECURITY WITH PROPERTY OWNER.
10. ENSURE ADEQUATE SHORING OF SIDEWALK VAULTS BEFORE PLACEMENT OF HEAVY EQUIPMENT.



1 VICINITY MAP
SCALE: NA



City and County of San Francisco
Department of Building Inspection

London N. Breed, Mayor
Patrick O'Riordan, Interim Director

NOTICE

SPECIAL INSPECTION REQUIREMENTS

PLEASE NOTE THAT THE SPECIAL INSPECTIONS SHOWN ON THE APPROVED PLANS AND CHECKED ON THE SPECIAL INSPECTIONS FORM ISSUED WITH THE PERMIT ARE REQUIRED FOR THIS PROJECT. THE EMPLOYMENT OF SPECIAL INSPECTORS IS THE DIRECT RESPONSIBILITY OF THE OWNER OR THE ENGINEER/ARCHITECT OF RECORD ACTING AS THE OWNER'S REPRESENTATIVE.

THESE SPECIAL INSPECTIONS ARE REQUIRED IN ADDITION TO THE CALLED INSPECTIONS PERFORMED BY THE DEPARTMENT OF BUILDING INSPECTION. THE NAME OF THE SPECIAL INSPECTOR SHALL BE FURNISHED TO THE DISTRICT PRIOR TO START OF WORK FOR WHICH SPECIAL INSPECTION IS REQUIRED.

FOR QUESTIONS REGARDING THE DETAILS OF EXTENT OF REQUIRED INSPECTIONS OR TESTS, PLEASE CALL THE PLAN CHECKER ASSIGNED TO THIS PROJECT OR 628-652-3407. IF THERE ARE ANY FIELD PROBLEMS REGARDING SPECIAL INSPECTION, PLEASE CALL YOUR DISTRICT BUILDING INSPECTOR OR 628-652-3400.

BEFORE FINAL BUILDING INSPECTION IS SCHEDULED, DOCUMENTATION OF SPECIAL INSPECTION COMPLIANCE MUST BE SUBMITTED TO AND APPROVED BY THE SPECIAL INSPECTION SERVICES STAFF. TO AVOID DELAYS IN THE PROCESS, THE PROJECT OWNER SHOULD REQUEST FINAL COMPLIANCE REPORTS FROM THE ARCHITECT OR ENGINEER OR RECORD AND/OR SPECIAL INSPECTION AGENCY SOON AFTER THE CONCLUSION OF WORK REQUIRING SPECIAL INSPECTION. THE PERMIT WILL NOT BE FINALIZED WITHOUT COMPLIANCE WITH THE SPECIAL INSPECTION REQUIREMENTS.

STRUCTURAL OBSERVATIONS REQUIREMENTS

STRUCTURAL OBSERVATION SHALL BE PROVIDED AS REQUIRED PER SECTION 1704.6. THE BUILDING PERMIT WILL NOT BE FINALIZED WITHOUT COMPLIANCE WITH THE STRUCTURAL OBSERVATION REQUIREMENTS.

SPECIAL INSPECTION SERVICES CONTACT INFORMATION

1. TELEPHONE: (628) 652-3407
2. EMAIL: dbs.specialinspections@sfgov.org
3. IN PERSON: 49 SOUTH VAN NESS AVE. SUITE 400

NOTE: WE ARE MOVING TOWARDS A PAPERLESS MODE OF OPERATION. ALL SPECIAL INSPECTION SUBMITTALS, INCLUDING FINAL LETTERS, MAY BE EMAILED (PREFERRED) OR FAXED. WE WILL ALSO BE SHIFTING TO A PAPERLESS FAX RECEIPT MODE.

SPECIAL INSPECTION SERVICES
49 SOUTH VAN NESS AVE. SUITE 400 - SAN FRANCISCO CA 94103
OFFICE (628) 652-3407 - www.sdbi.org

UPDATED 10/05/2020

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS: 1638 POWELL STREET APPLICATION NO. _____ ADDENDUM NO. _____
OWNER NAME: POWELL PARTNERS, LLC OWNER PHONE NO. _____

EMPLOYMENT OF SPECIAL INSPECTION IS THE DIRECT RESPONSIBILITY OF THE OWNER, OR THE ENGINEER/ARCHITECT OF RECORD ACTING AS THE OWNER'S REPRESENTATIVE. SPECIAL INSPECTOR SHALL BE ONE OF THOSE AS PRESCRIBED IN SECTION 1704. NAME OF SPECIAL INSPECTOR SHALL BE FURNISHED TO DISTRICT INSPECTOR PRIOR TO START OF THE WORK FOR WHICH THE SPECIAL INSPECTION IS REQUIRED. STRUCTURAL OBSERVATION SHALL BE PERFORMED AS PROVIDED BY SECTION 1704.6. A PRE-CONSTRUCTION CONFERENCE IS RECOMMENDED FOR OWNER/BUILDER OR DESIGNER/BUILDER PROJECTS, COMPLEX AND HIGHRISE PROJECTS, AND FOR PROJECTS UTILIZING NEW PROCESSES OR MATERIALS.

IN ACCORDANCE WITH SEC. 1701, 1703, 1704, 1705, SPECIAL INSPECTION AND/OR TESTING IS REQUIRED FOR THE FOLLOWING WORK:

- | | | |
|---|---|---|
| 1. <input type="checkbox"/> Concrete (placement & sampling) | 6. <input type="checkbox"/> High-strength bolting | 18. Bolts installed in existing concrete masonry: |
| 2. <input type="checkbox"/> Bolts installed in concrete | 7. <input type="checkbox"/> Structural masonry | <input type="checkbox"/> Concrete |
| 3. <input type="checkbox"/> Special moment-resisting concrete frame | 8. <input type="checkbox"/> Reinforced gypsum concrete | <input type="checkbox"/> Masonry |
| 4. <input type="checkbox"/> Reinforcing steel and prestressing tendons | 9. <input type="checkbox"/> Insulating concrete fill | <input type="checkbox"/> Pullout tests per SFBEC Sec. 507C & 515C |
| 5. Structural welding: | 10. <input type="checkbox"/> Spray on fireproofing | 19. <input type="checkbox"/> Shear walls and floor systems used as shear diaphragms |
| A. Periodic visual inspection | 11. <input type="checkbox"/> Piling, drilled piers and caissons | 20. <input type="checkbox"/> Hollows |
| <input type="checkbox"/> Single pass inlet welds < 5/16" or smaller | 12. <input type="checkbox"/> Shotcrete | 21. Special cases: |
| <input type="checkbox"/> Steel deck | 13. <input type="checkbox"/> Special grading, excavation | <input type="checkbox"/> Shoring |
| <input type="checkbox"/> Welded studs | <input type="checkbox"/> And filing (Geo. Engineered) | <input type="checkbox"/> Underpinning |
| <input type="checkbox"/> Cold formed studs and joists | 14. <input type="checkbox"/> Smoke-control system | <input type="checkbox"/> Not affecting adjacent property |
| <input type="checkbox"/> Star and railing systems | 15. <input type="checkbox"/> Demolition | <input type="checkbox"/> Affecting adjacent property, PA |
| <input type="checkbox"/> Reinforcing steel | 16. <input type="checkbox"/> Exterior Facing | <input type="checkbox"/> Others |
| B. Continuous visual inspection and NDT (Section 1704) | 17. Retrofit of unreinforced masonry buildings: | 22. <input type="checkbox"/> Crane safety (Apply to the operation of tower cranes on highrise building) (Section 1705.22) |
| <input type="checkbox"/> All other welding (NDT exception: Fillet weld) | <input type="checkbox"/> Testing of mortar quality and shear tests | 23. <input type="checkbox"/> Others: *As recommended by professional of record* |
| <input type="checkbox"/> Reinforcing steel, and <input type="checkbox"/> NDT required | <input type="checkbox"/> Inspection of repointing operations | |
| <input type="checkbox"/> Moment-resisting frames | <input type="checkbox"/> Installation inspection of new shear bolts | |
| <input type="checkbox"/> Others | <input type="checkbox"/> Pre-installation inspection for embedded bolts | |
| | <input type="checkbox"/> Pullout test per SFBEC Sec. 1607C & 1615C | |

24. Structural observation per Sec. 1704.6 for the following: Foundations Steel framing Concrete construction Masonry construction Wood framing Other: _____

25. Certification is required for Glu-lam components

Prepared by: Erwin O'Toole PE Phone: (415) 531-1009
Engineer/Architect of Record

Required Information: _____
Fax: _____ Email: erwin.otoole@gmail.com

Review by: _____ Phone: (628) 652-_____
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

DATE _____ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO: Special Inspection Services (628) 652-3407, or, dbs.specialinspections@sfgov.org

UPDATED 10/05/2020

City and County of San Francisco
Department of Building Inspection

London N. Breed, Mayor
Patrick O'Riordan, Interim Director

Attachment A

SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST

A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

JOB ADDRESS: 1638 POWELL STREET APPLICATION NO. _____ ADDENDUM NO. _____
OWNER NAME: POWELL PARTNERS, LLC OWNER PHONE NO. () _____

1: PROPERTY LOCATION		3: PROPOSED CONSTRUCTION	
EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2000	YES	CONSTRUCTION OF NEW BUILDING OR STRUCTURE HAVING OVER 1000 SQFT OF NEW PROJECTED ROOF AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
	NO <input checked="" type="checkbox"/>	HORIZONTAL OR VERTICAL ADDITIONS HAVING OVER 500 SQFT OF NEW PROJECTED ROOF AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
2: AVERAGE SLOPE OF PROPERTY	PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE <i>(APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)</i>	SHORING	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
		UNDERPINNING	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	GRADING, INCLUDING EXCAVATION OR FILL OF OVER 50 CUBIC YARDS OF EARTH MATERIAL	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
		CONSTRUCTION ACTIVITY LISTED BELOW DETERMINED BY THE BUILDING OFFICIAL THAT MAY HAVE A SUBSTANTIAL IMPACT ON THE SLOPE STABILITY:	
		RETAINING WALL	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
		OTHERS: _____	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

SECTION 4: LICENSED DESIGN PROFESSIONAL VERIFICATION AND SIGNATURES

Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.

Prepared by: ERWIN O'TOOLE P.E.
Engineer/Architect of Record

(415) 531-1009 ERWIN.OTOOLE@GMAIL.COM

Telephone: _____ Email: _____
Signature: *Erwin O'Toole* Date: 02/15/2023



Technical Services Division
1600 Mission Street - San Francisco CA 94103
Office (415) 558-6205 - FAX (415) 558-6401 - www.sdbi.org

INFORMATION SHEET S-19 ATTACHMENT A

Slope Protection Checklist

FOR DBI USE ONLY

ASSIGNMENT OF REVIEW TIER

EXEMPTED: Reports per Section E and Third Party Peer Review Not Required

If the box in Section 1 "Property Location" AND the box in Section 2 "Average Slope of Property" are marked "No" OR if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.

TIER I: Reports per Section E Required but Third Party Peer Review Not Required

If the box in Section 2 "Average Slope of Property" AND any boxes in Section 3 "Proposed Construction" are marked "Yes" AND the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.

TIER II: Reports per Section E and Third Party Peer Review Required

If the box in Section 2 "Average Slope of Property" AND any boxes in Section 3 "Proposed Construction" are marked "Yes" AND the property lies in the vicinity of mapped landslides, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.

If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.

TIER III: Structural Advisory Committee (SAC) Review

If the box in Section 1 "Property Location" AND any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBEC Section 105A.6.

Tier assigned by: _____ Phone: (628) _____
DBI Plan Review Engineer

Comment: _____

Page | 2

REVISIONS
NO. DATE DESC.



1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94103
PHONE: 415-531-1009
EMAIL: erwin@shore-cal.com

SHORING ENGINEER:

ERWIN O'TOOLE, PE
1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94110
PHONE: 415-531-1009
EMAIL: info@shore-cal.com



Erwin O'Toole

DEMOLITION AT 1638 POWELL STREET

1638 POWELL STREET
SAN FRANCISCO
CALIFORNIA 94133
BLOCK: 0117
LOT: 016

PROJECT NUMBER SCALE

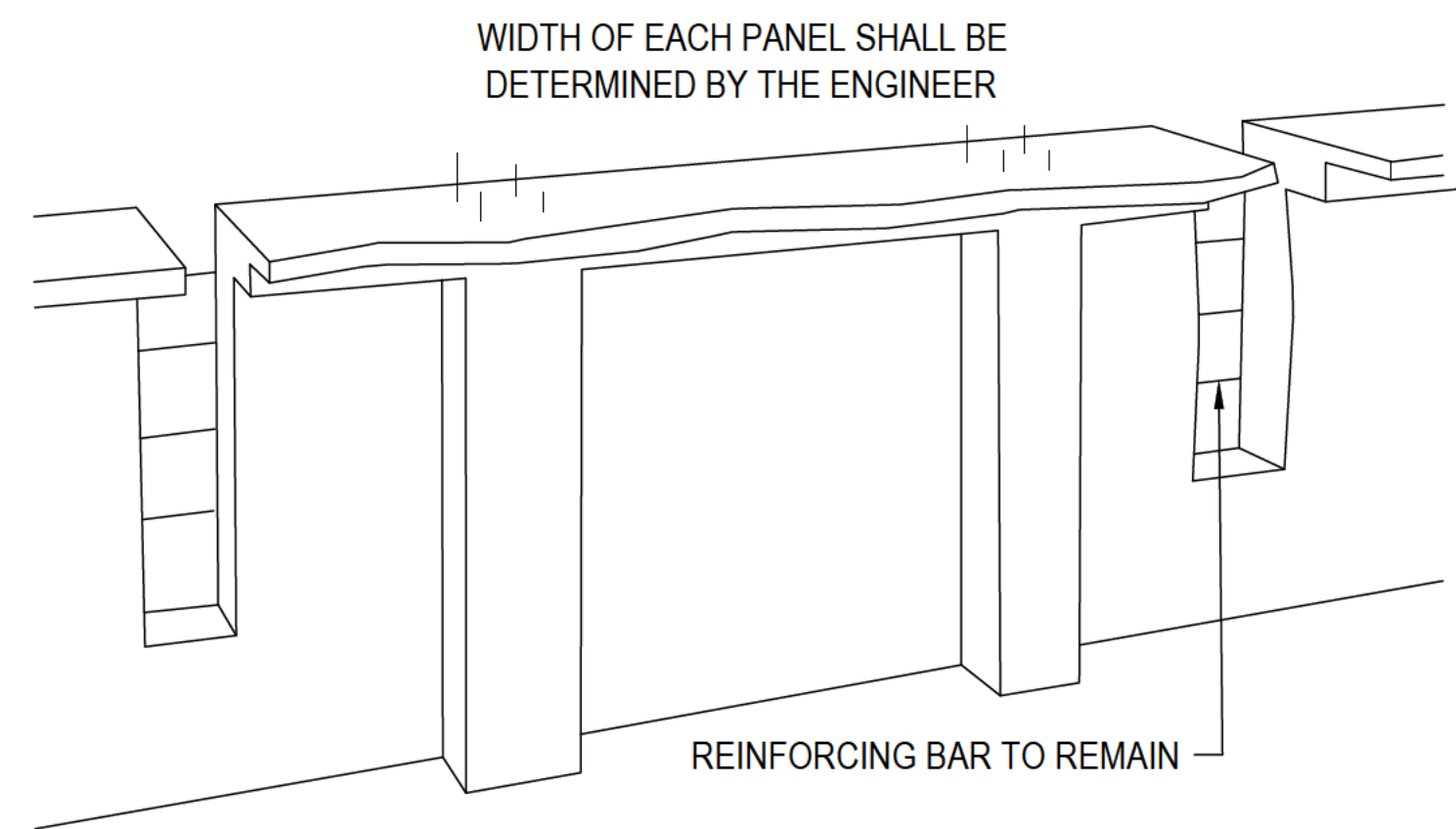
AS NOTED

DRAWN BY CHECKED BY

JD EOT

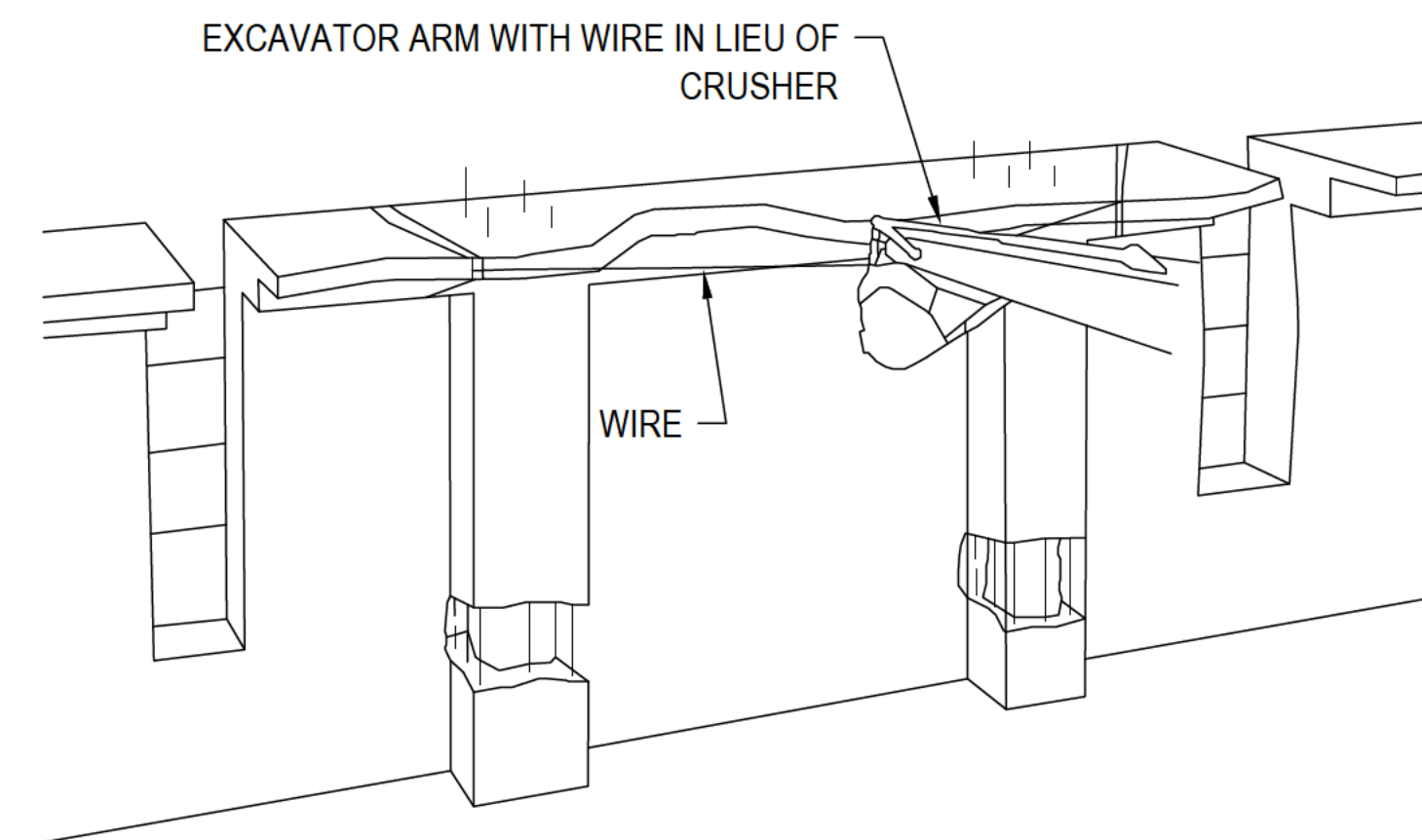
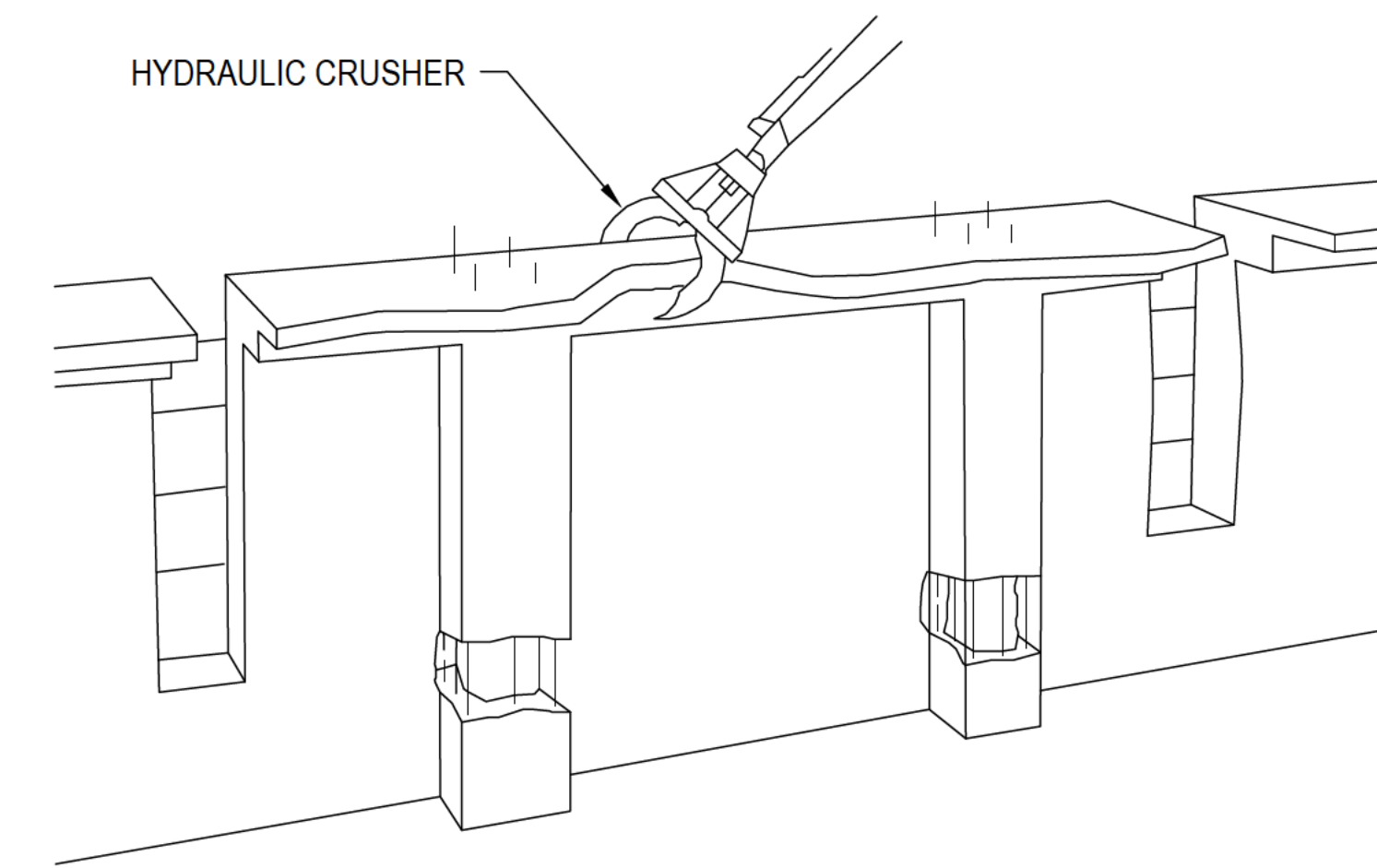
COVER SHEET

D 1.0



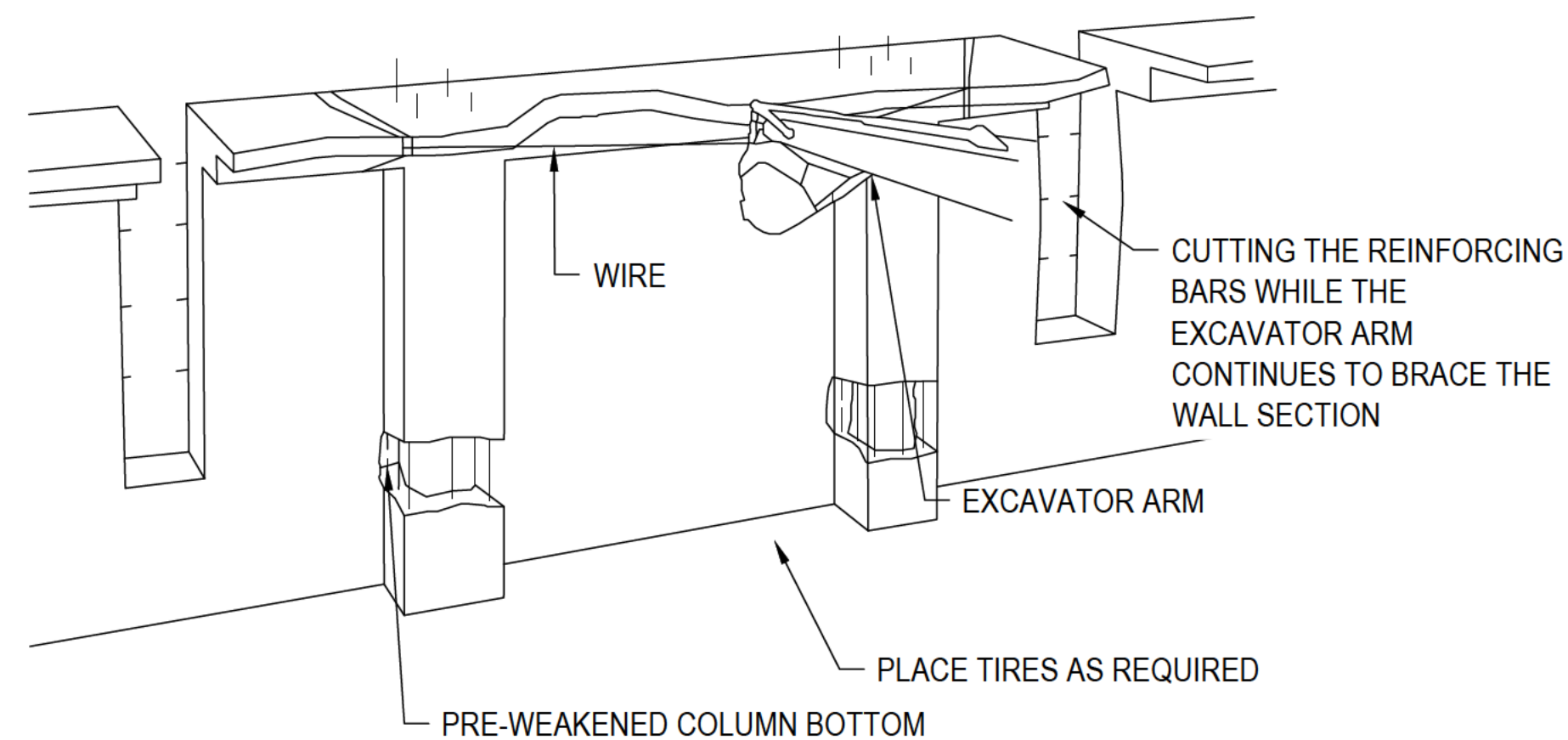
1. BREAKING AWAY THE CONCRETE ALONG VERTICAL SLOTS TO SEPARATE THE WALL SECTION. WIDTH OF WALL SECTION SHALL BE DETERMINED BY THE ENGINEER. REINFORCING BARS SHALL BE LEFT TO STABILIZE THE SECTION. BREAKING OF CONCRETE SHALL BE DONE CAUTIOUSLY TO MINIMIZE DEBRIS FALLING OUTSIDE THE BUILDING.

1 DEMOLITION OF CONCRETE WALLS STAGE 1
SCALE: NA



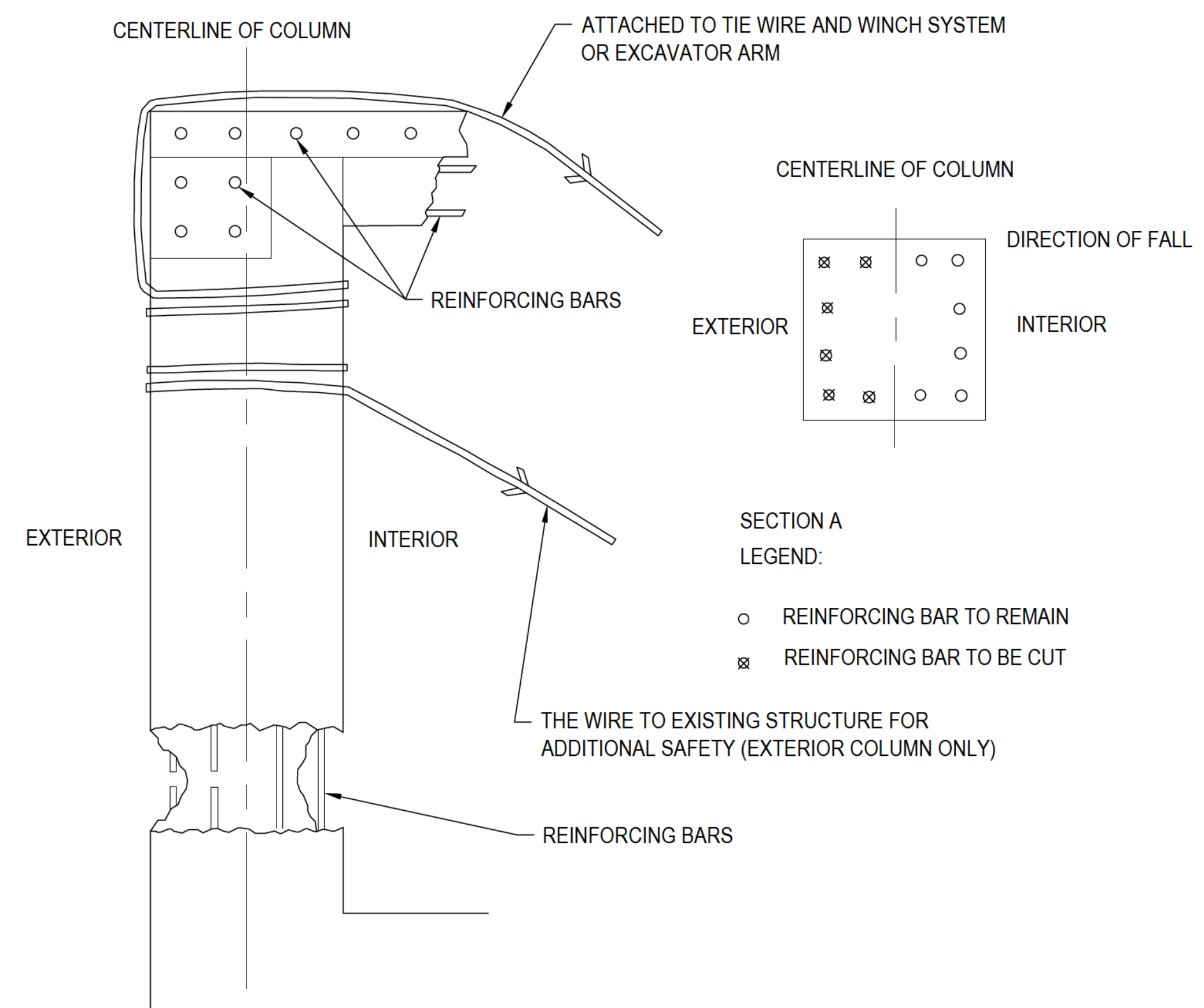
2. EXCAVATOR ARM WITH WIRE TO BRACE THE WALL SECTION WHILE PRE-WEAKENING AT THE BOTTOM OF COLUMNS. (SEE FIGURE 4 BELOW)

2 DEMOLITION OF CONCRETE WALLS STAGE 2
SCALE: NA



3. MACHINE CONTINUES TO BRACE THE WALL SECTION WHILE CUTTING THE REINFORCING BARS. REINFORCING BAR AT THE BOTTOM TO REMAIN. AFTER CUTTING OFF REINFORCEMENTS, EXCAVATOR ARM PULLS THE WALL DOWN IN A CONTROLLED MOTION.

3 DEMOLITION OF CONCRETE WALLS STAGE 3
SCALE: NA



4 DEMOLITION OF CONCRETE WALLS STAGE 4
SCALE: NA

REVISIONS NO.	DATE	DESC.

SHORECAL
Engineering Inc.

1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94103
PHONE: 415-531-1009
EMAIL: erwin@shore-cal.com

SHORING ENGINEER:
ERWIN O'TOOLE, PE
1663 MISSION STREET, SUITE 501
SAN FRANCISCO, CA 94110
PHONE: 415-531-1009
EMAIL: info@shore-cal.com



Erwin O'Toole

DEMOLITION AT 1638 POWELL STREET

1638 POWELL STREET
SAN FRANCISCO
CALIFORNIA 94133
BLOCK: 0117
LOT: 016

PROJECT NUMBER	SCALE AS NOTED
DRAWN BY JD	CHECKED BY EOT

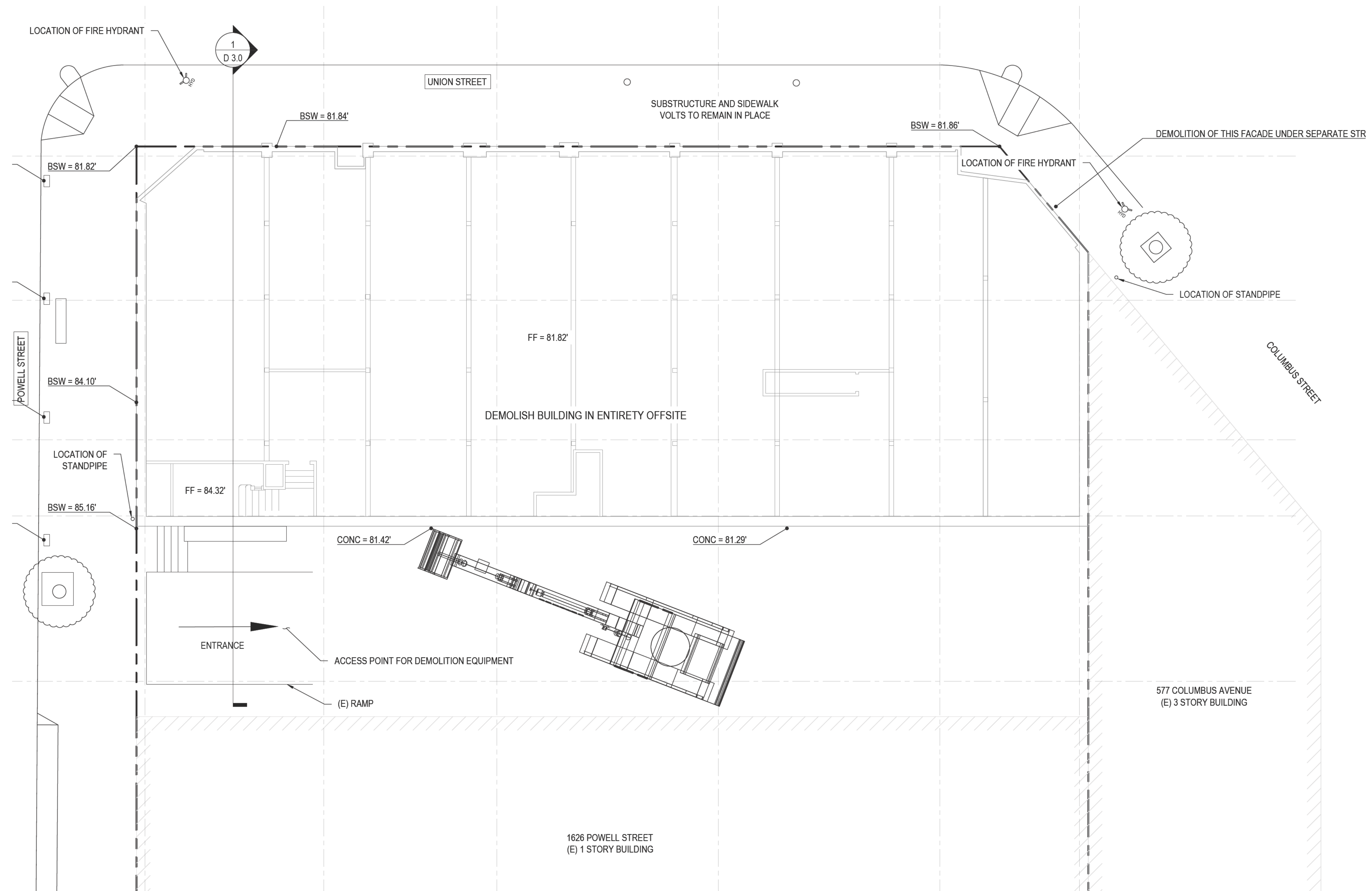
DEMOLITION DETAILS

D 1.1

REVISIONS NO.	DATE	DESC.

DEMOLITION SEQUENCE:

1. ABATEMENT
2. SOFT DEMOLITION OF BUILDING INTERIOR
3. BEGIN DEMOLITION FROM REAR CONCRETE YARD LOCATED AT THE SOUTH OF THE BUILDING. MOVE DEMOLITION EQUIPMENT INTO CONCRETE YARD USING THE EXISTING RAMP AS SHOWN ON THE PLAN.
4. USING TRACK MOUNTED EXCAVATOR WITH A HOE RAM AND / OR BUCKET & THUMB ATTACHMENT DEMOLISH THE SECTION OF BRICK WALL AS SHOWN ON THE PLAN.



SHORECAL
 Engineering Inc.
 1663 MISSION STREET, SUITE 501
 SAN FRANCISCO, CA 94103
 PHONE: 415-531-1009
 EMAIL: erwin@shore-cal.com

SHORING ENGINEER:
 ERWIN O'TOOLE, PE
 1663 MISSION STREET, SUITE 501
 SAN FRANCISCO, CA 94110
 PHONE: 415-531-1009
 EMAIL: info@shore-cal.com



Erwin O'Toole

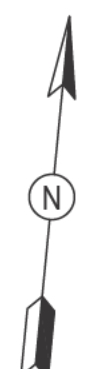
DEMOLITION AT 1638 POWELL STREET
 1638 POWELL STREET
 SAN FRANCISCO
 CALIFORNIA 94133
 BLOCK: 0117
 LOT: 016

PROJECT NUMBER: _____ SCALE: AS NOTED
 DRAWN BY: JD CHECKED BY: EOT

DEMOLITION PLAN

D 2.0

1 DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"



USA NORTH 811
 CALL BEFORE YOU DIG
 DIAL 811 48 Hrs PRIOR TO
 1. DRILLING SOLDIER BEAMS
 2. EXCAVATION

REVISIONS
 NO. DATE

DESC.



SHORECAL
 Engineering Inc.

1663 MISSION STREET, SUITE 501
 SAN FRANCISCO, CA 94103
 PHONE: 415-531-1009
 EMAIL: erwin@shore-cal.com

SHORING ENGINEER:

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 1663 MISSION STREET, SUITE 501
 SAN FRANCISCO, CA 94110
 PHONE: 415-531-1009
 EMAIL: info@shore-cal.com



Erwin O'Toole

DEMOLITION AT 1638 POWELL STREET

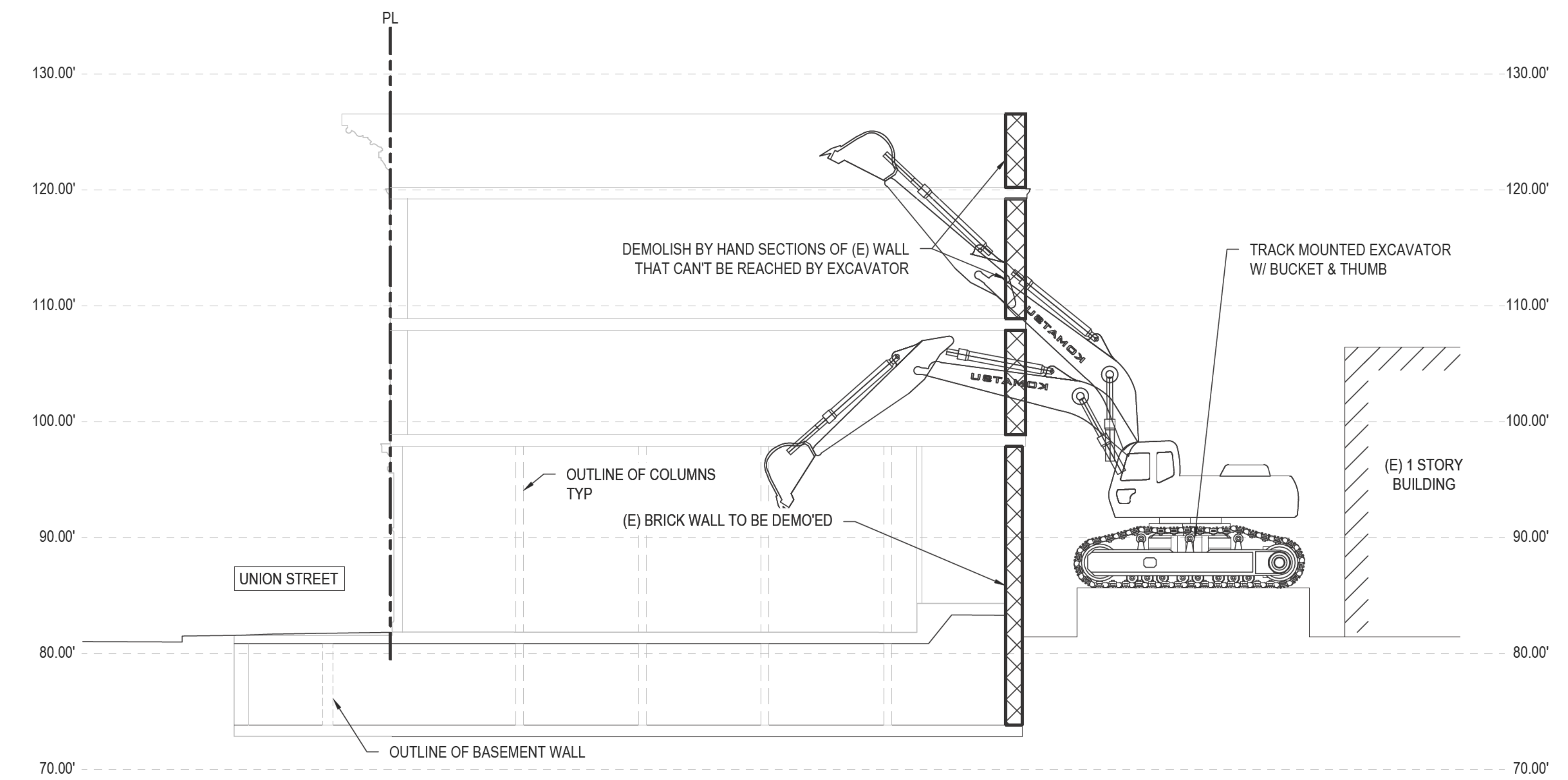
1638 POWELL STREET
 SAN FRANCISCO
 CALIFORNIA 94133
 BLOCK: 0117
 LOT: 016

PROJECT NUMBER SCALE
 AS NOTED

DRAWN BY CHECKED BY
 JD EOT

ELEVATIONS

D 3.0



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

MEMORANDUM

To: Matthew Greene, Deputy Director Inspection Services, Department of Building Inspection, 49 South Van Ness San Francisco, CA 94103

From: Erwin O'Toole, P.E. – Shoring and Civil Engineer C80734

Date: March 7th, 2025

Subject: Imminent Hazard at 1656 Powell St (Block 0117/ Lot 016) AKA The Verdi Building

I am writing to bring to your immediate attention a serious structural hazard present in the building located at the above address. Specifically, there are brick walls that are out of plane on Powell St and appears to be getting more out of plane since my last observation. The eyebrow canopy that remains unsupported at the and 3 stories of unreinforced brick walls as well as severe foundation cracks and compromised load-bearing walls. These issues indicate that the building is at risk of **COLLAPSE** particularly during a **MINOR SEISMIC EVENT**.

On March 17, 2018, a four-alarm fire erupted in San Francisco's North Beach neighborhood at 659 Union Street, between Powell and Columbus Streets

The fire required a substantial response from the fire department due to its severity and size, resulting in a four-alarm designation.

As a licensed civil engineer with 25 years of experience in structural engineering, I have conducted a comprehensive assessment of the building and have determined that it poses an imminent threat to the safety of its occupants and the public. Numerous permit applications have been filed and executed for the building shoring (See below) These are all now expired and do not serve to protect the public

201804126159 Emergency shoring to reinforce fire damaged mix use 3 story plus basement urm bld. Shoring to be both ext and interor.

201805048295 Revision to 201804126159 change in site conditions per site inspection; add more shoring to the interior from 3rd floor braced to 2nd flr

201805159126 Revision #2 to pa #201804126159. Additional shoring to the rear walls of the building throughout 2nd & 3rd levels

201807205052 Rev to pa# 201804126159 & 201805048295; change timeline of completion of phase 1&2 to october 15,2018. Maximum duration of phase i & ii temporary shoring until april 12, 2019. No construction under this permit. Maximum duration of shoring: phas i & phase ii until 4/12/2019 - temporaru [sic] shoring.

My findings are corroborated by an independent evaluation performed by KCE Matrix, a structural engineering firm based in Los Angeles, which specializes in assessing structural integrity and hazards. Both assessments have identified critical deficiencies that necessitate urgent intervention.

Enclosed with this letter are the detailed assessment reports from both my evaluation and that of KCE Matrix. These reports provide in-depth documentation of the demolition permit application and the risk abatement.

Given the gravity of these findings, I earnestly request that the Department of Building Inspection issue an emergency demolition permit in accordance with the code section **102A.16 Serious and Imminent Hazards – Emergency Orders.**

I am available to provide any additional information or assistance required to address this matter promptly. Please feel free to contact me at 415 531 1009 or via email at erwin@shore-cal.com

Thank you for your prompt attention to this critical issue.

Respectfully Submitted,



Erwin O'Toole, PE
ShoreCal Engineering Inc.



BRIEF SUBMITTED BY THE PLANNING DEPARTMENT



BOARD OF APPEALS BRIEF

HEARING DATE: April 22, 2026

April 16, 2026

Appeal No.: 26-019
Project Address: 659 Union Street
Block/Lot: 0117/016
Zoning District: NCD (North Beach Neighborhood Commercial)
Group Housing SUD
Priority Equity Geographies SUD
Height/Bulk: 40-X
Staff Contact: Corey Teague, Zoning Administrator – (628) 652-7328
corey.teague@sfgov.org

Background & Analysis

The appealed permit (No. 2026.03.27.8418) is an emergency demolition permit for the remains of the fire-damaged building at 659 Union Street. The associated emergency demolition order (111280-E) was issued by the Department of Building Inspection (DBI) on March 24, 2026. The order required the property owner to take specific actions within 72 hours, including obtaining a demolition permit. To be clear, the emergency order required the demolition of the entire building.

On Friday, March 27, the Permit Holder filed the demolition permit. The Planning Department correctly approved the demolition permit that day pursuant to the following:

1. California Code of Regulations, Title 14, Section 15269, which provides a statutory exemption from the California Environmental Quality Act (CEQA) for emergency demolitions to address an

imminent safety hazard.

2. The subject building contained 38 dwelling units. Planning Code Section 317 typically requires a Conditional Use Authorization from the Planning Commission to demolish a residential building. However, Section 317(i)(4) exempts such demolitions when they are deemed necessary to comply with a City order that directs the owner to demolish the building due to conditions that present an imminent safety threat.
3. Planning Code Section 311 requires neighborhood notice for an application to demolish a residential building within certain zoning districts, including the North Beach Neighborhood Commercial District. However, Section 311(c)(4) states that the “demolition of any building, including but not limited to historically and architecturally important buildings, **may be approved administratively** when the Director of the Department of Building Inspection, the Chief of the Bureau of Fire Prevention and Investigation, or the Director of Public Works determines, after consultation with the Zoning Administrator, that an imminent safety hazard exists, and the Director of the Department of Building Inspection determines that demolition or extensive alteration of the structure is the only feasible means to secure the public safety

The Appellant raises the issue that the scope of work described for the demolition permit on the Planning Department’s Property Information Map (PIM) under Project No. 2026-002687PRL states that the permit authorizes the demolition of an approximately 50-foot section of brick wall at the rear (south) of the building. This description is an unfortunate quirk that resulted from an errant note on the cover sheet

of the plans provided by the Permit Holder. However, it is clear the scope of work proposed by the demolition permit was for the entire building, based on the following:

1. The emergency demolition order predicated the demolition permit required that the entire building be demolished.
2. The Building Code defines and requires different types of permits, such as alteration permits, new construction permits, and demolition permits. The subject permit was a demolition permit (Form 6), which is only required if the scope of work is a full demolition. If the scope of work was instead to only remove a portion of a wall, that would require an alteration permit with plans (Form 8).
3. The Planning Department's written approval on the back of the paper permit does not include any language limiting the scope to only a 50-foot section of the rear wall. Instead, it references the Planning Code sections listed above and consultation with the Deputy Director of Current Planning and the Zoning Administrator. When consulted, both of those staff members understood the proposal to be a full demolition of the building, consistent with the emergency demolition order.
4. Notwithstanding the errant note on the cover sheet, the actual plans clearly propose to demolish the entire building.
5. DBI caught the errant note on the cover sheet referencing the 50-foot section of the rear wall after Planning approved the permit. Prior to permit issuance, that note was crossed out, initialed, and dated by the Permit Holder. The fact that the Planning Department language on PIM was not also

updated prior to the permit issuance was an unfortunate oversight.

Conclusion

The subject permit under appeal is a Form 6 demolition permit for the full demolition of the existing building. The permit was filed, approved, and issued pursuant to the emergency demolition order that determined the demolition was necessary to address an imminent safety hazard. While the Planning Department language describing the project on PIM was unfortunate, it does not negate the fact that the demolition permit and associated plans clearly proposed the full demolition of the building, nor the fact that the demolition permit was issued in full compliance with the Planning Code. Therefore, the Planning Department respectfully requests that the Board deny the appeal and uphold the demolition permit to address the imminent safety hazard.

cc: John Kevlin (Attorney for Permit Holder)
Theresa Flandrich (Agent for Appellant)
Carey McElroy (Department of Building Inspection)

BRIEF SUBMITTED BY DBI



Board of Appeals Brief

Hearing Date: April 22, 2026

April 16, 2026

Appeal No.: 26-019
Permit: Demolition Permit # 2026-0327-8418
Project Address: 659 Union Street
Block/Lot: 0117 / 016
DBI Contact: Carey McElroy, Senior Building Inspector
Phone: 628-652-3779; Email: Carey.McElroy@sfgov.org

Permit Description

DBI issued Permit Number #2026-0327-8418 on March 27, 2026 to allow the demolition of a three-story unreinforced masonry building.

Background

The structure at Assessor Parcel 0117/016 (659 Union Street / 1656 Powell Street) is a three-story, unreinforced masonry building that caught fire on December 15, 2013. The fire resulted in structural damage affecting the second level residential units and the roof structure, including roof and ceiling joists. The ground floor had additional water damage and the fire department removed ceilings from three residential units on the third level during their efforts to contain the conflagration.

That same day, DBI issued a notice of violation directing the property owner to file for a building permit to start demolition to expose the structure for additional engineering analysis.

On March 17, 2018, a second fire broke out in the building causing additional structural damage and rendering it unsafe and uninhabitable. The roof had collapsed and the wood framing on the second and third floors was severely damaged.

The next day, DBI issued a notice of violation directing the property owner to provide an engineering report and engage an engineer to oversee the bracing of the exterior walls to prevent a potential collapse.

Due to changing site conditions, multiple permits for temporary shoring were applied for and issued, and on October 10, 2018, DBI conducted a site verification confirming that the required temporary shoring had been installed.



On January 24, 2020, DBI produced a report documenting significant structural damage and recommending that the project consulting team “re-evaluate the temporary shoring system and to provide temporary bracing to correct the existing open front condition.” DBI also recommended that the property owner hire an additional structural engineer to provide further evaluation.

On February 18, 2020, KCE Matrix Consulting Engineers produced a letter raising concerns about designing permanent shoring for a building with “perilous weak conditions” and stating that installing permanent shoring “will delay rectifying unsafe conditions of current structure, another year.”

On March 7, 2025, ShoreCal Engineering, Inc sent DBI a memo outlining their engineering evaluation that determined the building was a “serious structural hazard” and describing the building’s deterioration by stating “there are brick walls that are out of plane on Powell St and appears to be getting more out of plane since my last observation. The eyebrow canopy that remains unsupported... and 3 stories of unreinforced brick walls as well as severe foundation cracks and compromised load-bearing walls. These issues indicate that the building is at risk of COLLAPSE particularly during a MINOR SEISMIC EVENT.” (*emphasis by ShoreCal*)

In the memo, ShoreCal stated that the building “poses an imminent threat to the safety of its occupants and the public” that requires “urgent intervention”.

On March 2, 2026, Dolmen Consulting Engineers, Inc submitted a letter to DBI articulating the numerous shoring permits that had been issued to “stabilize the perimeter walls, which was all that remained after the fire was extinguished.” The letter articulated that the temporary shoring was not designed as a permanent solution and that there was no performance standard to measure its efficacy.

Dolmen further stated that “the most obvious hazard is the cantilevered brick wall above these braces extending around the entire 420’ building perimeter” and highlighted that the decorative cornice above the entire length of the sidewalk could cause the wall to fail and fall onto the bus stop and sidewalk in even a minor earthquake.

The report vividly illustrated this concern when describing a site visit to the property, “...it is obvious to me, as a practicing engineer, that it is only a matter of time before these walls fail under lateral loading. While I visited the site, I noticed many people waiting at the bus stop on Union Street, walking along the sidewalk, parking at the curb, and driving along Union Street. All these people were directly in the fall zone.”



After a field visit on March 18, 2026, Raymond Lui, S.E., Section Manager of the San Francisco Department of Public Works Structural Engineering Section, concluded that, "this building, in its current condition, is a collapse hazard and presents significant safety hazards to pedestrians, bicyclists, and motorists."

Mr. Lui further noted that San Francisco Public Works is planning a pavement replacement and sewer replacement project on Union Street from Lyon Street to Columbus Avenue, but has "abandoned the block between Powell Avenue and Columbus Avenue that fronts the building" because of the "safety concerns presented by the building."

On March 18, 2026, two of DBI's licensed engineers and DBI's Deputy Director for Inspection Services made a site visit to observe the building condition and issued a report that found "what remained of the structural framing lacked weather protection...and the shoring system lacked protection from weather corrosion and decay."

The engineers and building inspector observed signs of mold, dry rot, vermin and rodents, as well as standing water, trash and debris. They determined that the building is substandard and unsafe and that "the risk of collapse of URM (unreinforced masonry) walls is an imminent and substantial hazard...and the existing conditions endanger the...safety and welfare of neighbors and the public."

Emergency Order

On March 24, 2026, DBI issued Emergency Order 111280-E (Exhibit A) deeming the building an imminent and substantial hazard to the life, health and/or safety of the public due to substantial structural damage as a result of a structure fire. The Emergency Order required the property owner to abate the hazard within 72 hours. A copy of the Emergency Order was posted at the property.

Permit Application and Issuance Process

Emergency Orders are issued to mitigate an imminent safety hazard and are processed on an expedited timeline so the safety intervention is not delayed. As such, an Emergency Order does not trigger the same notification requirements as a regular permit. Nonetheless, DBI mailed the notice to property owners within a 300-foot radius on the next business day after the order was issued.

The department also requested review by the Department of Public Health (DPH) of the environmental concerns raised by the appellant, and DPH determined that Health Code 22A does not apply in this case because the scope of work does not include soil disturbance.



Conclusion

DBI issued the Emergency Order based on substantial evidence and the professional determination of more than six civil and structural engineers. The demolition permit was properly issued based on the requirements of the Emergency Order. DBI requests the Board deny the appeal and uphold the permit.

Thank you,

Carey McElroy, Senior Building Inspector of Plan Review Services

Enc: Exhibit A – Emergency Demolition Order 111280-E



DEPARTMENT OF BUILDING INSPECTION

City & County of San Francisco
1660 Mission Street, 2nd Floor, San Francisco, California 94103-2414
(415) 558-6001/558-6133 Fax (415) 558-6041

FIELD REPORT

January 24, 2020

Street Address: 1656 Powell Street / 659 Union Street
Report No.: 20200124

Block / Lot: 0117 / 016

Date/Time of Visit: January 15, 2020 / 11:00 am

Site Visit: Gary Ho, Plan Review Services Manager
Richard Tam, DBI Engineer
Cyril Yu, DBI Engineer
Bernie Curran, DBI Building Inspector

Type of Construction: 3B
Occupancy Classification: R-2,B,M
No. of Stories: 3-Story over Basement

Background

DBI Building Inspector Bernie Curran, DBI Plan Review Services Manager Gary Ho, DBI engineers Richard Tam and Cyril Yu responded to a request from KCE Matrix Consulting Engineers on January 15, 2020 at 11:00 am to evaluate whether the building at its existing condition will be considered as an IMMEDIATE HAZARD OF COLLAPSE and shall be GRANTED with an emergency demolition permit.

Structural Observations

The building at the above referenced site is a rectangular 3-story wood framed timber floor with exterior brick masonry walls over 1-story of basement. This building is classified as an Unreinforced Masonry Load Bearing Wall Building (UMB) as per our San Francisco Existing Building Code. The building is located at corner of Powell Street and Columbus Street. This building has been seismic strengthened in 2004 under the San Francisco UMB Retrofit Program.

Significant fire damage was observed in elements of the floor gravity support system and the interior cross walls inside the building. The entire roof and third floor diaphragm framing has been removed, half of the diaphragm framing is remained at second floor and approximately three-quarter of diaphragm is remain at first floor. Temporary shoring supporting the existing masonry walls was observed, and no failure or fallen masonry was observed at the time of our site visit. There is no obvious indication that this building structure is an IMMEDIATE HAZARD OF COLLAPSE and be GRANTED an emergency demolition permit at the present time, provide that the shoring system was properly designed for the duration of period prior to retrofit.

Follow up Meeting with the Project Consulting Team

A follow up meeting with the project consulting team was took place on January 23, 2020 at DBI office. Attendees are as follow:

- Daniel Lowrey, DBI Deputy Director
- Gary Ho, DBI Plan Review Services manager
- Richard Tam, DBI Engineer
- Patrick O’Riordan, DBI Chief Building Inspector
- Jeff Jurow, Property Owner
- Vahe Kardjian, KCE Matrix Consulting Engineer
- Ahmad Larizadeh, Owner’s Permit Consultant

The owner’s consulting engineer, Vahe Kardjian, has most concern in regarding the existing masonry wall facing Union Street where very limited structural integrity, very limited shear capacity and is considered as a soft story condition under the seismic circumstance. DBI recommend the project consulting team to re-evaluate the existing temporary shoring system and to provide temporary bracing to correct the existing open front condition.

Recommended Actions

DBI agreed with the project owner for him to get another structural engineer on board to provide an additional evaluation report for the existing building condition, the selection of the new structural engineer will be upon approval by DBI. DBI has expressed our concern in regarding the temporary shoring system which was already expired for the one year period, and DBI has not received any retrofit plan from the Project Consulting Team. DBI will require the Project Consulting Team to submit permit for the re-evaluation of the existing shoring system for a longer duration of time base on the estimated date of the retrofit and bring the building up to the building code requirement.

Report prepared by:

 Richard Tam, S.E., Building Plans Engineer, PRS Division

Report reviewed & approved by:

 Daniel Lowrey, Deputy Director, DBI Permit Services

February 18, 2020

Alexis Pelosi
Pelosi Law Group
12 Geary Street, Suite 802
San Francisco, CA 94108

Subject: 1656 Powell Street: Unreinforced Masonry Walls

Dear Ms. Pelosi,

At your request, I have reviewed the Letter of Denial from San Francisco DBI for demolition of URM walls, in peril. The basis of demolition request denial is a decision by DBI to remedy the perilous and unsafe condition be engineered for permanent shoring (bracing) in lieu of currently temporary bracing.

You also raised the alternate solution for permanent shoring (bracing) by designing floor and roof diaphragms of the charred structure to permanently restore the floor and roof structure to act as permanent shoring mechanisms, coupled with additional necessary structural lateral load resisting elements/mechanisms to restore the front façade along Union Street to be permanently braced. This alternative is more desirable in the hopes that permanent shoring can be integral to future building design within these walls.

At this juncture, almost 2 years after the temporary shoring being in place, KCE Matrix is being asked to consider permanent bracing design integral to building floors and roof restoration and remedying the front façade elevation for perilous weak conditions.

To engineer a permanent bracing system integrating new floors, roof and front façade frames, with piles and shotcrete would require a finalized architectural design of the building interiors with unit configurations design and common area amenities design.

A licensed architect has to be engaged by owners to plan, design, and implement and process approvals of these plans and amenities. This process of design development and construction documents preparation and city approvals will undoubtedly take 12 months, if not more. So, this concept of integrating final design as permanent shoring will delay rectifying unsafe conditions of current structure, another year. If KCE remedies the current soft story façade for temporary shoring, the repairs will waste over \$200,000 because this repair will be discarded for permanent shoring.

Alternatively, if KCE Matrix can provide structural design of permanent shoring for the walls, the design will incorporate piles, some shotcrete, and moment frames, explained in previous communication, which will cost approximately 3 million dollars, excluding the floors and roofs.

If San Francisco DBI would consider extending the period of temporary shoring by perhaps another 18 months, it would be technically feasible to implement the idea of permanent shoring with the redesign of the overall structure; however, this would result in economic infeasibility as the retrofit of the front facade will easily exhaust productive project funds of over 3 million dollars or more, and produce a design of shoring that will encroach on the already restricted interior spaces of the normal development.

Not forgetting an additional interior bracing system of lateral load resisting mechanism with piled foundation would be required for transverse direction stability, which would further intrude into interior space plans of the normal development and cost another several hundred thousand dollars, I doubt the architect can make good use of available space in this building with such an intricate plan.

No matter what the intent of the community and city is, it will cost several million dollars to just stabilize this structure for seismic safety.

Let me know how you wish to proceed so I could be discussing such plans with your architectural consultants.

Sincerely,

Vahe Kardjian, P.E.
KCE Matrix Inc.



MEMORANDUM

To: Matthew Greene, Deputy Director Inspection Services, Department of Building Inspection, 49 South Van Ness San Francisco, CA 94103

From: Erwin O'Toole, P.E. – Shoring and Civil Engineer C80734

Date: March 7th, 2025

Subject: Imminent Hazard at 1656 Powell St (Block 0117/ Lot 016) AKA The Verdi Building

I am writing to bring to your immediate attention a serious structural hazard present in the building located at the above address. Specifically, there are brick walls that are out of plane on Powell St and appears to be getting more out of plane since my last observation. The eyebrow canopy that remains unsupported at the and 3 stories of unreinforced brick walls as well as severe foundation cracks and compromised load-bearing walls. These issues indicate that the building is at risk of COLLAPSE particularly during a MINOR SEISMIC EVENT.

On March 17, 2018, a four-alarm fire erupted in San Francisco's North Beach neighborhood at 659 Union Street, between Powell and Columbus Streets

The fire required a substantial response from the fire department due to its severity and size, resulting in a four-alarm designation.

As a licensed civil engineer with 25 years of experience in structural engineering, I have conducted a comprehensive assessment of the building and have determined that it poses an imminent threat to the safety of its occupants and the public. Numerous permit applications have been filed and executed for the building shoring (See below) These are all now expired and do not serve to protect the public

201804126159 Emergency shoring to reinforce fire damaged mix use 3 story plus basement urm bld. Shoring to be both ext and interor.

201805048295 Revision to 201804126159 change in site conditions per site inspection; add more shoring to the interior from 3rd floor braced to 2nd flr

201805159126 Revision #2 to pa #201804126159. Additional shoring to the rear walls of the building throughout 2nd & 3rd levels

201807205052 Rev to pa# 201804126159 & 201805048295; change timeline of completion of phase 1&2 to october 15,2018. Maximum duration of phase i & ii temporary shoring until april 12, 2019. No construction under this permit. Maximum duration of shoring: phas i & phase ii until 4/12/2019 - temporaru [sic] shoring.

My findings are corroborated by an independent evaluation performed by KCE Matrix, a structural engineering firm based in Los Angeles, which specializes in assessing structural integrity and hazards. Both assessments have identified critical deficiencies that necessitate urgent intervention.

SHORECAL ENGINEERING INC.

CONSTRUCTION ENGINEERING SHORING DESIGN DEMOLITION CONSULTATION

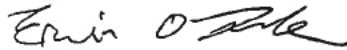
Enclosed with this letter are the detailed assessment reports from both my evaluation and that of KCE Matrix. These reports provide in-depth documentation of the demolition permit application and the risk abatement.

Given the gravity of these findings, I earnestly request that the Department of Building Inspection issue an emergency demolition permit in accordance with the code section **102A.16 Serious and Imminent Hazards – Emergency Orders.**

I am available to provide any additional information or assistance required to address this matter promptly. Please feel free to contact me at 415 531 1009 or via email at erwin@shore-cal.com

Thank you for your prompt attention to this critical issue.

Respectfully Submitted,



Erwin O'Toole, PE
ShoreCal Engineering Inc.



D O L M E N
CONSULTING ENGINEERS INC.

March 2, 2026

Attention: Patrick O’Riordan
Director, San Francisco Department of Building Inspection
San Francisco Department of Building Inspection
49 South Van Ness
San Francisco CA 94103

Re: 659 Union Street/1656 Powell Street
Condition Report – Imminent Seismic Hazard

Director O’Riordan,

I am writing to draw your attention to an imminent seismic hazard at 659 Union Street/1656 Powell Street. I visited the site on February 4th, 2026 and again on February 24th, 2026. The purpose of my visits was to review the existing condition of the fire damaged building. I also reviewed the recent permit history and previous engineering reports for the building. Copies of memorandums and reports by ShoreCal Engineering Inc (February 3, 2025 and March 7, 2025) and KCE Matrix (February 18, 2020) are appended to this report.

HISTORY

The building was damaged in a single alarm fire on Sunday, December 15, 2013. As Erwin O’Toole outlined in his memorandum dated March 7th, 2025, the building was severely damaged in a subsequent four-alarm fire on March 17th, 2018. The building was a three-story unreinforced masonry structure with a single basement, likely dating from the early 1900’s. The structure was comprised of heavy perimeter brick walls and weak wood diaphragms, which is typical for this building type.



Images of the subject building ablaze, March 2018

D O L M E N

CONSULTING ENGINEERS INC.

STABILIZATION

Immediately after the fire our client filed a series of permits and went to great lengths to stabilize the perimeter walls, which was all that remained after the fire was extinguished. The permit application details follow -

Application Number: 201804126159
Form Number: 8
Address(es): 0117/016/0 659 UNION ST
0117/016/1 1656 POWELL ST
Description: EMERGENCY SHORING TO REINFORCE FIRE DAMAGED MIX US STORY PLUS BASEMENT URM BLD. SHORING TO BE BOTH EXT A INTEROR. MAHER NA

Application Number: 201805048295
Form Number: 8
Address(es): 0117/016/1 1656 POWELL ST
Description: REVISION TO 201804126159 CHANGE IN SITE CONDITIONS PER SITE INSPECTION; ADD MORE SHORING TO THE INTERIOR FROM 3RD FLOOR BRACED TO 2ND FLR

Application Number: 201805159126
Form Number: 8
Address(es): 0117/016/1 1656 POWELL ST
Description: REVISION #2 TO PA #201804126159. ADDITIONAL SHORING TO THE REAR WALLS OF THE BUILDING THROUGHOUT 2ND & 3RD LEVELS. MAHER NA

Application Number: 201807205052
Form Number: 8
Address(es): 0117/016/1 1656 POWELL ST
0117/016/0 659 UNION ST
Description: REV TO PA# 201804126159 & 201805048295; CHANGE TIMELINE OF COMPLETION OF PHASE 1&2 TO OCTOBER 15,2018. MAXIMUM DURATION OF PHASE I & II TEMPORARY SHORING UNTIL APRIL 12, 2019. NO CONSTRUCTION UNDER THIS PERMIT. MAXIMUM DURATION OF SHORING: PHAS I & PHASE II UNTIL 4/12/2019 - TEMPORARU SHORING.

D O L M E N

CONSULTING ENGINEERS INC.

Application Number: 202112134321

Form Number: 3

Address(es): 0117/016/0 659 UNION ST
0117/016/1 1656 POWELL ST

Description: Facade retention on Columbus St, Union St, & Powell St, and for removal of any remaining building debris. New construction under separate permit which will incorporate (E) facade retained under this permit. Emergency shoring to reinforce fire-damaged building issued under PA# 201804126159.

While the design was credible as a temporary solution, there is no design standard for a situation like this. No performance standard is implied by the addition of these braces. Perhaps the most obvious hazard is the cantilevered brick wall above these braces extending around the entire 420' building perimeter. This wall has a decorative cornice above the sidewalk along the entire length of its' street facade, increasing the likelihood that the wall will fall onto the bus stop and sidewalk below in a minor seismic event. The wall's out-of-plane "flexural" capacity is also weakened by the presence of fourteen windows along its' Union Street façade.



Rear Yard Out-of-Plane Wall Bracing System

D O L M E N

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Likely location of flexural failure



Existing Interior Out-of-Plane Wall Bracing System

RELEVANT CODE SECTIONS

As you know, this building type was subject to a pair of statewide retrofit ordinances. The first ordinance, dating from the 1970's, addressed parapet bracing, a widely understood failure. Historical Google Earth photos show small braces at the roof level along the North, South, and West elevations, but none on the East elevation since the adjacent building would have mitigated that hazard. These braces appear to have been removed as part of the clean-up after the 2018 fire.

The second ordinance that applied to this building type was the Unreinforced Masonry Bearing Wall Building Retrofit Ordinance. This building type was identified as the most significant seismic hazard and the first to be subject to a mandatory statewide retrofit ordinance. The primary failure modes are global collapse and out-of-plane wall anchorage. Floor and roof diaphragms, and their connection to the perimeter walls, are critical to the prevention of both failures.

Many of these buildings provided housing for low-, and moderate-income individuals and families in dense urbanized parts of the State. The authors of the retrofit ordinance had to strike a balance between preservation of these buildings and reduction of the seismic hazard. It would not have been financially feasible to retrofit these buildings to meet the current building code since the walls are disproportionately heavy, and the diaphragms are very weak. The resulting "Seismic Strengthening Provisions for Unreinforced Masonry Bearing Wall Buildings" achieved a balance between feasibility and risk mitigation, but not without compromising the anticipated seismic performance. This ordinance has been adopted as Chapter A1 of the California Existing Building Code.

Looking at the damaged building under the provisions of Chapter A1 of the California Existing Building Code we find the following shortcomings -

A110.2 Seismic forces on elements of structures.

Parts and portions of a structure not covered in Section A110.3 shall be analyzed and designed per the current building code, using force levels defined in Section A110.1. –

Exceptions:

1. Unreinforced masonry walls for which height-to-thickness ratios do not exceed ratios set forth in Table A110.2 need not be analyzed for out-of-plane loading. Unreinforced masonry walls that exceed the allowable h/t ratios of Table A110.2 shall be braced according to Section A113.5.

– Existing walls exceed maximum h/t ratios listed.

2. Parapets complying with Section A113.6 need not be analyzed for out-of-plane loading.

– Existing "parapets" (ie. cantilevered walls above the top restraint) significantly exceed code limits.

3. Where walls are to be anchored to flexible floor and roof diaphragms, the anchorage shall be in accordance with Section A113.1. – Upper diaphragms have been largely removed. No wall anchorage is possible.

D O L M E N

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Since the upper diaphragms have been largely removed, the retrofit design would not qualify for the Special Procedure. The Special Procedure has many accommodations that are not allowed in the General Procedure. Provisions allowing plywood sheathed crosswalls, diaphragm DCR's up to 5.0, ignoring the need for chords, allowing large h/t ratios are not applicable to this retrofit under the General Procedure.

Dynamically, an unbraced, cantilevered element can generate four or five times the lateral force of a similarly configured braced element. As you can see from the attached photographs, the top lateral restraint of the existing walls at 659 Union Street, in many cases, is eight to ten feet below the top of the parapet.



Unbraced "parapets" 02/04/2025

D O L M E N

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As you can see from the following photograph the roof and floor diaphragms are largely missing. Even the areas of diaphragm that remain are heavily compromised by fire and water damage.



Missing Roof and Floor Diaphragms 02/04/2025



Missing Roof and Floor Diaphragms 02/04/2025

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CODE MANDATED RETROFIT

If we apply the General Procedure, or the current code, to the remaining fire damaged structure we would need to add closely spaced vertical and horizontal steel wall bracing around the entire interior, and supplement the existing interior braces with a three-dimensional braced frame. This frame would then be removed to make way for the new permanent structure that will hopefully take its' place one day.

The retrofit is further complicated by our Client's goal to develop a significant new housing project at the site. As a prerequisite for that development, the Department of Toxic Substance Control (DTSC) is requiring the removal and replacement of contaminated soils to a depth of twelve to fifteen feet below sidewalk elevation. The contamination is the result of leaks from historic heating oil tanks and the former presence of a dry-cleaning facility at the site.

Requiring our client to shore up the perimeter walls to any reasonable standard while simultaneously requiring him to remove five feet of soil below the foundations is obviously a Kafkaesque demand.

CURRENT CONDITIONS

Our client delivered a JLG access lift to the rear yard of the building on February 23rd, 2026. Erwin O'Toole, PE, and I investigated the upper parts of the walls from the JLG platform. We found that prolonged exposure to weather, both fires, and the subsequent fire-fighting efforts have weakened the mortar in the walls. It was easy for Erwin and I to remove individual bricks with our bare hands from two separate locations.



JLG on site 02/24/2026

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Removing loose bricks by hand from the JLG platform

We are very thankful that nothing tragic has happened to date but it is obvious to me, as a practicing engineer, that it is only a matter of time before these walls fail under lateral loading. While I visited the site, I noticed many people waiting at the bus stop on Union Street, walking along the sidewalk, parking at the curb, and driving along Union Street. All these people were directly in the fall zone.

In the interest of public safety, I strongly urge you to issue an emergency demolition permit for this structure.

Sincerely,

Diarmuid Mac Neill
Diarmuid Mac Neill
President

Attachments: ShoreCal Engineering Inc (February 3, 2025 and March 7, 2025)
KCE Matrix (February 18, 2020)



Patrick Rivera, PE, Bureau Manager | Bureau of Engineering
patrick.rivera@sfdpw.org | T. 628.271.2456 | 49 South Van Ness Ave. 8th Floor, San Francisco, CA 94103

MEMORANDUM

TO: David Kane, SE
Deputy Director
San Francisco Department of Building Inspection

FROM: Raymond Lui, SE *RL*
Section Manager
San Francisco Public Works – Structural Engineering Section

DATE: March 18, 2026

SUBJECT: Safety Assessment of 659 Union Street (Block: 0117, Lot: 016)

This memorandum summarizes our safety assessment of the building at 659 Union Street in San Francisco, California.

We performed a visual inspection of the exterior and interior of the building at 659 Union Street. It is our understanding that the building was severely damaged by two fires in 2013 and 2018. The building is a three-story unreinforced masonry bearing (UMB) wall and heavy timber construction with basement that extends under the sidewalk along Union Street.

The roof framing has been completely destroyed. The third floor and second floor have been mostly destroyed. Temporary raker shores were erected in 2018 to support the north and south perimeter UMB walls. Although the building has been standing in this condition for several years, this building, in its current condition, is a collapse hazard and presents significant safety hazards to pedestrians, bicyclists, and motorists. Also note that there is a bus stop in front of 659 Union Street.

San Francisco Public Works is near completion of developing construction documents for the pavement renovation and sewer replacement project along the length of Union Street from Lyon Street to Columbus Avenue. Because of the safety concerns presented by the building at 659 Union Street, we have abandoned the block between Powell Street and Columbus Avenue that fronts the building as part of this work. Our work no longer includes new pavement and curb ramps at Powell Street and Columbus Avenue, including those over the existing subsidewalk basement at 659 Union Street.



DEPARTMENT OF BUILDING INSPECTION

City & County of San Francisco
49 South Van Ness Ave, 5th Floor, San Francisco, California 94103
(628) 652-3200

FIELD REPORT

Street Address: 659 Union Street **Report No.:** 20260319
San Francisco, CA 94133

Block / Lot: 0117 / 016

Date of Visit: 3:00 PM March 18, 2026

Site Visit Attendees: Jimmy Cheung, P.E., DBI Structural Manager
David Kane, S.E., DBI Deputy Director
Matthew Greene, C.B.O., DBI Deputy Director
Raymond Lui, S.E., PW Principal Engineer

Type of Construction: 3B
Occupancy Classification: R2/M – Apartments over Retail
No. of Stories: 3 stories over basement

Background

DBI and PW staff visited the subject property on March 18, 2026, to perform a visual observation of the existing building along Union Street that was severely damaged by fires that occurred in 2013 and 2018. We understand the original structural framing consisted of unreinforced brick masonry (URM) perimeter walls, wood roof framing, wood floor framing and interior wood walls. Note that the lot also consists of a parking garage at 1636 Powell Street, which is beyond the scope of this report.

Metal and timber shoring was installed in 2018 to brace the URM perimeter walls. This shoring system was installed to provide temporary bracing and was not intended to serve as a permanent repair solution. We reviewed engineering and environmental reports prepared by KCE Matrix Consulting Engineers, ShoreCal Engineering Inc, Frey Environmental Inc, and Dolmen Consulting Engineers (see enclosures).

Observations

Fire protection and other interior finishes were completely removed at the time of observation. The existing wood framing had been significantly charred or completely destroyed as a result of the fires. Furthermore, the remaining structural framing lacks weather protection as the roof had been destroyed and most of the windows had been removed. Shoring was observed to provide bracing at the midsection of the north and south perimeter wall, but the shoring system lacks protection from weather, corrosion, and decay. The majority of the URM perimeter walls were unbraced as the roof diaphragm and most of the floor diaphragms had been destroyed.

We observed signs of continuing and worsening decay in the structural framing and shoring, including damage from mold, dry rot, corrosion, vermin, and rodents. Standing water was visible at the basement level. Security barriers at windows and doors had been breached. Trash, debris, and other unsanitary conditions indicated squatting and illicit drug use.

Conclusions

Based on our observations, our review of reports prepared by the above noted consultants, and in consultation with PW and SFMTA, we have determined the existing building to be substandard and unsafe. The risk of collapse of the URM walls is an imminent and substantial hazard to pedestrians, bicyclists, motorists, bus patrons, neighbors and others. The hazardous condition endangers the life, limb, health, property, safety, and welfare of neighbors and the public.

Pursuant to HSC § 17920.3 and SFBC 102A.16, we conclude demolition is necessary to remedy the imminent hazard.

Recommended Actions

The owner shall immediately engage the service of a civil or structural engineer to provide an engineering report addressing the conditions, hazards, and recommendations for protection and hazard mitigation during demolition. The owner shall obtain forthwith all necessary approvals and permits required by local and state agencies for the protection and hazard mitigation during demolition. The building shall be secured and entry into the building shall be prohibited except under the supervision of a licensed civil or structural engineer. In addition, the demolition shall be performed by an experienced, licensed demolition contractor to eliminate the imminent hazard of collapse of the unreinforced brick masonry walls.

Report prepared by:

 3/20/20
Jimmy Cheung, P.E., Structural Manager

 3/20/2026
David Kane, S.E., Deputy Director

 3/20/26
Matthew Greene, C.B.O., Deputy Director

Encl: Engineering and environmental reports

RECORDING REQUESTED BY:

Department of Building Inspection
Index Code: DBI/BID

WHEN RECORDED MAIL TO:

NAME: Dept. of Building Inspection
Building Inspection Division
Suzanna Wong

MAILING
ADDRESS: 49 South Van Ness Av, Ste 400
CITY, STATE San Francisco, CA
ZIP CODE: 94103



Doc # **2026030852**

City and County of San Francisco
Joaquin Torres, Assessor – Recorder

3/27/2026	12:33:45 PM	Fees	\$0.00
Pages 4	Title 125 KC	Taxes	\$0.00
Customer 040		Other	\$0.00
		SB2 Fees	\$0.00
		Paid	\$0.00

SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE

TITLE (S)

Order No. 111280-E

Emergency Order No. 111280-E

Re: 659 Union St

Block/Lot: 0117/016

SEPARATE PAGE PURSUANT TO GOV'T. 27361.6



EMERGENCY ORDER 111280-E

**EMERGENCY ORDER DUE TO SERIOUS AND IMMEDIATE HAZARD
AS PER SECTION 102A OF THE SAN FRANCISCO BUILDING CODE**

I have verified that pursuant to Section 102A.16 of the Building Code, that serious and immediate hazard exists at:

Address: 659 Union Street
San Francisco, CA 94133

Block: 0117 Lot: 016

The building constitutes an imminent and substantial hazard to the life, health and/or safety of the public due to substantial structural damage as a result of a structure fire.

I, therefore, order that the owner(s) of this property shall within 72 hours (3 days) of posting and service of this order, abate the public nuisance by performing the following:

1. File for and obtain a Form 6 demolition permit for the demolition and removal of the unsafe building.
2. Obtain the necessary J number from Bay Area Air Quality Management District for this demolition.
3. Cap water, sewer and gas utilities under a plumbing permit. Disconnect any overhead or underground electrical service conductors and any telephone or data cables.
4. Demolish the building.
5. Remove all debris from lot and adjacent public streets and sidewalk.
6. Keep all receipts from facilities where demolition debris is taken and submit to San Francisco's Department of the Environment; see attached Report Form for Instructions. DBI will not close out demolition permit unless the Department of the Environment receives this information.
7. The property must be barricaded, boarded up or otherwise secured against entry.

OWNER(S): Powell Partners LLC
100 Green Street
San Francisco, CA 94111

Further, if the owner(s) fail to comply with this Order, owner(s) shall have forfeited his/her right to do the work as set forth in Section 102A.14 of the Building Code, the work will be conducted under the provisions of Section 102A.13 as the abatement of serious and immediate danger.

At such time as the owner(s) shall have forfeited his/her right to do the required work to abate the imminent hazard, the Department is hereby ordered to immediately proceed by use of the funds provided for under Section 102A.12 and 102A.13 to have the repairs effected and to abate the public nuisance.

Notice: ANY EXPENDITURE OF REPAIR AND DEMOLITION FUNDS AS A RESULT OF THIS ORDER IS SUBJECT TO BECOMING A TAX LIEN AGAINST SUBJECT PROPERTY.

A copy of this notice shall be posted immediately on the front of subject building, and a copy shall be sent by certified mail to all persons having an interest in the properties in accordance with Section 102A.3 of the Building Code.

Building Inspection Division
49 South Van Ness Avenue, Suite 400 – San Francisco CA 94103
Office (628) 652-3450 - www.sfgov.org/dbi

For information, you may contact Senior Building Inspector Mauricio Hernandez at 628-652-3440 between the hours of 7:30AM to 4:00 PM or come in person to 49 South Van Ness, Suite 400, San Francisco, CA 94103.

RECOMMENDED:

 3/24/26

Jimmy Cheung, P.E.
Interim Deputy Director, DBI


 3/24/26

Matthew Greene
Deputy Director, DBI

APPROVED:

 for Liz Watty
3/24/24

Richard Sucre
Deputy Director of Current Planning, CPC

 3/24/2026

David Kane, S.E.
Interim Director, DBI

DATE APPROVED: March 24, 2026

Distribution:

Recorder's Office
Deputy Directors, DBI

Controller
Deputy Director, CPC

SF Environment
City Attorney

Owner(s)

Post on Property



POWELL PARTNERS LLC
100 GREEN ST
SAN FRANCISCO, CA 94111

PROPERTY ADDRESS: 659 Union St
BLOCK: 0117 LOT: 016
SEQ: CASE: 111280-E

INSPECTOR: Mike Chung
DISTRICT: N/A

**DECLARATION OF POSTING OF EMERGENCY ORDER
TO ABATE A PUBLIC NUISANCE**

I, the undersigned, declare that I am employed by the City and County of San Francisco and at all times herein mentioned was over the age of 18 years; that pursuant to the provisions of Section 102A of the San Francisco Building Code, I did on this date post a true copy of the Notice of Violation in a conspicuous place on the building or property or part thereof, to wit:

659 Union St

San Francisco, CA

I declare under penalty of perjury that the foregoing is true and correct.

Executed on 03/25/2026, at San Francisco, California.

MIKE CHUNG
Name and Signature



City and County of San Francisco
DEPARTMENT OF PUBLIC HEALTH
ENVIRONMENTAL HEALTH

Daniel Lurie, Mayor
Daniel Tsai, Director of Health
Jennifer Callewaert, MS, REHS
Director of Environmental Health

April 8, 2026

Matthew Greene
Deputy Director, Inspection Services
San Francisco Department of Building Inspection (DBI)
49 S Van Ness Ave, 4th Fl
San Francisco, CA 94103

Via email: matthew.greene@sfgov.org

**Subject: Review of Hazardous Substances
1636 & 1656 Powell St, and 659 Union St
San Francisco, CA, 94133**

Dear Matthew Greene:

Thank you for your request for the San Francisco Department of Public Health, Environmental Health Branch, Contaminated Sites Assessment and Mitigation Program (EHB-SAM) to review and advise on the concerns raised by former Supervisor Aaron Peskin regarding the presence of hazardous substances at 1636 & 1656 Powell St, and 659 Union St (the Site) in relation to demolition permit 202303133588.

On March 18, 2026 an inspection field report was produced by DBI and the San Francisco Department of Public Works finding that structures at the Site are severely damaged by fires that occurred in 2013 and 2018. The report concluded the building was substandard and unsafe, and that pursuant to Health and Safety Code Section 17920.3, and San Francisco Building Code Section 102A.16, demolition is necessary to remedy the imminent hazard. On March 24, DBI issued Emergency Order 111280-E to the property owner(s) to abate the public nuisance by demolishing the unsafe building. On March 27, 2026, demolition permit 202603278418 was issued, and on March 31 the permit was suspended per Board of Appeals appeal number 26-019.

On April 2, 2026, DBI forwarded to the EHB-SAM email correspondence dated April 1 from the former Supervisor, referencing evidence in the public record of hazardous substances at the Site. Such conditions include a comingled petroleum hydrocarbon and chlorinated solvent plume in soil vapor and groundwater attributed to historical on-Site fuel distribution dry cleaner operations. Open assessment and interim remedial actions for this condition are being performed under regulatory oversight of the San Francisco Bay Regional Water Quality Control Board (Regional Board), under Geotracker IDs [T0607500509](#) and [T10000013791](#). Notably, the EHB-SAM has reviewed this Site under Health Code 22A for a

prior proposed project under Site Mitigation Environmental Health Database (SMED) case number 1989.

On April 3, 2026, DBI requested DPH to review and advise on the concerns raised by former Supervisor Aaron Peskin. We have reviewed this information in relation to San Francisco Health Code (Health Code) Article 22A and 22B, San Francisco Building Code Sections 106A.3.2.4 and 106A.3.2.6, and regulatory oversight by the Regional Board.

Comments from EHB-SAM review are included in this letter.

EHB-SAM REVIEW

Based on the information provided, the EHB-SAM makes the following findings:

- Health Code 22A does not apply to demolition permit 202603278418, pursuant to Building Code Section 106A.3.2.4. The scope of work includes no soil disturbance, and no change to sensitive use. These do not meet the threshold for review under Health Code 22A of 50 cubic yards of soil disturbance, or a change to sensitive uses. While there are known hazardous substances at this Site, they are present in the subsurface which is not planned to be disturbance under the permit.
- Health Code 22A will apply to future construction if it will disturb 50 cubic yards of soil or more, or will include a change to sensitive uses. In that case, a Site Mitigation Plan (SMP) pursuant to Health Code 22A.10, or equivalent mitigation pursuant to 22A.9, would be required to mitigate potential impacts from hazardous substances in the subsurface during and after construction. Notably, the SMP described in Health Code 22A.10 would not mitigate potential impacts from above-ground hazardous substances, including from the fire-impacted building at the Site.
- Health Code 22B does not apply to demolition permit 202603278418, pursuant to Building Code Section 106A.3.2.6.2. The Site is 18,800 square feet (0.43 acres) in size, which is less than the threshold criteria of one-half acre for review under Health Code 22B.
- General construction dust control requirements in San Francisco Building Code Section [106A.3.2.6.3](#) which are regulated by DBI do apply.
- The assessment and mitigation of hazardous substances in the soil and groundwater of the Site are under regulatory oversight of the Regional Board.

1636 & 1656 Powell St, and 659 Union St
April 7, 2026
Page 3 of 3

Should you have any questions, comments, or submittals, please contact Bill Chen at (415) 252-3897 or bill.chen@sfdph.org.

Sincerely,

DocuSigned by:

68889D04EE6041C...

Bill Chen, P.E. (CA)
Engineer

CC: Beronica Slattengren, EHB-SAM, via beronica.slattengren@sfdph.org
Jennifer Callewaert, EHB-SAM, via jennifer.callewaert@sfdph.org
Jimmy Cheung, DBI, via jimmy.cheung@sfgov.org

PUBLIC COMMENT

From: [Pete Epstein](#)
To: [BoardofAppeals \(PAB\)](#)
Cc: ["tflandrich@yahoo.com"](mailto:tflandrich@yahoo.com)
Subject: Appeal Nr.26-019 @659 Union
Date: Thursday, April 16, 2026 3:22:36 PM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Appeal Nr.26-019 @659 Union

Dear President Trasvina & Commissioners,

I am a former tenant of the Verdi Apartments, 1656 Powell, Apt. #209. I lived in my rent-controlled apartment for 25 years. I was displaced by the 2013 fire. The only damage to my unit was some plaster and smoke damage. I intended to return once the building was repaired. Repair work was in progress when a subsequent fire left only the historic façade. Until 2023 I was never contacted by the former or current owner/developer about the status of my rent controlled tenancy and have received no compensation for being displaced from my apartment. In response to a communication from the current owner/developer, I filed a formal Notice of Intention to Return in 2023. In 2024, the owner/developer approached me with, based on the rent control ordinance and my economic losses, an inadequate offer to buy out my right to return: I declined. I currently live in a friend's basement in Novato as I cannot find a similar rent controlled apartment in San Francisco.

I have followed the several proposals for replacement of the apartments over the years and have been repeatedly disappointed that the owner/developer has proposed projects that had no hope of being approved, and which did not allow for the displaced residents to return to the building, with payments required by ordinance and continued rent control.

I understand that the owner/developer received a limited emergency demolition permit in late March without prior notice to any of the interested persons entitled to notice of the application. I also understand that the emergency demolition was going forward until an appeal was filed, but was not stopped in time to prevent demolition beyond the permitted scope of demolition. I have seen on-line that the owner/developer has taken the position that the emergency demolition permit allows him to demolish the building's entire façade. If successful, I believe that he intends to present construction plans which will allow him to build an oversized building and revoke the tenants' right to return to the rebuilt building under rent control.

I am writing in support of the appeal related to the emergency demolition of the building as unsafe. If the scope of the demolition has already been completed or has gone beyond the permit, it should be stopped permanently. Nothing that has been done regarding the emergency permit should extend the demolition beyond what was permitted. The owner/developer should not be able to obtain further demolition because the emergency work has now created a need for further demolition. He should be ordered, to the extent possible, to return the condition of the building to its condition had he limited the demolition to the scope of the emergency permit. And the building should be monitored to prevent the façade from

being demolished while everyone's back is turned, or in the middle of night. I urge the Board of Appeals keep my rights, the rights of my co-tenants, as well as the rights of the citizens of San Francisco, as established by current building codes and rent control ordinances, in mind when dealing with the emergency permit.

Very truly yours,

Pete Epstein
448 Ignacio Blvd. #117
Novato, CA 94949

415-385-9936

pete@weinberg-hoffman.com

From: [Paul Taft](#)
To: [BoardofAppeals \(PAB\)](#)
Cc: tflandrich@yahoo.com
Subject: Appeal Nr.26-019 @659 Union
Date: Friday, April 17, 2026 5:54:03 AM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear President Trasvina & Commissioners,

I am a former tenant of Verdi Apartments, 1656 Powell, Apt. #207. I was displaced by the 2013 fire and intended to return when the building was repaired. The repairs were never done, and the subsequent fire in 2018 left essentially just the historical façade. When owners filed plans for reconstructing our homes in 2023, I emailed Planner Feeney, sending my occupancy declaration from Hanford Freund Co. & **Powell Partners, LLC**, Superior Court Case No. CGC-18-568623, restating my right to return & notice of intention to return. In 2024, I was approached by the owner to buyout my tenancy, and I declined the offer. To be clear, I never terminated my tenancy and have consistently and repeatedly confirmed my intention to return to my former residence whenever it is ready.

I understand that the demolition has already gone beyond the filed 2023 plan for "partial demolition" only, and that the owner's intent is to demolish the entire façade. Since 2013, it has always been my understanding that repairs, alterations, would take place in reconstructing my home in the Verdi apartments and that I would return. I want to make sure my rights, and the right of return of my co-tenants are preserved.

I urge the Board of Appeals to condition the demolition upon allowing us to return to any housing built on this site.

Respectfully,

Paul Taft

HD 4/22/26

Mejia, Xiomara (BOA)

From: Michael Corbett <mcorbett@lmi.net>
Sent: Saturday, April 18, 2026 9:55 PM
To: BoardofAppeals (PAB)
Subject: Appeal of 659 Union Street Demolition Permit

BOARD OF APPEALS

APR 18 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

John Trasvina, President
Board of Appeals
City and County of San Francisco
San Francisco, CA 94102

RE: 659 Union Street Demolition Permit

Permit No. 2026/03/27/8418
Appeal No.: 26-019

Dear President Trasvina and Board of Appeals Members:

I am writing to support the appeal of the demolition permit for the Verdi Building at 659 Union Street. I have been involved in the documentation and evaluation of North Beach since 1982. The neighborhood is eligible as a National Register historic district and I believe would qualify as a UNESCO World Heritage Site for its architectural qualities and its historical associations with Italians and Chinese in San Francisco, the LGBTQ community, and the Beats to name just a few highlights of its history. People come from all over the world to see this neighborhood, eat in its restaurants, shop in its stores and to stay in the city's hotels. The neighborhood is a symbol of San Francisco to the world. It represents San Francisco's livability and its cultural vitality. The Verdi Building occupies a central and highly visible place at the heart of this irreplaceable district. The loss of this building will leave a highly visible hole in the center of the neighborhood.

As the appeal of the demolition permit from the North Beach Tenants Committee documents, the demolition permit has been granted by circumventing the long-standing public process that exists to ensure the best planning decisions are made for the long-term health of the city.

In addition to issues of historic preservation, the approval of the demolition permit has violated agreements to preserve rental housing and to provide for the return of displaced tenants, and it ignores the necessity to plan for the remediation of hazardous materials.

I urge you to support the appeal of the demolition permit.

Sincerely,

Michael Corbett

Architectural Historian

HD 4/22/26

Mejia, Xiomara (BOA)

BOARD OF APPEALS

From: Judy Irving <films@pelicanmedia.org>
Sent: Sunday, April 19, 2026 4:56 PM
To: BoardofAppeals (PAB)
Subject: Verdi Building: In support of the appeal

APR 19 2026
APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Please do not give your stamp of approval to an unscrupulous developer who lies lies lies!
“Partial demolition” is not a typo, nor is it a clerical error. Insist that the 2023 development proposal be revived:



multistudio

RENDERING - VIEW FROM NEAR SIDE OF WASHINGTON SQUARE PARK
STAFF DENSITY BODILUS PROJECT

659 UNION STREET, SAN FRANCISCO
JUNE 23, 21

Your decision will go down in history, and you will not want to be cursed in later years for the behemoth vertical box that ruined North Beach.

Do not sell out, do not trample on the public trust. Read the appeal and become outraged, as I am. Grant the appeal.

Thank you,

Judy Irving

Producer/Director
The Wild Parrots of Telegraph Hill

Small business owner in North Beach
pelicanmedia.org

HD 4/22/26

Mejia, Xiomara (BOA)

From: Lynne Ambrosini <orbma12@gmail.com>
Sent: Sunday, April 19, 2026 7:46 PM
To: BoardofAppeals (PAB)
Subject: Verdi building

BOARD OF APPEALS

APR 19 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

PLEASE do not demolish one of the precious old buildings, the Verdi Building, that give San Francisco its special character and make us a tourist mecca.

Sincerely,

Lynne Ambrosini, Ph.D.

Lynne D. Ambrosini, PhD
Chevalier, Ordre des Arts et des Lettres
Deputy Director/Chief Curator Emerita, Taft Museum of Art
Independent Scholar and Curator
orbma12@gmail.com
513.259.3779

HD 4/22/26

FILE

BOARD OF APPEALS

APR 18 2026

APPEAL # 26-019

April 18, 2026

Re: Appeal No. 26-019 to be hearing April 22, 2026 VERDI BUILDING

Dear President Trasvina and fellow members of the Board of Appeals:

I am writing in support of this Appeal because of the importance of the Verdi Building not only for the North Beach neighborhood but for the entire City.

The Verdi Building is located in the Priority Equity Geographies SUD which is Planning Code Section 249.97. Here is the purpose of this SUD:

*(b) **Purpose.** The Priority Equity Geographies SUD is comprised of areas or neighborhoods with a higher density of vulnerable populations. The 2022 Update of the Housing Element of the General Plan (2022 Housing Element) identifies several neighborhoods in the City that qualify as Priority Equity Geographies, based on the Department of Public Health's Community Health Needs Assessment. The 2022 Housing Element encourages targeted direct investment in these areas, and identifies them as requiring improved access to well-paid jobs and business ownership; **where the City needs to expand permanently affordable housing investment**; where zoning changes must be tailored to serve the specific needs of the communities that live there; **and where programs that stabilize communities and meet community needs need to be prioritized.** The purpose of the Priority Equity Geographies SUD is to help implement the goals and policies outlined in the 2022 Housing Element.*

Since this hearing before this Board is likely to be the only hearing in front of decision makers who represent the public, it is important that the Board consider this issue of the PEG SUD with regard to affordable housing and the rights of past tenants of the Verdi Building.

The record is complicated and convoluted. And there are some confusing things in the packet about the issuance of this emergency Demolition permit.

For example:

On March 7, 2025 the Verdi Building was determined to be an “imminent hazard” but no emergency Demolition permit was sought by the project sponsor. (See Memo to Mr. Greene at Project Sponsor’s Brief, Exhibit C).

But six months later on September 30, 2025 and October 1, 2025 in the applications submitted to the City to demolish the Verdi Building there is no mention of this “imminent hazard”. (See “Large Development Project Application” and “Preliminary Application for SB 330 and SB 423” at Project Sponsor’s Brief, Exhibit C).

If there was an “imminent hazard” in March 2025, why did the project sponsor let an entire year pass before doing anything about it?

This is an important question in the context of this emergency permit that is before the Board. I could not find any answer to this question in the project sponsor’s submissions.

What I did find in the Board’s packet was an astoundingly different project than the public was told would be built and what was expected at the site of the historic Verdi Building in this neighborhood.

Why wasn’t the public informed about this change in the plans? The first official mention of this change to the project was in this packet. There was no community outreach even though the project was submitted to the Planning Department over six months ago. (In the “Large Development Project Application” the project sponsor invokes SB 1214 which only allows limited plans to be published).

The original plans were put forward to restore the historic Verdi Building and restore housing to the tenants with the plans from 2021-2023. Why were

these plans apparently abandoned? Why wasn't the public told about this given the high interest in this site and in this project?

In March 2023 (exactly three years ago) there was a confusion about the Demolition with the wrong DBI form submitted, when only 50 feet of the south (rear) wall was approved for Demolition by the Planning Department to facilitate these 2021-2023 plans. Per the DBI Tracking Sheet, "*...only partial demolition is permissible, entire building cannot be demolished. Applicant needs to withdraw the Form 6 application and submit a Form 3 application. Proposed plan to demolish partial portion of rear wall is allowable.*"

Yet astoundingly the Demolition approved by the Planning Department for this 50 feet of the south (rear) wall never happened.

It was never pursued by the project sponsor. And also never pursued were the 2021-2023 plans presented to the public and former tenants.

According to the DBI Tracking Sheets for Permit Application No. 2023-03133588 to demolish the rear wall and Permit Application No. 2021-12134327 to replace the original Verdi Building, both permit applications were put "*on hold*" because apparently the project sponsor never RSVP'ed to the "*invite sent to Applicant to join a Bluebeam Session*" sent by DBI or replied to the "BLDG" March 2024 email . (See these DBI Tracking sheets attached below).

The Board should ask the project sponsor why these Permit Applications were filed but never pursued, why the "invitation" to pursue the applications with the City were apparently ignored, as this is important for the public to understand since this will be the only public hearing where the project sponsor must be accountable to answer questions that decision makers can assess.

Since this will likely be the only public hearing, please consider the language in the Code Section 249.97 (b) at the hearing. (See page 1 of this letter).

The Verdi Building had at least 28 rent controlled units. (Page 2 of the ZA's Brief says it was 38 units and the PIM Assessor's Info says it was 36 units).

The September 2025 SB 330/423 application in the Board's packet from the project sponsor says the project will be providing *only* 15 BMR units out of a total of 89 dwelling units. The October 2025 "Large Project Development Application" estimates that the cost of this project will be \$40 million.

Based on the fancy renderings that figure may be a bit low. Nevertheless it is obvious that this project, using the State Density Bonus, is a very high-end project that is fundamentally contrary to the intent and goals of Planning Code Section 249.97 and the purpose of the Priority Equity Geographies SUD.

The original tenants of the Verdi Building should not be forgotten and their rights should be protected by this Board, just as the enumerated purpose of the Priority Equity Geographies SUD should not be overlooked by the Board of Appeals in this hearing on April 22nd, which again, will be the sole hearing where decision makers representing the public can have say.

Thank you.

Sincerely,

Georgia Schuttish

cc: Corey Teague; Carey McElroy; Julie Lamarre; Alec Longaway; Xiomara Mejia

Attachments on page 5 and 6: DBI Tracking Sheets cited on page 3 of this letter



Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 4/18/2026 4:35:27 PM
Application Number: 202303133588
Form Number: 6
Address(es): 0117 /016 /1 1638 POWELL ST
Description: DEMO A BRICK 3 STORY BLDG TYPE R-2
Cost: \$60,000.00
Occupancy Code:
Building Use:

Disposition / Stage:

Action Date	Stage	Comments
3/13/2023	TRIAGE	
3/13/2023	FILING	
3/13/2023	FILED	

Contact Details:

Contractor Details:

Addenda Details:

Description:

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Phone	Review Result	Hold Description
CPB		3/13/23	3/13/23			3/13/23	GUTIERREZ NANCY	628-652-3240		ELECTRONICALLY SUBMITTED MAILING LIST/PACKAGE RECEIVED NG
CP-ZOC		3/14/23	3/31/23			3/31/23	FEENEY CLAIRE	628-652-7300		HOLD Per Project 2021-005914PRJ only partial demolition is permissible, entire building cannot be demolished. Applicant needs to withdraw the Form 6 application and submit a Form 3 application. Proposed plan to demolish partial portion of the rear wall is allowable. CFeeney 26 May/23
BLDG		4/4/23	6/5/23	6/5/23			WALLS MARK	628-652-3780		UNABLE TO APPROVE BASED ON COMMENTS FROM CLAIRE FEENEY/CP-ZOC DATED 5/26/23 MGW 6/5/23
DPW-BSM		4/4/23	4/5/23			4/5/23	DENNIS RASSENDYLL	628-271-2000		4.5.23 Approve, EPR- No alteration or construction of City Right-of-Way under this permit. Street Space under a separate permit -RD
PPC		3/14/23	3/14/23				LUA NATALIE	628-652-3780		4/4/2023 Invite sent to BLDG and BSM to start electronic plan review. Per 4/3 email received from Planning C. Feeney, other stations can review and Planning will sign off last per plan checker. 3/14/23 Invite sent to applicant to join BB session. HP 3/14/23 Bluebeam session created, invite sent to CP-ZOC to start electronic plan review. HP
CP-ZOC							FEENEY CLAIRE	628-652-7300		
BID-								415-558-6096		
INSP								628-652-3240		
CPB										

SEE "HOLD DESCRIPTION" for CP-ZOC and "HOLD DESCRIPTION for PPC

Home



Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 4/18/2026 4:36 46 PM

Application Number: 202112134227

Form Number: 1

Address(es): 0117 016 1656 POWELL ST
0117 016 0 658 UNION ST

Description: CONSTRUCT A TYPE - V 4-STORY 2 BASEMENTS 22 DWELLING UNITS MIXED-USED RESIDENTIAL BUILDING

Cost: \$7 000,000.00

Occupancy Code: R-2,M,B

Building Use: 24 - APARTMENT'S

Disposition / Stage:

Action Date	Stage	Comments
12/13/2021	TRIAGE	
12/13/2021	FILING	
12/13/2021	FILED	

Contact Details:

Contractor Details:

Addenda Details:

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Phone	Review Result	Hold Description
CEB		12/14/21	12/14/21			12/14/21	HEIMANDEZ MAURICIO	626 652 3440	OK to process per MH	
CP6		12/13/21	12/13/21			12/14/21	CHAN CHENG	626 552 3240		12/14/21 FILING FEE RECEIVED TO PPC - CC 12/14/21 EMAILED APPLICANT FOR ADDRESS CLARIFICATION - CC 12/13/21 BLUEBEAM FILES RECEIVED BB# 618-199-247 TO CES FOR COMPLAINT/NOV REVIEW - CC
CP-ZOC		12/15/21	5/25/22			5/25/22	GUY KEVIN	628 652 7300		1/4/2022 released for allow DBI review concurrent with permit review
BLDG		8/10/22	8/10/22			3/8/24	ONES DAVID	628 652 1780	Issued Comments	Communicated BLDG review in BB session DMLU 08/11/2022 followed up with project approval with BLDG arrange a meeting to discuss outstanding review comments DM 11/09/2024
BLDG		3/8/24	3/8/24			3/8/24	ONES DAVID	628 652 1780	Issued Comments	Email re project approval asking to be advised of status of outstanding plan review comments DM 11/09/2024
BLDG	2	8/10/22	8/10/22			8/10/22	O JONATHAN	428 452 3472		Not approved by EPL LO Comments in Bluebeam 10/12/22 On note EHR Site permit only Notes in BB session about UCD requirements for sign off Sidewalk installation (Bule only) UCD if one is proposed Adendum requirement (Street improvement final map view construction) special sidewalk BLP Inlets no warning of the right of way under this equipment all sidewalk appurtenances and signs MUST be applied before construction applications if http://www.sfdonline.org/services/permits your application will be ON-HOLD until all necessary PUBLIC WORKS-BSM permits are completed or plan checker(s) could recommend sign off to the traffic engineer or signal RD
DPW-BSM		8/9/22	8/9/22			8/9/22	DENNE RASSENDYLL	628 271 2000		Let MPO with future street and address info we received 11/10/2020 requesting Subsurface investigation work plan
PH-PLC		8/9/22	8/9/22			8/9/22	PONG JEFFREY	628 652 6140		PH-PLC is now being under the Department of Construction Waste Theft Prevention Ordinance due to Ordinance amendments passed in April 2023 (Legislative File No. 230134). Please see https://sf.gov/department-compliance-bond-your-residential-construction-project. Please email con_safetynotice@sf.gov if you have questions.
HEALTH		8/9/22	8/9/22			8/9/22	GROWNELL AMY	415 252 0800		
HEALTH-VH		8/9/22	8/9/22			8/9/22	FEENEY LAURE	415 242 1800		
CP-ZOC		8/9/22	8/9/22			8/9/22				
CON-BOND		7/8/22	7/8/22			7/8/22	USER CONTROLLER		Approved	
CP-ZOC								628 612 7300		Prior to permit issuance, applicant shall comply with environmental monitoring requirements. Email: epa-environmental@sf.gov for questions
CP-PLC										8/3/22 2nd reminder notice mailed out to Property Owner to file the labor compliance bond through Controller's Office. email 7/8/22. Email sent to CON-BOND for surety bond assessment. HP 8/9/22 invite BLDG SFFD BSM PLUC DPH Kevin Guy from Planning to join Bluebeam session to review project EC 4/26/22. Invite sent to DCP to review and stamp REV'd drawings HP 7/1/2021. Invite sent to SFPD to join BB session HP 12/15/21. Bluebeam session created invite sent to DCP to join electronic plan review HP
PPC		12/15/21	12/15/21			12/15/21	LEI MANDY	628 452 3780		
HP								628 452 3440		

SEE HOLD DESCRIPTIONS RE: BLUEBEAM INVITATIONS IN MARCH 2024 REVISION SUBMITTED UNDER THIS APPLICATION APPARENTLY NO REPLY. See Station "BLDG"

HB 4/20/26

FILE

Mejia, Xiomara (BOA)

From: Scott Hayes <scotthayessf@gmail.com>
Sent: Sunday, April 19, 2026 10:30 PM
To: BoardofAppeals (PAB)
Subject: 659 Union Demolition Permit #2026/03/27/8418

BOARD OF APPEALS

APR 19 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

To the Board of Appeals:

Re: Demolition Permit #2026/03/27/8418

The first week of April, we residents of 575 Columbus felt what seemed to be three earthquakes. Only one of those events was actually an earthquake, in the early hours of that Thursday morning. The other two shaking events were caused by the demolition work being done on the burned-out building at 659 Union. Heavy machinery and the removal of debris literally caused our building to shake, and far more than the earthquake did. We understand that the demolition work done so far occurred without a city permit, which is deeply concerning given the effect it already had on neighboring residents, namely those of us at 575 Columbus, which directly abuts the 659 Union property.

The continued demolition and the construction that follows will directly affect us through constant noise, dust, vibrations, traffic, and further structural damage. There is also concern about asbestos and other health risks. Tenants whose windows face the construction site may no longer be able to keep them open, and all residents will be affected in some way by dust in the air and construction noise, which has already begun as early as 7:00 AM.

The health, safety, and quality of life of nearby residents must be protected before any permit is approved. Before any demolition permit is granted, we ask that the city require a full environmental and structural impact study, regular communication with affected residents of 575 Columbus, protections against noise, dust, and vibrations, a plan to address any building damage, and 24-hour monitoring of the site to ensure the safety of those living nearby.

I urge the Board of Appeals to withhold approval of any demolition permit until these protections are in place.

Yours sincerely,

Scott Hayes
575 Columbus Avenue
415.760.2592
ScottHayesSF@gmail.com

HD 4/22/26

Mejia, Xiomara (BOA)

From: lgpetty <lgpetty@juno.com>
Sent: Sunday, April 19, 2026 11:36 PM
To: BoardofAppeals (PAB)
Subject: Apr 22 Agenda, Appeal # 26-19, Verdi Building, 659 Union St

BOARD OF APPEALS

APR 19 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear SF Board of Appeals Commissioners,

I urge you to grant the appeal denying the demolition permit DBI issued on the fire-damaged Verdi Apartments building, until such time as the owner group makes public a clear replacement reconstruction plan and a specific commitment plan to fully accommodate the return rights of the building's former tenants.

To do otherwise would be to send a signal, intentionally or not, to real estate bad actors that it could be lucrative in residential multi-unit fire disasters to conduct a delaying campaign until tenants wishing to return just give up, or the building crumbles; thus allowing owners to abandon their obligations to rent-controlled tenants and the city's goals of preserving affordable rent-controlled housing.

Fire is not a licence to clear out a formerly occupied piece of land in order to make way for an enormously profitable larger luxury rental/condo project.

Yet, this very thing is threatened all over the city. Tenants are the forgotten ones in a rush to build anew.

Fire is, first and foremost, the pain and suffering of the people suddenly torn from their homes. They are thrown into a hardship-filled struggle to survive while waiting to return, or a frantic, doomed scramble for someplace else affordable to live in this highest-priced city where ordinary people have no hope.

This Verdi building case occurs amidst a pattern we are increasingly seeing in other fire-damage situations across the city.

Instead of a chance to restore people's homes and communities, some developers view fire disasters as an opportunity to get rid of smaller, affordable residential or mixed-use buildings and their occupants, in order to replace them with far more profitable larger luxury buildings, especially in highly desirable land-scarce areas.

Commissioners, I know it is not your job to create new policy that is much-needed to provide stronger protections for fire-displaced tenants.

But I do believe it is within your purview to make sure that laws and other protections for one segment of the public are not trampled or abandoned in favor of others.

Surely there is a balance where both can co-exist.

It must start with making sure that no demolition goes forward unless fully documented, city department-approved & monitored, and vetted as to the exact scope and necessity of such a drastic action. And that any demolition of a rent-controlled building is accompanied by just and lawful accommodations for former tenants, including all their rights of return, and the continuance of rent control on any subsequent reconstruction.

I'm glad this appeal has been filed, as it has brought rare, much-needed attention and public scrutiny to a citywide fire disaster tenant displacement crisis.

I urge granting this appeal -- in view of all of the above, plus additional questions of historic significance, environmental concerns, confusion over the scope of demolition, and failure of proper permit issuance notification.

Thank you,

Lorraine Petty,
Tenants Rights and Affordable Housing Advocate for Seniors

It must start with making sure that no demolition goes forward unless fully documented, city department-approved & monitored, and vetted as to the exact scope and necessity of such a drastic action. And that any demolition of a rent-controlled building is accompanied by just and lawful accommodations for former tenants, including all their rights of return, and the continuance of rent control on any subsequent reconstruction.

I'm glad this appeal has been filed, as it has brought rare, much-needed attention and public scrutiny to a citywide fire disaster tenant displacement crisis.

I urge granting this appeal -- in view of all of the above, plus additional questions of historic significance, environmental concerns, confusion over the scope of demolition, and failure of proper permit issuance notification.

Thank you,

Lorraine Petty,
Tenants Rights and Affordable Housing Advocate for Seniors

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 10:10 AM
To: Mejia, Xiomara (BOA)
Subject: FW: Verdi Building

BOARD OF APPEALS

APR 20 2026

APPEAL # 26-019

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

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-----Original Message-----

From: Lucie Faulknor <lucie@serendipityfilms.org>
Sent: Monday, April 20, 2026 10:09 AM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Subject: Verdi Building

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I am a North Beach resident and business owner. It feels like the recent push to demolish the Verdi Building is a classic "bait and switch" tactic. The 2023 community approved plans are now scrapped? Is it true the developer has been meeting with Supervisor Sauter over 25 times since his election? If so, that feels both unethical and underhanded. Please correct me if I am wrong, but I do not feel the bulldozing of the building is what we had all agreed upon. The new building as it is now proposed looks almost twice the size. Will the displaced tenants be able to move back in at the rate they were paying at the time of the fire (plus allowable rate increases) and continue to have rent control? I oppose this new plan.

Lucie Faulknor
1933 Stockton Street
San Francisco, CA 94133

Lamarre, Julie (BOA)

From: Rita Pisciotta <rbinsf@earthlink.net>
Sent: Monday, April 20, 2026 10:19 AM
To: BoardofAppeals (PAB); Sauter, Danny (BOS)
Subject: Verdi Building

Follow Up Flag: Follow up
Flag Status: Flagged

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

At a longtime resident and a property owner in North Beach I oppose the developers appeal to abandon the 2023 plans supported by the neighborhood for the Verde building at 659 Union St.
Rita Pisciotta
Sent from my iPhone

AD 4/22/26

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 10:56 AM
To: Mejia, Xiomara (BOA)
Subject: FW: North Beach - Verdi Building Demolition Permit

BOARD OF APPEALS

APR 20 2026

APPEAL # 26-019

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

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From: Morgan Pierce <mpierce@3north.com>
Sent: Monday, April 20, 2026 10:55 AM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Subject: North Beach - Verdi Building Demolition Permit

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board Members,

As a neighborhood business owner and an architect, I am writing in support of the appeal submitted by the North Beach Tenants Committee to revoke the demolition permit for 659 Union Street/1636 Powell Street (the Property) and require the Project Sponsor to preserve the iconic, historic building facade at this critical intersection on Washington Square in the heart of the renowned North Beach Neighborhood in accordance with the Project Sponsor's 2023 plans on file with the Planning Department.

Thank you,

Morgan

Morgan S. Pierce, AIA ASLA LEED-AP
Principal

3North

1736 Stockton Street, Studio No. 1
San Francisco, CA 94133
415 342 6021

3North.com

Richmond San Francisco

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 11:03 AM
To: Mejia, Xiomara (BOA)
Subject: FW: Verdi Building Appeal

BOARD OF APPEALS

APR 20 2026

APPEAL # 26-019

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

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From: Gary Oliver <garyoliver2002@yahoo.com>
Sent: Monday, April 20, 2026 10:58 AM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Cc: Sauter, Danny (BOS) <Danny.Sauter@sfgov.org>
Subject: Verdi Building Appeal

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board of Appeals President, Vice President and Commissioners,

My name is Gary Oliver. I am a long-time resident of North Beach (48 years).

I was shocked to learn about the proposed demolition of the Verdi building facade and the proposal for the new building.

How is it that the facade that has been standing as it is since 2018, is suddenly declared dangerous? Are we expected to believe that building inspectors were wrong about this during the previous 9 years?

How is it that the negligent owner, who did not rebuild the upper level apartments after the 2013 fire (and, according to SFFD, that the reason that the 2018 fire devastated the building), is going to be rewarded by being allowed to tear down an emblematic facade and now be allowed to build a building that is so out of character with the neighborhood?

This isn't taking place in an obscure corner of our neighborhood. The Verdi building is part of the buildings that surround and comprise our neighborhood's heart and soul, the Washington Square Park "campus," and the proposed building will erode the absolute charm that a day in that park can bring.

Politically, I'm really angry that 'bad actors' who are building owners are allowed to break laws or exploit loopholes to the detriment of San Francisco, and especially tenants, and rarely do they suffer any consequences AT ALL.

Putting aside that anger for a moment, I ask - is there any part of San Francisco that is worth preserving for cultural and esthetic purposes?

Please do not allow this facade to be torn down. It can be saved and if that is a more expensive option, maybe that is the consequence the owner must pay for his neglect.

I note that there is a new owner of this building. It reminds me of the appeal of 524-526 Vallejo. As Supervisor Melgar said at that BOS meeting, if you buy a stolen car, you have to relinquish it,

Thank you for your consideration.

Respectfully,

Gary Oliver
1869 Stockton Street, Apt 2
San Francisco, CA 94133

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 12:42 PM
To: Mejia, Xiomara (BOA)
Subject: FW: Verdi Buidling

BOARD OF APPEALS

APR 20 2026

APPEAL # 26-019

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

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From: PEGGY HUFF <phuff@sbcglobal.net>
Sent: Monday, April 20, 2026 12:13 PM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Subject: Verdi Buidling

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1
April 9, 2026
John Trasvina, President
Board of Appeals
City and County of San Francisco
San Francisco, CA 94102

RE: 659 Union Street Demolition Permit
Permit No. 2026/03/27/8418
Appeal No.: 26-019

Dear President Trasvina and Board of Appeals Members:

The North Beach Tenants Committee (Appellant) requests that the Board of Appeals grant this appeal, revoke the demolition permit for 659 Union Street/1636 Powell Street (the Property) and require the Project Sponsor to **preserve the iconic, historic building facade at this critical intersection on Washington Square in the heart of the renowned North Beach Neighborhood** in accordance with the Project Sponsor's 2023 plans on file with the Planning Department.

Thank you for your time and attention to this moment.

Peggy Huff
Ed Handelman

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 1:22 PM
To: Mejia, Xiomara (BOA)
Subject: FW: Verdi Building

BOARD OF APPEALS

APR 20 2026

APPEAL # 26-019

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

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-----Original Message-----

From: Greg Chiampou <gchiampou@gmail.com>
Sent: Monday, April 20, 2026 12:42 PM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Subject: Verdi Building

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board of Appeals:

I wholeheartedly support the North Beach Tenants Committee's appeal to halt the demolition of the Verdi Building. So many questions need to be answered about almost every step of the opaque process which authorized the building's demolition. Late and missing required public notifications, private negotiations that circumvented the public's right to know, re-design plans before and after Planning Dept. submissions, et al.

Please uphold the appeal. Thank you.

Greg Chiampou
345 Filbert St.
San Francisco

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 1:36 PM
To: Mejia, Xiomara (BOA)
Subject: FW: Demotion of Verdi Building - don't let it happen! BOARD OF APPEALS

Importance: High

APR 20 2026
APPEAL # 26-019

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

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-----Original Message-----

From: Mary Sullivan <maryksullivan4@gmail.com>
Sent: Monday, April 20, 2026 1:35 PM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Cc: Sauter, Danny (BOS) <Danny.Sauter@sfgov.org>; Jeffrey Graham <jg@graham-arch.com>
Subject: Demotion of Verdi Building - don't let it happen!
Importance: High

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board of Appeals. . .
As long time North Beach residents who live 3 blocks from the Verde Building, we're utterly outraged by the lack of transparency by Supervisor Sauter and the Planning Department with the community regarding the fate of the historic Verde Building.

Some months ago I attended a meeting in support of the North Beach Historic District. I was thoroughly unimpressed by Supervisor Sauter's argument against its designation. Now I know why.

It's completely apparent that they have had ongoing private dealings with the owners of the building and Sauter has made an end run around his own constituents when it comes to its demolition.

Washington Square is the heart of North Beach. The adjacent buildings reflect the historical significance of our community. I'm urging you to revoke the demolition permit and require the developer to honor the 2023 plans on file with the Planning Department. The master plan incorporates the historic facade, a height limit that is in keeping with other adjacent buildings (and that won't cast shadows over our beloved park) and adds a reasonable amount of new units.

The majority of residence don't want nor feel it's appropriate to have a supersized structure at this corner. It will forever change the character of our unique and historic neighborhood.

Sincerely,

Mary Sullivan and Jeffrey Graham

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 2:31 PM
To: Mejia, Xiomara (BOA)
Subject: FW: Pls Do Not Upzone Verdi Building

BOARD OF APPEALS

APR 20 2026

APPEAL # 26-019

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

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From: Jeanette Traverso <jeanettetraverso@gmail.com>
Sent: Monday, April 20, 2026 1:59 PM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>; Sauter, Danny (BOS) <Danny.Sauter@sfgov.org>
Subject: Pls Do Not Upzone Verdi Building

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hello. As a 35-yr resident & property owner in North Beach, I vehemently object to upzoning the Verdi Building. Pls maintain & repair this property in keeping with the scale & character of our one & only North Beach neighborhood.

I am appalled by the damage that Sup Sauter is trying to do to North Beach. I have spoken to Sup Sauter twice in person, and he is unable to respond substantively to basic questions about what he supports and why re upzoning North Beach and the waterfront. He should step down and be replaced by someone with a heart for the hood.

Sincerely,
Jeanette Traverso
415-264-9043

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 2:31 PM
To: Mejia, Xiomara (BOA)
Subject: FW: Support - Appeal No.: 26-019

BOARD OF APPEALS

APR 20 2026

APPEAL # 26-019

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

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From: Kathy Howard <kathyhoward@earthlink.net>
Sent: Monday, April 20, 2026 2:08 PM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Cc: Sauter, Danny (BOS) <Danny.Sauter@sfgov.org>; SauterStaff <SauterStaff@sfgov.org>; CPC-Commissions Secretary <commissions.secretary@sfgov.org>; Board of Supervisors (BOS) <board.of.supervisors@sfgov.org>
Subject: Support - Appeal No.: 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear President Trasvina and Board Members,

Please revoke the demolition permit for 659 Union Street/1636 Powell Street and require the Project Sponsor to preserve the building facade that faces the intersection at Washington Square, as outlined in the Appeal.

It is a sad comment on our current City government that public was kept in the dark over the plans to demolish this building. It is shameful that the people who are supposed to fight for and protect the beauty of San Francisco seem to be so intent on destroying the very features that make our City attractive not only to those of us who live here but also to visitors, who come to enjoy the uniqueness of our architecture and, incidentally, help to shore up our economy with their dollars.

The Board of Appeals is our defense against this kind of destruction and wonton disregard of the process that is in place to support sensible and fair planning practices.

Please support this appeal and revoke the misleading demolition permit. Thank you for your consideration.

Katherine Howard
Outer Sunset

HO 4/22/26

FILE

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 2:47 PM
To: Mejia, Xiomara (BOA)
Subject: FW: Appeal Regarding Proposed Demolition of the Verdi Building Facade

BOARD OF APPEALS

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

APR 20 2026

APPEAL # 26-019

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From: Meredith Axelrod <meredithanthraxelrod@gmail.com>
Sent: Monday, April 20, 2026 2:35 PM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>; Sauter, Danny (BOS) <Danny.Sauter@sfgov.org>
Subject: Appeal Regarding Proposed Demolition of the Verdi Building Facade

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Dear Board of Appeals President, Vice President, and Commissioners,
My name is Meredith Axelrod, and I am a 20-year resident of North Beach. I am writing to express my deep concern about the proposed demolition of the Verdi building facade and the plans for new construction in its place.
It is difficult to understand how a facade that has stood without issue since 2018 has only now been deemed structurally dangerous.
Equally troubling is the history of the building's ownership. The failure to restore the upper-floor apartments following the 2013 fire, which, according to the SFFD, contributed directly to the severity of the 2018 fire, reflects a pattern of negligence. It would be deeply unjust if that same negligence were now rewarded with the ability to demolish a beloved landmark and replace it with a structure entirely at odds with the character of the surrounding neighborhood.
The Verdi building is not a peripheral structure; sits at the edge of Washington Square Park, the cultural and social heart of North Beach. The park's charm depends on the architectural integrity of the buildings that frame it. Allowing this demolition would cause irreversible harm to that character.
Beyond this specific case, I am concerned about a broader pattern in which property owners who

disregard the law or exploit legal loopholes face little to no accountability, while tenants and communities bear the consequences.

I urge the Board to consider: are there not places in San Francisco worth protecting for their cultural and architectural significance? The Verdi facade should be preserved.

I would also note that the building has recently changed hands. As Supervisor Melgar observed during the appeal of 524–526 Vallejo, **purchasing a property does not absolve a new owner of its prior obligations.**

Please do not allow this facade to be demolished. I ask that you uphold the integrity of our neighborhood and hold all parties accountable.

Thanks for your time and consideration.

Sincerely,

Meredith Axelrod

1869 Stockton St. Apt 4

San Francisco, CA 94133

AD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: BoardofAppeals (PAB)
Sent: Monday, April 20, 2026 3:40 PM
To: Mejia, Xiomara (BOA)
Subject: FW: Demolition of Historic walls of Verdi building in North Beach

Alec Longaway
Legal Assistant, San Francisco Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103
Work PH: 1-628-652-1152
Cell: 1-415-746-0119

BOARD OF APPEALS

APR 20 2026
APPEAL # 26-019

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From: Yahoo AT&T <jlansing@pacbell.net>
Sent: Monday, April 20, 2026 3:32 PM
To: BoardofAppeals (PAB) <boardofappeals@sfgov.org>
Cc: Sauter, Danny (BOS) <Danny.Sauter@sfgov.org>
Subject: Demolition of Historic walls of Verdi building in North Beach

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

To All:

As a long time resident of this area, I strongly disagree with the issuance of a demolition permit for the Verdi Building and the new intention of the developer to build 10 stories on the site. The important neighborhood organizations of North Beach were not consulted. Unfortunately, Danny Sauter, who is suppose to represent our North Beach neighborhood, failed again to do so and secretly met with the developers numerous times to work out an alternate deal he knew would not pass muster with the

neighborhood. He has a habit of not representing his constituents and I, for one, would like the Board of Appeals to put a stop to this. A reasonable plan had been worked out for the Verdi building reconstruction long ago that would fit in with the neighborhood and proposed historic district.

Thank you,

Jim Lansing

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: Philip Millenbah <millenbah@gmail.com>
Sent: Monday, April 20, 2026 9:21 PM
To: BoardofAppeals (PAB)
Subject: Appeal of Demolition of Building Façade at 659 Union Street

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BOARD OF APPEALS

April 20, 2026

APR 20 2026

RE: Appeal of Demolition of Building Façade at 659 Union Street

APPEAL # 26-019

Dear Members of the Board of Appeals;

I am writing to respectfully urge the Board to deny the pending appeal regarding the demolition of the building façade at 659 Union Street. This matter is one of urgent public safety and warrants your immediate action.

The structure, in its current condition, poses a significant and ongoing risk to the health and safety of pedestrians, residents, and visitors who pass through this area daily. The deteriorated façade is at risk of collapse and, as a result, its continued presence is not compatible with the City's commitment to pedestrian safety.

I was present on the night of the fire and, at that time, fully expected that the property would be promptly addressed — both out of necessity for public safety and in recognition of the economic vitality of the North Beach neighborhood. Regrettably, that has not occurred. There is no compelling justification for the façade to remain standing, and further delay only compounds the risk to the surrounding community.

The City has made meaningful strides in recent years to prioritize pedestrian safety. Allowing this hazardous structure to remain undermines those efforts and sends an inconsistent message to residents and business owners who depend on safe, well-maintained streetscapes.

I respectfully request that the Board deny the appeal and authorize the prompt demolition of the façade at 659 Union Street. Doing so is consistent with the City's obligations to protect public safety and to honor the trust of the residents it serves.

Thank you for your consideration of this matter.

Respectfully submitted,

Philip Millenbah

829 Lombard St., San Francisco

HD 4/22/26

Mejia, Xiomara (BOA)

From: apps.rides5p@icloud.com
Sent: Tuesday, April 21, 2026 3:33 AM
To: BoardofAppeals (PAB)
Subject: Opposition to Verdi building plans

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

This is Roman Coppola. I live in the neighborhood. I've been in North Beach resident for over 14 years and have grown up in and around the city.

This building which used to have a few restaurants and Coit liquors should be rebuilt more in the spirit of supporting the neighborhood .

I oppose the new plans and hope that something more appropriate can be built in that space

Roman Coppola

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: Paul Knowles <pablokimon@gmail.com>
Sent: Tuesday, April 21, 2026 1:51 PM
To: BoardofAppeals (PAB)
Cc: Sauter, Danny (BOS)
Subject: Verdi Building situation

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

Follow Up Flag: Follow up
Flag Status: Flagged

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board of Appeals staff,

As a San Franciscan since 1995, and resident and property owner in North Beach, I am writing to support the appeal filed by the North Beach Tenants Committee, to halt the demolition of the original Verdi Building. As a supporter of the North Beach Historic District, I do not support the removal of historic buildings or their facades, and whole-heartedly hope that what remains of the Verdi Building will be preserved as much as possible and not extend beyond its original height. This is crucial to preserving the historic character of this incredible neighborhood and maintain the rights of tenants who have been promised to return to their homes (in rent controlled units) upon restoring the original building. Thank you for considering my perspective on this matter.

Sincerely,

Paul Knowles

P.S. it is so sad to see the “politician in the pocket of the developers” trope from fiction play out in real life.

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: North Beach Guest Suite <northbeachguestsuite@gmail.com>
Sent: Tuesday, April 21, 2026 2:14 PM
To: BoardofAppeals (PAB)
Cc: Sauter, Danny (BOS)
Subject: Please preserve the Verdi Building and maintain historic North Beach **BOARD OF APPEALS**

Follow Up Flag: Follow up
Flag Status: Flagged

APR 21 2026
APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board of Appeals Staff,

As a native San Franciscan, and resident and property owner in North Beach since 1998, I am writing to support the appeal filed by the North Beach Tenants Committee, to halt the demolition of the original Verdi Building. As a supporter of the North Beach Historic District, I do not support the removal of historic buildings or their facades, and whole-heartedly hope that what remains of the Verdi Building will be preserved as much as possible and not extend beyond its original height. This is crucial to preserving the historic character of this incredible neighborhood and maintain the rights of tenants who have been promised to return to their homes (in rent controlled units) upon restoring the original building.

Thank you for considering my perspective on this matter.

Sincerely,

- S

#D 4/22/26

FILE

Mejia, Xiomara (BOA)

From: Daniel Ma <danny1mac@sbcglobal.net>
Sent: Tuesday, April 21, 2026 2:23 PM
To: BoardofAppeals (PAB)
Cc: Board of Supervisors (BOS); Stuart Watts; Aaron Peskin; Aaron Peskin
Subject: Support for Appeal to SAVE THE VERDI BUILDING!

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

Follow Up Flag: Follow up
Flag Status: Flagged

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Attention SF Board Of Appeals,

Please be aware that several years ago in 2023 owners along with their developers of the burned out Verdi Building requested to attend one of our North Beach Business Association Board Meetings and make a presentation about rebuilding the Verdi Building. At that time and in our meeting they presented their plans which also included the addition of a small restaurant on the roof in an area of the building which would have no negative impact on surrounding views nor cast any shadows on Washington Square park. The plan looked very good. We welcomed their commitment to restore the historic character of the building, re-establish both former tenants and businesses in it particularly since the building has been a burned out shell for many years since the fire that destroyed its interior in 2013. We voted unanimously to support their plan as they said they needed community support to go forward with various city departments to permit and begin work as soon as possible.

However, years have now passed without any action to actually rebuild the building. Now they are claiming, without any proof, that the outer facade of the building is "unsafe" so they want to tear it down destroying the original historic architecture and build a high-rise high cost condo building excluding former rent controlled units and their tenants along with the original small businesses in it. It is now clear that the owners and their developer were and are disingenuous and have betrayed their original reconstruction plans for new ones which are based upon greed, excluding former neighborhood and commercial tenants along with any pretense of preserving the character and culture of our North Beach Commercial district and neighborhood as seen in our existing neighborhood architecture.

Please support the Appeal before you to stop the complete demolition of our Verdi Building and preservation the culture and character of our North Beach reflected in our historic architecture.

Thank You,

Daniel Macchiarini
Macchiarini Creative Design
SF Legacy Business in our 78th year
Board Member and Passed President
North Beach Business Association

HO 4/22/26

FILE

Mejia, Xiomara (BOA)

From: Jan Holloway <jmholl@mac.com>
Sent: Tuesday, April 21, 2026 2:55 PM
To: BoardofAppeals (PAB)
Subject: Appeal No. 26-019 i

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

Follow Up Flag: Follow up
Flag Status: Flagged

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April 21 April 21, 2026

To the Board -

I am in shock. The unfolding drama that has included meetings by top city officials with developers of the proposed demolitions of the 112-year-old historic building basically "in the dark" is shameful. Briefly these questions and comments remain:

1. Was the building truly an imminent danger to the community?
2. If it was a hazard, why wasn't the North Beach community notified in time to be heard?
3. The appeal was filed not by a single person, but the long time the North Beach Tenants Committee
4. For decades our North Beach has had strong commitment by individuals who have saved San Francisco's little gem. And they continue to work toward creating a North Beach Historic District that will bring strong guidelines to future development.

Finally, The end-run around not replacing rent-controlled units is an act of sheer broken promises

I trust the Board will respectfully support our appeal. It is for the future of fair play in planning issues. Please keep that in historic mind set.

Janice Holloway San Francisco resident
Former North Beach home owner and gallery owner Telegraph Hill Dwellers Board of Directors 1995 - 2004
Art Gallery Francisco St 1988 -1994

HO 4/22/26

FILE

Mejia, Xiomara (BOA)

From: Bernard Dethiers <bdethiers@yahoo.com>
Sent: Tuesday, April 21, 2026 3:03 PM
To: BoardofAppeals (PAB)
Subject: In Support of the Appeal for the Verdi Building

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

Follow Up Flag: Follow up
Flag Status: Flagged

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Dear members of the Board of Appeals

Please vote in favor of the appeal for the Verdi Building (on Union street.)

The structure planned to replace it is oversized, and just doesn't fit in our neighborhood. In addition, 28 rent control units will be lost in the process.

Sincerely,

Bernard Dethiers

Mejia, Xiomara (BOA)

From: Nanci G A G L I O <nancigaglio@gmail.com>
Sent: Tuesday, April 21, 2026 3:04 PM
To: Sauter, Danny (BOS); BoardofAppeals (PAB) BOARD OF APPEALS
Subject: Opposition to Verdi Building Proposal & Request for Accountability APR 21 2026

Follow Up Flag: Follow up
Flag Status: Flagged APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Supervisor Sauter,

I am writing to express strong opposition to the proposed oversized development at the Verdi Building site.

The previous plan to restore the Verdi Building was in a way that respected its scale, character, and the needs of its tenants. That commitment mattered to residents, to the neighborhood, and to the integrity of the process. The current proposal represents a clear departure from that promise. Instead of restoration, we are now facing demolition and a significantly larger structure that disregards both the building's history and the community's trust. How could you allow this?

Can you imagine the shadow over Washington Sq Park?

Equally concerning is the active opposition to North Beach Historic District designation. From a community perspective, the reasons to resist designation are unclear unless the goal is to remove constraints that protect neighborhood scale and prevent overdevelopment. Historic designation exists to preserve continuity, protect tenants, and ensure that development aligns with the character of the area not to obstruct progress, but to guide it responsibly.

This raises a fundamental question:

Why is there resistance to historic designation when it would safeguard the very qualities that make North Beach livable, culturally significant, and economically vibrant? Why would you want to destroy that? I have NOT been given any decent reason and I've posed this question to Mayor Lurie more than once and he's dodged answering. So **I'm asking you. Why?**

The pattern of engagement with developers and lobbyists, combined with this shift in direction, creates the appearance that community interests are being deprioritized. At minimum, it warrants transparency and a clear explanation to the constituents you represent.

I urge you to:

Honor the original commitment to restore the Verdi Building in line with the approved plan

Support historic district designation to protect neighborhood integrity

Recenter tenant protections and community input in this decision

The community is paying close attention. We are asking for consistency, transparency, and leadership that reflects the interests of residents, not just development pressures.

Sincerely,

Nanci Gaglio

HD 4/22/26

FILE

Mejia, Xiomara (BOA)

From: Nancy Bertossa <n_bertossa@yahoo.com>
Sent: Tuesday, April 21, 2026 3:16 PM
To: BoardofAppeals (PAB)
Subject: Verdi Building (659 Union Street)

BOARD OF APPEALS

APR 21 2026

Follow Up Flag: Follow up
Flag Status: Flagged

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board of Appeals,

There is something seriously not right about this urgent, out-of-the-blue need to demolish the Verdi Building.

Please look closely at the progression of this project and what the developers received approval to build, and what the community thought they were supporting. Then, seriously deliberate about why there is this sudden "about face" to demolish the building and build a totally redesigned, out-of-scale building for North Beach, completed unsupported by San Francisco residents.

There is something rotten in Denmark here. "Follow the money" and you'll find out what it is.

- Nancy Bertossa
463A Chestnut Street
San Francisco, CA 94133

HD 4/22/26

Mejia, Xiomara (BOA)

From: blandina farley <blandinafarley@gmail.com>
Sent: Tuesday, April 21, 2026 3:43 PM
To: BoardofAppeals (PAB); Sauter, Danny (BOS)
Subject: In Support of the Appeal

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

Follow Up Flag: Follow up
Flag Status: Flagged

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Members of the San Francisco Board of Appeals

I am writing regarding the historic Verdi Building in North Beach and the future of our neighborhood.

I've lived in North Beach for most of my life. I am an artist and tour guide honored to share the rich history and colorful character of this extraordinary neighborhood with locals & visitors from around the world. North Beach is not just where I live, it's a cultural landmark. Its architecture, small businesses, artistic legacy, and deeply rooted community spirit are what draw both locals and international travelers.

I live one block from the Verdi Building and witnessed the fire on St. Patrick's Day evening.... In fact just an hour before, our incredible SF Fire Department had been in my apartment preventing a serious flood from a burst pipe. I remember saying, "thank goodness it wasn't a fire." Less than an hour later, the Verdi Building was up in flames... Even then I instinctively knew the fire had a greater significance because of its prime location.... I understand what happens next. ...When buildings like the Verdi are left to deteriorate, they become prime targets not for preservation, but money making opportunities for large-scale development.

It is deeply concerning that a previously supported community proposal has now been abandoned in favor of a 100-foot, luxury mixed-use development—more than twice the height of surrounding buildings. This project would cast shadows over Washington Square and dramatically alter the scale and character of the neighborhood. If expanded to include adjacent properties, the footprint could become even more overwhelming.

This is not just about one building. It is about a pattern. Promises made to 28 tenants to return appear to be at risk. Community-supported plans have been disregarded. And efforts to establish North Beach as an official historic district have been opposed.

North Beach is beloved because it is authentic. It is a place where small businesses, artists, musicians, and families have created something irreplaceable over generations. It has survived earthquakes, fires, and pandemics because of its resilience and community spirit. That spirit is now at risk.

Visitors come to San Francisco for neighborhoods like North Beach. We are part of what drives the city's cultural identity and economic recovery. Replacing historic buildings with oversized luxury developments may benefit a few in the short term, but it will erode the very character that sustains the city in the long run ...look at cities like Florence, Italy with passion for culture, art & architecture... a side benefit of this passion is the money from tourism that's sustains their economy

PS: I also wanted to add a thought that feels important to this conversation: Historic structures like Saint Francis Church in North Beach (circa 1849) and old St. Mary's Church in Chinatown (1854) were both restored after the 1906 earthquake...it seems to me that with today's advances in building technology and design we have an even greater capacity to restore the Verdi building

I urge you to:

- Protect the Verdi Building site from inappropriate high-rise development
- Honor prior community agreements and commitments to tenants
- Support the designation of North Beach as an official historic district
- Preserve the scale, culture, and integrity that make this neighborhood unique
-

North Beach is not just a neighborhood—it is one of San Francisco's cultural hearts. I ask you to stand with the community not to prevent progress but to find solutions that are authentic and and support a positive future for North Beach & San Francisco...

Respectfully,
Blandina Farley
North Beach Resident, Artist & San Francisco Tour Guide

blandinafarley@gmail.com

blandinatours.com

HD 4/22/26

Mejia, Xiomara (BOA)

From: Lance Carnes <lacarnes@gmail.com>
Sent: Tuesday, April 21, 2026 4:11 PM
To: Lamarre, Julie (BOA)
Cc: Longaway, Alec (BOA)
Subject: Fwd: 100-foot tall building proposed for 659 Union --- Recall Danny Sauter Now!

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Subject: 100-foot tall building proposed for 659 Union, Appeal No. 26-019

BOARD OF APPEALS

April 21, 2026
John Trasvina, President
Board of Appeals
City and County of San Francisco
San Francisco, CA 94102
RE: 659 Union Street Demolition Permit
Permit No. 2026/03/27/8418
Appeal No.: 26-019

APR 21 2026

APPEAL # 26-019

Dear President Trasvina and Board of Appeals Members:

Please grant this appeal, revoke the demolition permit for 659 Union Street/1636 Powell Street (the Property), and require the Project Sponsor to preserve the iconic, historic building facade at this critical intersection on Washington Square in the heart of the renowned North Beach Neighborhood in accordance with the Project Sponsor’s 2023 plans on file with the Planning Department.

The 100 foot high building proposed for 659 Union St has a huge shadow sweep over North Beach and the Park (see the diagram below). The shadow diagram below is for a 92-foot high building, and since the subject property is 100 feet high as proposed by the developer, it will have a much larger sweep, and worse effect on the neighborhood. The proposed project at 659 Union St will cast shadows over North Beach and the Park, as shown in the Shadow Fan diagram below.

But then there's the issue of shadows.

While the development as proposed was designed "to minimize [its] visual impact" and projected shadows on Washington Square, Washington Square has a designated zero tolerance (i.e., 0% Absolute Cumulative Limit) for new shadows to be cast upon the park by way of San Francisco's Sunlight Ordinance (a.k.a. Prop K).

And as confirmed by the preliminary shadow fan prepared by Planning, the project is likely to cast new shadows on Washington Square Park as proposed.



The blue square in the diagram above shows 659 Union at only 92 feet high, not 100 feet as proposed by Danny Sauter and the developer. The red line shows the extent of the shadow cast over Washington Square Park and North Beach by a 92-foot high structure (and much larger for the proposed 100-foot high structure). Source: Marina Times Feb 2020 (<https://socketsite.com/archives/2020/02/fore-shadowed-problems-for-proposed-north-beach-project.html>)

Please grant the Appeal, so that a more suitable structure can be proposed. Most buildings in the area next to Washington Square Park are 40 feet high.

FILE

HD 4/22/26

Mejia, Xiomara (BOA)

From: L Johns <ljohns@metacosmos.org>
Sent: Tuesday, April 21, 2026 4:06 PM
To: BoardofAppeals (PAB)
Subject: In Support of the Appeal: Verdi building

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hello, Kindly uphold halt to demolition of the Verdi building in North Beach, pending hearing on the merits of proposed new building, including its original consistent with community input and the current, which isn't at all. ;-)
Thank you! Local resident, Lucy Johns



HO 4/22/26

FILE

Mejia, Xiomara (BOA)

From: Notara Lum <Entara@protonmail.com>
Sent: Tuesday, April 21, 2026 5:31 PM
To: BoardofAppeals (PAB); danny.sauter@sfgov.com
Subject: Verdi Building Appeal April 22, 2026

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear President Trasviña and members of the Board of Appeals,

Please uphold the appeal halting the Verdi Building demolition and help save this essential part of North Beach's heritage. Don't reward developers who waited to have the political pendulum swing their way, claim now that the whole building must be demolished. And why would the much larger building now proposed need to be erected to make it safe? Why wouldn't the 2023 plan, supported by neighbors, suffice?

The denial or approval of the demolition of the building is before you and I urge you to consider the precedent this razing will set. If you do not uphold this appeal, you will be green-lighting the willful neglect of a building left for years to crumble, the broken promises to the community, and bigger rewards for rapacious developers with plans already drawn up to make more money by denuding the character of one of the best corners of our great city of San Francisco.

Thank you,
Notara Lum
Russian Hill Community Association

HO 4/22/26

FILE

Mejia, Xiomara (BOA)

BOARD OF APPEALS

From: John Borruso <borruso@mindspring.com>
Sent: Tuesday, April 21, 2026 5:39 PM
To: BoardofAppeals (PAB)
Cc: Sauter, Danny (BOS)
Subject: Regarding 659 Union Street Demolition Permit / Appeal #26-019

APR 21 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Regarding 659 Union Street Demolition Permit / Appeal #26-019

Dear President Trasviña and members of the Board of Appeals,

Please grant this appeal stopping the Verdi Building's demolition and save this key part of North Beach's heritage.

We in the community have waited years for the reconstruction of this important building. Plans were presented in 2023 for a new building preserving the historic frontages along Columbus, Union, and Powell. Delaying and claiming deterioration is a recurring tactic in this city for those seeking demolitions. Allowing the erasure of this building sets a terrible precedent for unscrupulous developers going forward.

Demolition of the Verdi Building must not be allowed. It must be reconstructed and displaced tenants must return to their rent-controlled homes.

I appreciate your consideration.

Sincerely,
John Borruso
Russian Hill Community Association

HO 4/22/26

Mejia, Xiomara (BOA)

BOARD OF APPEALS

From: J. Matthew Mackowski <jmm@thpartners.net>
Sent: Tuesday, April 21, 2026 6:16 PM
To: BoardofAppeals (PAB)
Cc: Sauter, Danny (BOS); Susan Mackowski; Creighton Casper; Patricia Casper
Subject: Verdi Building at 659 Union Street
Attachments: Appeal No. 26-019 Appellant Brief + Exhibits.pdf

APR 21 2026
 APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board of Appeals members:

My wife Susan and I, residents of SF District 3, strongly oppose the demolition of the Verdi building to be replaced by a building completely out of scale to the surrounding North Beach neighborhood and Washington Square Park. Based on the investigations by the Northeast San Francisco Conservancy, email attached, it appears that the developer of the proposed building has engaged in subterfuge to quickly demolish the building and proceed with a development not at all resembling the previously approved redevelopment plan.

We urge you to stop the demolition and reject the massive, out of character structure that has been put forward.

Yours truly,

Matt and Susan Mackowski
260 Chestnut Street
San Francisco, CA 94133

----- Forwarded message -----

From: **Northeast San Francisco Conservancy** <outreach@nesfc.org>
Date: Mon, Apr 20, 2026 at 9:53 AM
Subject: Historic District Development
To: NB Historic District Emails to OHP1 <outreach@nesfc.org>

What a disappointment Sauter is!

Dear Neighbors and North Beach Historic District Supporters,

New developments at the **Verdi Building at 659 Union Street** prompt this **urgent update**.

District 3 **Supervisor Danny Sauter** recently announced his support for the total demolition of the exterior walls of this 112-year-old historic building, suddenly claiming that the structure damaged in 2013 and 2018 fires is now an imminent danger.

The building's owners, despite years of promises to tenants and the community to rebuild and preserve the historic exterior, reversed course and on March 27th obtained an over-the-counter demolition permit. **The North Beach Tenants Committee immediately leaped into action and filed an appeal of the demolition permit which** forced a temporary halt of the demolition. (A copy of the appeal is attached if you want to read it). **The appeal is being heard at the Board of Appeals this Wednesday April 22, 2026, at 5:00 pm at City Hall Room 416.**

In response to the appeal, the developer revealed his intent to abandon the 2023 plans supported by the neighborhood in favor of a 100-foot high, mixed-use luxury condo building - over twice as high as the rest of the surrounding neighborhood - that will cast shadows on Washington Square. And if the adjacent garage is also included in the developer's project, the footprint for a 10-story building will be massive. Now it is clearer why the building owner and his representatives urged Supervisor Sauter to oppose the proposed North Beach Historic District last year.

Supervisor Sauter's inaccurate claims included:

1. That the building was suddenly such an "imminent hazard" that it couldn't wait for the legally required 14-day public notification period despite plenty of information in the city's records that do not support this position and the fact that the developer has been lobbying Supervisor Sauter and the City for a demolition permit for many months. ***If the building posed such an imminent danger, why wasn't the community notified until after the demolition began? Shouldn't former tenants and the community be the first to know? Especially if it's a matter of safety as Supervisor Sauter claims?***
2. That it was stopped by a single person's appeal. The truth is the appeal was filed by a long standing respected organization, the North Beach Tenants Committee, that has been advocating for tenants' rights for over a decade.

We all know something has to be done about the Verdi Building, but ***what is done must respect our historic neighborhood, honor the former tenants' right to return, and not make an end run around replacing the rent-controlled units.***

While the community, business owners, and former tenants have intentionally been left in the dark, Supervisor **Sauter has been in close communication with the Verdi building developer** since taking office over 15 months ago. Ethics Department records show owner Jeff Jurow and his **lobbyist, former Planning Department employee Kate McGee**, met with the Planning and Building Department staff, and Supervisor Sauter and his staff **25 times** – just since January 2026.

McGee began working for Jurow in 2025 urging **Supervisor Sauter to ask the mayor to block North Beach from its many year quest to become an officially recognized Historic District.** That's right, our Supervisor and the Verdi Building developer have been working to kill the North Beach Historic District.

But this isn't just about aesthetics. While North Beach deserves an appropriate façade and height limit at this historic corner on Washington Square, if the replacement structure is deemed "new construction," rent-control laws no longer apply and **the tenants' right to return is conveniently extinguished** – with **28** former rent-controlled apartments likewise destroyed forever. There is so much at stake!

Please consider sending an email to the Board of Appeals supporting the appeal by no later than 12:00 pm this Wednesday, April 22, 2026. Or better yet, come join us and make a public comment at the Board of Appeals hearing at 5:00 pm this Wednesday April 22 in City Hall, Room 416.

Email the Board of Appeals at boardofappeals@sfgov.org
and be sure to copy Supervisor Sauter at Danny.Sauter@sfgov.org

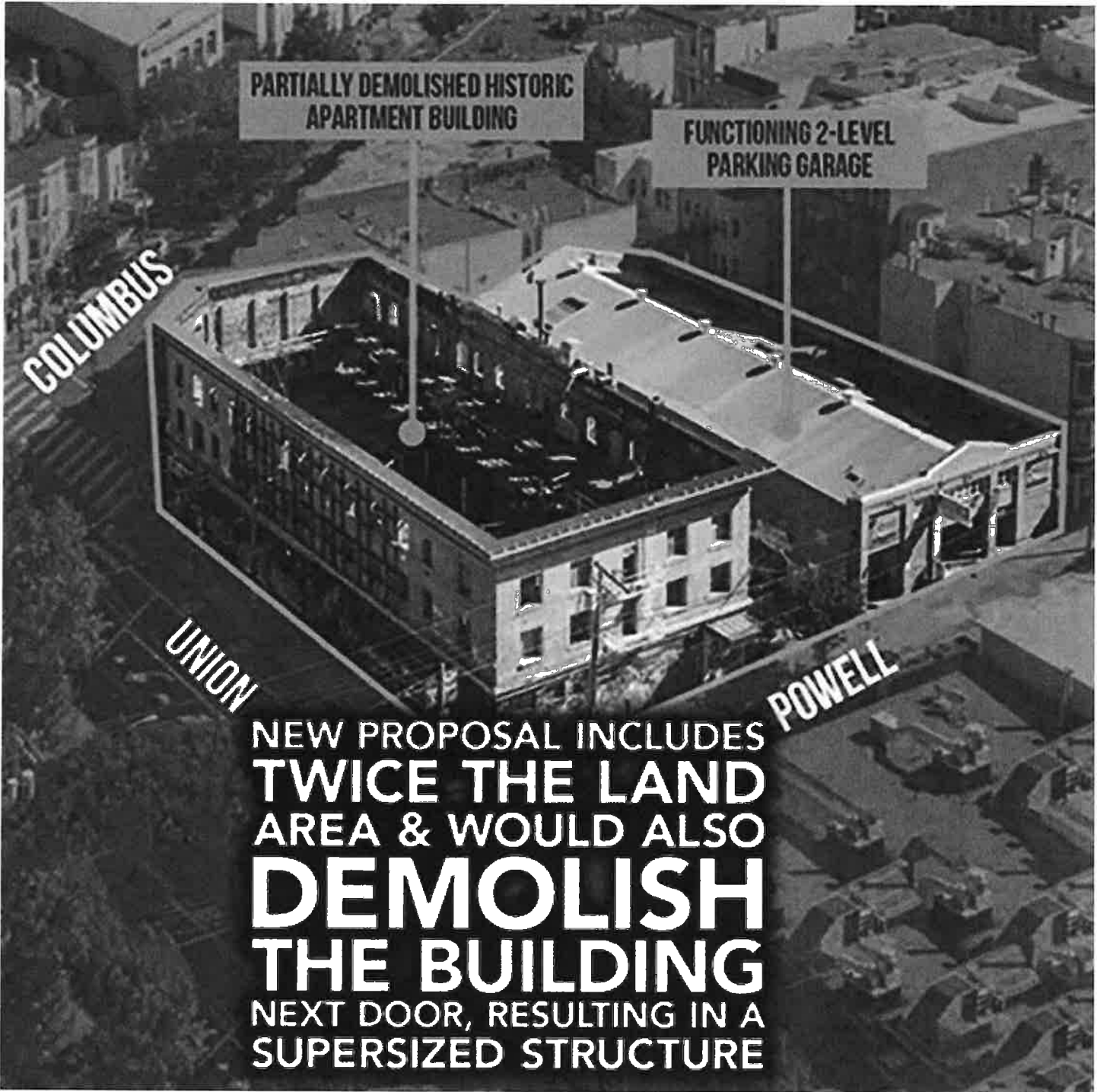




**VERDI BUILDING – REA
JUNE 2023 PLA
COMMUNITY & DEVELOPE
APPROVED – WHAT HAPPENE**



**VERDI: FRONT OF NEW
PROPOSED STRUCTURE
100 FT – OVER 2X
ORIGINAL HEIGHT**



HO 4/22/26

Mejia, Xiomara (BOA)

From: Liam Hennessy <dolbay@hotmail.com>
Sent: Tuesday, April 21, 2026 6:49 PM
To: BoardofAppeals (PAB)
Subject: In Support of the Appeal

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

To whom it may concern,

As a native San Franciscan and a North Beach resident I am asking that you please do not allow the current proposal for the Verdi building to go ahead PLEASE SUPPORT OUR APPEAL.

I am an advocate for preserving North Beach for other generations after me so that they too can realize the beauty and rich history of this neighborhood as I have since I was a child.

The current plan to abandon a previously community-supported proposal for the Verdi building in favor of a much larger project: a roughly 80 to 100 market rate condominiums that could rise more than twice the height of surrounding structures, potentially casting shadows over Washington Square, changing the whole character of the neighborhood cannot occur.

If combined with the adjacent garage site, the development footprint could expand into a 10-story building. It was agreed to in 2023 that the tenets that lived there before could go back and have rent control. These new condos will be out of reach for MOST OF ALL SAN FRANCISCANS let alone the ones that lived there before the fire.

Beyond the hideous design that does not fit into the existing neighborhood, the stakes include the potential loss of 28 rent-controlled units if the project proceeds as new construction, eliminating tenants' rights to return.

I am also concerned that our Supervisor, Sauter, who along with the Mayor blocked the process of North Beach becoming a Historical Neighborhood so that the "Up Zoning" scheme could come into being; and that the developer of the Verdi building actively advocated against North Beach's Historic District with help from Supervisor Sauter. This raises serious concerns in my mind that the Supervisor's position aligns more closely with a coordinated lobbying effort than with the interests of the residents of North Beach. The development of the building as of 2023 was in keeping with what the majority of the residents felt was appropriate for the neighborhood. If the building hadn't had a fire, the tenets would still be living there and the neighborhood would still have the charm of the 100 plus old building on the corner.

Please support the appeal.

Thank you for your time.

Sincerely

Liam Hennessy

169 Pfeiffer Street

San Francisco. Ca 94133

HD 4/22/26

Mejia, Xiomara (BOA)

From: linda ray <dadaray2002@yahoo.com>
Sent: Tuesday, April 21, 2026 8:39 PM
To: BoardofAppeals (PAB)
Subject: In Support of the Appeal

BOARD OF APPEALS

APR 21 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board Members - I was surprised to hear that instead of being rebuilt and allowing for displaced tenants to return as was the plan in 2023, the plan now is to demolish the whole building and replace it with a much larger project that would then exclude the previous tenants rights to return to rent controlled units. The owners and developers seek to extract as much profit as possible at the detriment of the entire community and go back on past pledges regarding the most responsible way to proceed. They would make a profit off the 2023 community supported building plan, just not as much as they now want. The Verdi building facade deserves to be salvaged and remain a vital part of our neighborhood and preserve rent controlled apartments that our city also needs. Do not reward this dubious method of functioning by allowing this demolition to proceed. Sincerely, Linda Ray dadaray2002@yahoo.com District 3 resident

HD 4/22/26

Mejia, Xiomara (BOA)

From: Marc Norton <nortonsf@protonmail.com>
Sent: Wednesday, April 22, 2026 4:57 AM
To: BoardofAppeals (PAB)
Subject: Grant the North Beach Tenants Committee appeal of the 659 Union Street demolition permit

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BOARD OF APPEALS

APR 22 2026

APPEAL # 26-019

RE:
Permit #2026/03/27/8418
Appeal #26-019

Dear President Trasvina and Board of Appeals Members:

Justice demands that you grant the North Beach Tenants Committee appeal. The hurry-up and misleading process that is leading to the complete demolition of this historic structure is shameful. This is an iconic building, and the facade must be preserved. The Verdi Apartments qualifies as a historic resource on the National Register of Historic Places and on the California Register of Historical Places. Demolition of this treasure without even a plan in place to replace it is close to criminal.

I am a 50-year resident of San Francisco. It is time to put a stop to the ongoing destruction of our historic architectural legacy.

Sincerely yours,
Marc Norton
468 - 29th Street
San Francisco, CA 94131
(415) 648-2535 (landline)

HO 4/22/26

Mejia, Xiomara (BOA)

From: Jill Bittner <jillkb@earthlink.net>
Sent: Wednesday, April 22, 2026 5:07 AM
To: Sauter, Danny (BOS); SauterStaff; BoardofAppeals (PAB)
Subject: Appeal No. 26-019 at 659 Union Street

BOARD OF APPEALS

APR 22 2026

APPEAL # 86-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Appeal No. 26-019 at 659 Union Street

The amount of self-enriching, dirty-dealings in North Beach and fleecing of San Francisco that Sauter has been consistently attempting to shove through, out-of-sight from public scrutiny, is outrageous. The scam he is trying to pull with the historic Verdi building is an incredible injustice to our community and all of San Francisco. The historic Verdi building had 28 rent-controlled units and no construction should be considered for its location that does not include the same affordable housing that allows the fire-displaced tenants to return. And whatever is built should certainly be in character with the neighborhood and not a behemoth 8-story luxury housing development in place of the 2-story Verdi building.

These kinds of backroom, dirty deals, finagling the sale of rent-control properties in our district to the highest paying developer or contributor to his political ambitions have become a pattern for Sauter. I was just at City Hall 2 weeks ago arguing against the illegal conversion of a 4-unit rent-controlled property into a single-family mansion. And that’s just one of many examples of how he continues to contrive selling off our neighborhood piece by piece to the highest bidder.

Sauter is a wolf in sheep’s clothing. He pretends to be an affordable housing advocate. Yet he’s repeatedly setting dangerous precedents for destroying affordable rent-controlled housing in North Beach that has precedential implications for all of San Francisco. He is a festering sore actively wounding North Beach and the wounds he is inflicting in our community will have a legacy of destruction for the entire City. He doesn’t care about affordable housing, North Beach or San Francisco. He only cares about real estate, lining his pockets, the pockets of his developer buddies and his bro-mance alliances with Lurie, Weiner and their greedy motivations. IF the back room, dirty deal development he has planned for the Verdi building location is allowed to proceed, you are setting a very dangerous precedent.

Don’t give Sauter what he wants—to tear down all restrictions for development in SF, because that’s his goal. This 8-story luxury housing development he has planned to replace the Verdi building is NOT affordable housing and is against what the community has already agreed on is suitable for that location. If you approve this project, each of you will be at fault for the ruin of our beloved San Francisco. And we’ll all know where your convictions lie in the next election.

HD 4/22/26

Mejia, Xiomara (BOA)

From: Aarti Kelapure <aarti.kelapure@gmail.com>
Sent: Wednesday, April 22, 2026 7:08 AM
To: BoardofAppeals (PAB)
Cc: T Flandrich
Subject: Appeal Nr. 26-019 @ 659 Union / 1656 Powell

BOARD OF APPEALS

APR 22 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear President Trasvina & Commissioners,

I am a former tenant of Verdi Apartments, 1656 Powell, Apt. #200. I was displaced by the 2013 fire and intended to return when the building was repaired. The repairs were never done, and the subsequent fire in 2018 left essentially just the historical façade.

When owners filed plans for reconstructing our homes in 2023, I emailed Planner Feeney, sending my occupancy declaration from Hanford Freund Co. & Powell Partners, LLC, Superior Court Case No. CGC-18-568623, restating my right to return & notice of intention to return. In 2024, I was approached by the owner to buy out my tenancy, and I declined the offer. To be clear, I never terminated my tenancy.

I understand that the demolition has already gone beyond the filed 2023 plan for "partial demolition" only, and that the owner's intent is to demolish the entire façade. Since 2013, it has always been my understanding that repairs, alterations, would take place in reconstructing my home in the Verdi apartments and that I would return. I want to make sure my rights, and the right of return of my co-tenants are preserved.

I urge the Board of Appeals to condition the demolition upon allowing us to return to any housing built on this site.

Sincerely,

Aarti Kelapure

HD 4/22/26

Mejia, Xiomara (BOA)

BOARD OF APPEALS

From: Howard <wongaia@aol.com>
Sent: Wednesday, April 22, 2026 7:23 AM
To: BoardofAppeals (PAB)
Cc: Sauter, Danny (BOS)
Subject: SUPPORT GRANTING OF APPEAL---659 Union Street Demolition Permit, Permit No. 2026/03/27/8418, Appeal No.: 26-019

APR 22 2026

APPEAL # 26-019

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Howard Wong, AIA

April 22, 2026

TO: SF Board of Appeals boardofappeals@sfgov.org

CC: Supervisor Danny Sauter Danny.Sauter@sfgov.org

RE: 659 Union Street Demolition Permit, Permit No. 2026/03/27/8418, Appeal No.: 26-019

SUBJECT: SUPPORT GRANTING APPEAL

We need to honor past agreements and understandings, which resulted from years of neighborhood discussions, meetings, drawings, plans and presentations.

I attended neighborhood presentations, which resulted in a consensus building design---to rehabilitate the historic structure, preserve rent-control housing units, resurrect ground-level retail spaces, add a rooftop restaurant, and build a new structure on the adjacent lot---as documented by the records of the Building Department and City Planning Department.

This was a win-win design for the owner, tenants and neighborhood---profitable, just and community-building.

The abrupt attempt to demolish a historic structure lacks public notifications and equitable/transparent conferral with stakeholders, the public and public agencies.

There is no technical reason for demolition. Many downtown buildings have incorporated historic facades as defining features. The 110-year old façade has survived the Loma Prieta Earthquake and two fires. Existing shoring/ bracing can be supplemented with shotcrete on the interior faces of brick walls.

As a native of North Beach and an architect, I can vouch for the Verdi Apartment Building's historic contributions to the community---in terms of its architecture, affordable housing, people and five street-level shops and restaurants.

Consistent with previously approved plans and community consensus, I urge **support for granting of the appeal and revoking the demolition permit for 659 Union Street/ 1636 Powell Street.**

Sincerely, Howard Wong, AIA



■ ■ ■ ■ ■ ■

HO 4/22/26

Mejia, Xiomara (BOA)

From: mia morrill <mia.morrill@gmail.com>
Sent: Wednesday, April 22, 2026 7:45 AM
To: BoardofAppeals (PAB)
Subject: In support of the appeal Verdi Building

BOARD OF APPEALS

APR 22 2026

APPEAL # 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

I say YES to halting the demolition of the Verdi Building.
Do not allow the Historic Designation process to be abused.
The state historic commission is expected to consider the proposed district at its upcoming May meeting.

HD 4/22/26

April 22, 2026

John Trasvina, President
Board of Appeals
City and County of San Francisco
San Francisco, CA 94102

BOARD OF APPEALS

APR 22 2026

APPEAL # 26-019

Re: Appeal No. 26-019 VERDI BUILDING

Dear President Trasvina and members of the Board of Appeals:

I write in support of the Appeal to revoke the demolition permit for 659 Union Street/1636 Powell Street and to retain the historic Verdi Apartment Building. While there are several issues and irregularities associated with the current effort to demolish the building, chief among them is the loss of a significant historic building at the heart North Beach, one of the most recognizable neighborhoods in the world. This loss is compounded by the lack of accommodation for the former tenants of the Verdi Building as well as by the fact that plans submitted to the Planning Department in 2023 and largely supported by the community have not been followed.

The Verdi Building is a significant historic resource. It is not only a contributor to the National Register eligible North Beach historic district, but also individually eligible. In 2022, the San Francisco Planning Department hired a qualified expert to determine the historic significance of the building post fire. The city's expert determined that while some materials and workmanship were lost due to the fire, overall, the Verdi Apartments conveys its historicity sufficient to possess both significance and integrity.

The Verdi Building is located in one of the city's Priority Equity Geographies. According to the Planning Code SEC. 249.97 these are "neighborhoods with a higher density of vulnerable populations" and "areas where the City needs to expand permanently affordable housing investment". Demolition of the Verdi Building and enabling the entitlement of a replacement project that maximizes the density of the site, with little to no accommodation for the original tenants who wish to return to the building, is not in keeping with the intent of Planning Code **SEC. 249.97**.

To approve the demolition of the Verdi Building without a replacement project is bad for the neighborhood and bad for the city. The 2023 plan retaining the historic Verdi Building while incorporating new construction was largely supported by the community and should be pursued. Any new project on the site should incorporate the original brick material of the Verdi Building.

Sincerely,

Courtney Damkroger
District 3 resident

cc: Danny Sauter, Supervisor

Longaway, Alec (BOA)

From: Lydia Gegan <lydia.gegan@gmail.com>
Sent: Wednesday, April 22, 2026 10:30 AM
To: BoardofAppeals (PAB)
Cc: danny.sauter@sfgov.com
Subject: Urgent concerns regarding Verdi building development

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hello

I'm writing with urgent concerns regarding the recent events for the Verdi building development at 659 Union.

Supervisor Sauter's claim that the building poses an imminent threat to the community is dubious. This building has stayed vacant for years, why the urgency now? Why circumvent the 14-day notification period?

I also have ethics concerns that Supervisor Sauter has met 25 times with the building owner since January of this year. This feels like a coordinated effort to dupe residents of the neighborhood.

What happened to the neighborhood-approved plans from June 2023? This included 28 rent-controlled apartments, which we desperately need in this neighborhood.

While we absolutely must build more housing in the former Verdi building lot, I'm concerned that our supervisor has intentionally circumvented policy and procedure for no clear reason.

Thank you for your consideration,

Lydia Gegan, Jones st

Longaway, Alec (BOA)

From: kcourtney@xdm.com
Sent: Wednesday, April 22, 2026 10:50 AM
To: BoardofAppeals (PAB)
Cc: Robyn Tucker; Jamie Cherry ; Michele Sudduth ; SauterStaff; Theresa Flandrich; Notara Lum
Subject: APPEAL #26-019 VERDI BUILDING 659 UNION STREET HEARING 4-22-26

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Pasted below is the letter of the Russian Hill Community Association and Pacific Avenue Neighborhood Association urging the Board Appeals to accept the appeal and **exercise its *de novo* mandate** to direct the developer to proceed with the 2023 plan.

Russian Hill Community Association

April 22, 2026

Re: 659 Union Street Demolition Permit - Appeal #26-019

President Trasvina and Members of the Board of Appeals:

For over 30 years the Russian Hill Community Association has worked with owners, tenants, businesses and developers to achieve and maintain a livable community. We're well aware that contention oftentimes requires compromise to attain consensus.

The 2023 plan for the Verdi Building achieved that consensus – preserving that historic frontage along Columbus, Union and Powell so important to the community while providing the developer with the opportunity to build residential units.

The RHCA joins with our neighbor organization, the Pacific Avenue Neighborhood Association (PANA), to urge the Board of Appeals **to exercise its unique *de novo* mandate and direct the developer to proceed with the 2023 plan.**

The Appellant has provided significant information to support its appeal. The history of the development of the 2023 plan provides more support. Notwithstanding the significant lobbying you've been subjected to, **we urge you to exercise your *de novo* mandate and direct the developer to proceed with the 2023 plan.**

Sincerely,

Kathleen Courtney

Chair

Russian Hill Community Association

Cc: Robyn Tucker, President PANA; RHCA Leadership Team; Supervisor Danny Sauter; Appellant

Kathleen Courtney

kcourtney@xdm.com

510-928-8243

Longaway, Alec (BOA)

From: Bridget Maley <bridget.maley@gmail.com>
Sent: Wednesday, April 22, 2026 11:10 AM
To: BoardofAppeals (PAB)
Cc: Sauter, Danny (BOS); SauterStaff; Sucre, Richard (CPC); Dennis Phillips, Sarah (CPC); Wong, Wesley (CPC); Teague, Corey (CPC); Kane, David (DBI)
Subject: Appeal No. 26-019 Verdi Building 659 Union Street/1636 Powell Street

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

PLEASE DISTRIBUTE TO INDIVIDUAL BOARD OF APPEALS COMMISSIONERS

John Trasviña, President
Rebecca Saroyan, Vice President
Jose Lopez, Commissioner
Robin Abad Ocubillo, Commissioner
Lily Wong, Commissioner

Board of Appeals
City and County of San Francisco
San Francisco, CA 94102

Re: Appeal No. 26-019 Verid Building
659 Union Street/1636 Powell Street

Dear President Trasvina and members of the Board of Appeals:

I am a former President of the San Francisco Landmarks Preservation Advisory Board appointed by Mayor Newsom.

I write in SUPPORT of the Appeal to REVOKE the demolition permit for 659 Union Street/1636 Powell Street and to retain the historic Verdi Apartment Building façade. While there are several issues and irregularities associated with the current effort to demolish the building, chief among them is the loss of a significant historic building at the heart of North Beach, one of the most recognizable neighborhoods in the world. This loss is compounded by the lack of accommodation for the former tenants of the Verdi Building as well as by the fact that plans submitted to the Planning Department in 2023 and largely supported by the community would not be implemented.

The Verdi Building is a significant historic resource. It is not only a contributor to the National Register eligible North Beach historic district, but also individually eligible. In 2022, the San Francisco Planning Department hired a qualified expert to determine the historic significance of the building post fire. The city's expert determined that while some materials and workmanship were lost due to the fire, overall, the Verdi Apartments retains its historic character and continues to possess both historic significance and integrity.

Why did the project sponsor suddenly seek an "emergency demolition permit" at this moment? What suddenly changed about the building's level of safety? These issues have not been fully documented by either the project sponsor or the City of San Francisco.

Longaway, Alec (BOA)

From: David K. Jones <davidkennedyjones@pm.me>
Sent: Wednesday, April 22, 2026 11:26 AM
To: BoardofAppeals (PAB)
Subject: Support for Appeal of 659 Union St. Demolition Permit: Hearing Apr. 22, 2026

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Members of the Board of Appeals,

I am writing in support of the North Beach Tenants Committee's appeal of the demolition permit issued for 659 Union Street, known as the Verdi Building.

The circumstances surrounding this permit warrant serious scrutiny. The permit was obtained over the counter on March 27th, bypassing the legally required 14-day public notification period on the basis of an alleged imminent hazard. That characterization is unsupported by the city's own records and difficult to reconcile with the fact that the developer has been actively lobbying for demolition for months. If the structure genuinely posed an imminent danger to public safety, the community and former tenants should have been the first to know. We were not.

Ethics Department records show that the building owner and his lobbyist met with Planning, Building Department staff, and Supervisor Sauter's office 25 times since January 2026 alone, while the impacted tenants and broader community were kept uninformed. That asymmetry appears to be a pattern rather than an oversight.

The stakes here extend well beyond façade preservation. The Verdi Building's 28 former rent-controlled apartments represent housing that, once demolished and replaced with new luxury construction, is permanently lost to rent control. The tenants' right to return would be eliminated. The developer has now revealed plans for high-cost units in a proposal that bears no resemblance to the 2023 plans the community was shown and enthusiastically supported.

I respectfully urge the Board to uphold this appeal, restore the required public process, and ensure that any future project at this site is subject to full community review, including honest accounting of its impact on existing tenants and rent-controlled housing.

Thank you for your consideration.

Sincerely and respectfully,

David Jones
402 Vallejo Street
San Francisco, CA 94133

Longaway, Alec (BOA)

From: Michele Sudduth <michelesudduth@earthlink.net>
Sent: Wednesday, April 22, 2026 11:31 AM
To: kcourtney@xdm.com
Cc: BoardofAppeals (PAB); Robyn Tucker; Jamie Cherry; SauterStaff; Theresa Flandrich; Notara Lum
Subject: Re: APPEAL #26-019 VERDI BUILDING 659 UNION STREET HEARING 4-22-26

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Thanks Kathleen

Michele Sudduth
michelesudduth.com

On Apr 22, 2026, at 10:50 AM, <kcourtney@xdm.com> <kcourtney@xdm.com> wrote:

Pasted below is the letter of the Russian Hill Community Association and Pacific Avenue Neighborhood Association urging the Board Appeals to accept the appeal and **exercise its *de novomandate*** to direct the developer to proceed with the 2023 plan.

Russian Hill Community Association

April 22, 2026

Re: 659 Union Street Demolition Permit - Appeal #26-019

President Trasvina and Members of the Board of Appeals:

For over 30 years the Russian Hill Community Association has worked with owners, tenants, businesses and developers to achieve and maintain a livable community. We're well aware that contention oftentimes requires compromise to attain consensus.

The 2023 plan for the Verdi Building achieved that consensus – preserving that historic frontage along Columbus, Union and Powell so important to the community while providing the developer with the opportunity to build residential units.

The RHCA joins with our neighbor organization, the Pacific Avenue Neighborhood Association (PANA), to urge the Board of Appeals **to exercise its unique *de novo* mandate and direct the developer to proceed with the 2023 plan.**

The Appellant has provided significant information to support its appeal. The history of the development of the 2023 plan provides more support. Notwithstanding the significant lobbying you've been subjected to, **we urge you to exercise your *de novo* mandate and direct the developer to proceed with the 2023 plan.**

Sincerely,
Kathleen Courtney
Chair

Longaway, Alec (BOA)

From: lwbittner@icloud.com
Sent: Wednesday, April 22, 2026 11:45 AM
To: BoardofAppeals (PAB)
Cc: Sauter, Danny (BOS)
Subject: 655 UNION STREET Demolition

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

STOP with the Demolition of this rent-controlled building...

STOP with the displacement of 28+ Tenants

Larry W. Bittner

Longaway, Alec (BOA)

From: Scott Edmondson <scott.edmondson22@gmail.com>
Sent: Wednesday, April 22, 2026 11:47 AM
To: BoardofAppeals (PAB)
Cc: kcourtney@xdm.com; Sauter, Danny (BOS)
Subject: Today's Hearing: Verdi Building (& Community Plan)

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board of Appeals,

Please support the applicants' request and direct the developer to proceed with its approved 2023 Plans which were supported by the community.

Please do NOT support the demolition permit.

These actions to subvert the legal public planning process are wrong and shameful. Private property owners have a right to advocate for their interests, as does the community. The result should be mutually beneficial, not lopsided either way.

I am out of town and cannot be at the hearing today. I've been wondering what the holdup was for the redevelopment of the building. Please direct the developer to get on with the solution already reached.

In addition, the apparent trickery in obtaining an over-the-counter (OTC) demolition permit raises some questions about professional practice and legality. My guess is that the OTC Permit was a mistake. There should be an investigation into whether ethical, professional practice, or legal lines crossed, and if so, consequences. This type of development style subverts the process, gives the public sector a bad name, wastes a tremendous amount of public resources. It's wrong, should not happen, should not be permitted, and should be disciplined when it does.

Thank you.

Scott Edmondson, AICP
Member: Russian Hill Neighborhood Association
43 Russell St, SF CA 94109



Longaway, Alec (BOA)

From: Sam Woodworth <samuelwoodworth@yahoo.com>
Sent: Wednesday, April 22, 2026 11:58 AM
To: BoardofAppeals (PAB)
Subject: Support for Appellants in Appeal 26-019 - 659 Union Demolition Permit

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Members of the Board of Appeals:

I'm writing to urge you to sustain this appeal of the demolition permit for 659 Union St. and to nullify the permit.

659 Union is a critically important historic resource sitting on a prominent corner of Washington Square Park. Its beautiful brick façade has graced North Beach for more than a century. Yet after a devastating fire, this resource, which awaits new life, is now to be deleted from the fabric of San Francisco by way of a quiet, over-the-counter demolition permit, with no public review other than this hearing, which was only secured by the diligence and luck of concerned neighbors.

Quite simply, this process has been a sham – another backroom deal by Supervisor Danny Sauter to silence the community in order to aggressively transform North Beach into something unrecognizable to residents, all, it would appear, in service of developer profits. The designation of “imminent hazard” was made roughly 15 months ago. During that time, the developer and its lobbyist met repeatedly with the property owner and City officials -- dozens of contacts -- without any meaningful community input of which I am aware, despite the extraordinary significance of this site. This is not consistent with a genuine emergency. This is an effort to manufacture a justification, not to respond to an emergency.

Even more troubling is what is being lost. Buildings like 659 Union are not fungible, replaceable structures. They are part of the daily lived experience of the neighborhood -- a continuity that makes a place feel rooted and meaningful. Demolishing these buildings demolishes continuity and history -- a tragedy. And this is to say nothing of the unspeakable abomination that has been proposed to replace the historic structure -- a grotesquely over-scaled, jarringly out-of-place, and architecturally tone-deaf monstrosity that is completely alien to North Beach's visual and cultural identity. Once demolished and erased, the history and beauty of 659 Union cannot be recovered. The harm is truly irreparable. Further, if such a project is treated as new construction, the right-of-return of displaced tenants will be eliminated and 28 rent controlled apartments will be permanently lost.

This Board is one of the last safeguards against this kind of irreversible loss -- particularly important where the process itself raises serious and troubling questions.

For these reasons, I respectfully urge you to grant the appeal and deny the demolition permit.

Sincerely,
Sam Woodworth

Longaway, Alec (BOA)

From: N. Fee <nhf009@gmail.com>
Sent: Wednesday, April 22, 2026 12:25 PM
To: BoardofAppeals (PAB)
Cc: Sauter, Danny (BOS)
Subject: 659 Union Street Demolition Permit, Permit No. 2026/03/27/8418, Appeal No.: 26-019

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear SF Board of Appeals and Supervisor Sauter,

It's imperative that as a group, we, namely you as our elected and appointed city officials and all of us who are District 3 residents and community members, honor past agreements and understandings regarding the Verdi building. The consensus-derived building design--rehabilitating the historic structure, preserving rent-control units, restoring ground-level retail, adding a rooftop restaurant, and building a new structure on the adjacent lot--resulted from years of neighborhood discussions, meetings, drawings, plans, and presentations. To ignore this process and its result is wrong-headed and unseemly.

This design, documented by the records of the Building Department and City Planning Department, responds to the expressed needs and wishes of the Verdi building owner, tenants, and North Beach community members and neighborhood businesses, all of whom will profit from the design as it was agreed upon. The design is appropriately scaled and will positively contribute to and not overwhelm or fragment neighborhood life, from the adjacent streets to Washington Square Park and beyond.

The abrupt attempt to demolish a historic structure alarmingly lacks public notifications and equitable, transparent conferral with stakeholders, the public, and public agencies. This is deeply concerning, particularly as **there is no technical reason for demolition**. The 110-year old Verdi building façade has survived the Loma Prieta Earthquake and two fires. Existing shoring and bracing can be supplemented with shotcrete on the interior faces of brick walls. As a San Francisco native and District 3 resident, I urge you to recognize the Verdi Apartment Building's historic contributions to the community, particularly in terms of its architecture, affordable housing, people, and five street-level shops and restaurants, and do the right thing by the building and our community.

Many downtown buildings have incorporated historic facades as defining features, rendering the structures more visually appealing and historically rich. These buildings attract more residents, businesses, and tourists than an off-putting, inappropriately scaled generic tall building designed (seemingly) for developers' profits. Why not use this as an opportunity to do right by *all* community and invested stakeholders and set an example of what we in San Francisco can do in the realm of historic preservation and building renovation and innovation?

Longaway, Alec (BOA)

From: Julie Herrod <jherrod9@gmail.com>
Sent: Wednesday, April 22, 2026 12:36 PM
To: BoardofAppeals (PAB)
Subject: In Support of the Verdi Appeal

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Board Members:

PLEASE PREVENT THE DEMOLITION OF THE VERDI BUILDING IN NORTH BEACH!

I implore you to STOP SAUTER from victimizing the residents of his own district through his slippery backroom deals with lobbyists and developers.

Sauter has NO interest in or concern for the building's previous tenants' rights, neighborhood preservation, or proper city government policies and procedures that would return the Verdi Building to the PREVIOUSLY APPROVED four-story plan.

While it is clear that Sauter must be removed from office, first we must save this 1851 North Beach architectural gem and I implore you to use your power to do so.

Thank you,
Julie Herrod-Lumsden
36-year North Beach resident (renter)

Sent from my iPhone

Longaway, Alec (BOA)

From: Kitty Margolis <kittym@kittymargolis.com>
Sent: Wednesday, April 22, 2026 1:26 PM
To: BoardofAppeals (PAB)
Cc: Alfonso Montuori; Kitty Margolis
Subject: Letter in opposition to the demolition of the Verdi Building @659 Union Street

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear President Trasvina and Board of Appeals Members,

We are writing to vehemently oppose the bait and switch tactics that have led to the new proposal to demolish the Verdi Building, lock stock and barrel, under the cover of darkness. As lifelong property owners and residents of North Beach who live just a few blocks away from the 659 Union site, we are appalled.

Many years of thought and care by neighborhood residents have been poured into what will happen with this historic landmark corne that is arguably the most important crossroads in North Beach, an iconic location for locals and tourists from all over the world. This latest move is clearly an abuse of the public's trust and a blatant give-away to an unscrupulous developer.

We request that the Board of Appeals grant this appeal, revoke the demolition permit for 659 Union Street/1636 Powell Street (the Property) and require the Project Sponsor to preserve the iconic, historic building facade at this critical intersection on Washington Square in the heart of the renowned North Beach Neighborhood in accordance with the Project Sponsor's 2023 plans on file with the Planning Department.

Sincerely-
Kitty Margolis and Alfonso Montuori